

From: [Ramin Seifi](#)
To: [Stephen Richardson](#)
Cc: [Joel Nagtegaal](#)
Subject: FW: Brochure_-_Construction_Over-Near_Watercourses.pdf
Date: Wednesday, November 29, 2017 9:41:59 AM
Attachments: [Brochure - Construction Over-Near Watercourses.pdf](#)

Fyi

From: § 22(1)
Sent: Wednesday, November 29, 2017 9:12 AM
To: Jack Froese <jfroese@tol.ca>; Petrina Arnason <parnason@tol.ca>; Bob Long <blong@tol.ca>; Angie Quaale <aquaale@tol.ca>; Kim Richter <krichter@tol.ca>; David Davis <ddavis@tol.ca>; Michelle Sparrow <msparrow@tol.ca>; Blair Whitmarsh <bwhitmarsh@tol.ca>; Charlie Fox <cfox@tol.ca>
Cc: Mark Bakken <mbakken@tol.ca>; Ramin Seifi <rseifi@tol.ca>
Subject: Brochure_-_Construction_Over-Near_Watercourses.pdf

Dear Mayor, Council and staff,

I have been following development permit application # 100890 for Beedie Development Group in Gloucester. I attended the Public Hearing of November 6th; it appeared at that meeting staff were unable to definitively answer the question of whether the “channelized” pipe within the right of way actually carries West Creek water. After further questioning by Councillor Davis, I believe Mayor Froese confirmed it was simply a water “drainage” pipe.

I was concerned with the lack of clarity on the issue. I took it upon myself to review all the legal information (covenants, ROW etc) for the property and also to view the history of the lots and specifically the previous works done. It became quite clear West Creek water runs through this pipe. The Townships own Geosource application clearly shows this water course. This information was further confirmed by LEPS in a letter to the TOL. I don't believe there should now be any doubt that West Creek water runs through this pipe.

At the November 6th meeting, Jason Tonin the representative for Beedie Group said the company took some pride in the fact that salmon fry had been found present south of Highway one. This is precisely the water/creek heading north through the “pipe” in question. With this new information that the TOL may not have been aware of, it may now be prudent to consider changing the coding of this portion of the water course (West Creek) from yellow to red status. I have included a brochure from our neighbours in Surrey that I felt was quite helpful to explain coding etc to a lay person like myself. Whether red or yellow, any works done need to follow very stringent measures and work within specific time periods to ensure the creek is not damaged in anyway. I am sure the TOL has an equivalent document.

I believe that regardless if the coding is red or yellow, the relocation of this pipe should be done according to present day standards, with supervision from DFO, TOL, LEPS and other interested parties. I understand there may be grandfather clauses on Gloucester private lands allowing some works to be done to 1970's DFO standards; however this particular work involves moving a channelized creek that is fed through/over Municipal lands at the connection point. It would seem logical that this would necessitate any works be done to the highest present day standards. Given the information that salmon fry are present on the south side of highway 1, it is very important to be

sure there are no negative impacts associated with increasing the overall length of the pipe on the salmon fry, or other possible issues/concerns. The health of West Creek and its value to our environment should of course be paramount to all.

Below is a caption from the Report to Council for DP100890:

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

f. Modification of Statutory Right of Way BB184653 (Plan BCP 34343).

A concern was raised by a councillor that the TOL could possibly be sued if any modification or delay was to occur in the previously issued DP. The above makes it quite clear that the modification of the West Creek pipe is to be satisfied prior to the Building Permit stage. This should allay any fears in this regard.

Given the Beedie Groups commitment to best environmental practices, I would be surprised if they would sue the Township just to be held to a lower environmental standard.

I will look forward to reading the future staff report clarifying the matter. I trust that all efforts will be made to view this with the protection of our natural environment in mind.

Regards,

§ 22(1)



From: [Ramin Seifi](#)
To: [Dave Anderson](#); [Manny Natt](#)
Cc: [Joel Nagtegaal](#); [Kathleen Churcher](#); [Rod Sheed](#); [Bill Storie](#)
Subject: FW: Environmentally Sensitive Area
Date: Thursday, September 07, 2017 4:38:03 PM
Attachments: [P1070574 \(1\).jpg](#)

Can you please coordinate to have staff inspect to make sure there are no unauthorized activity or bylaw infractions.

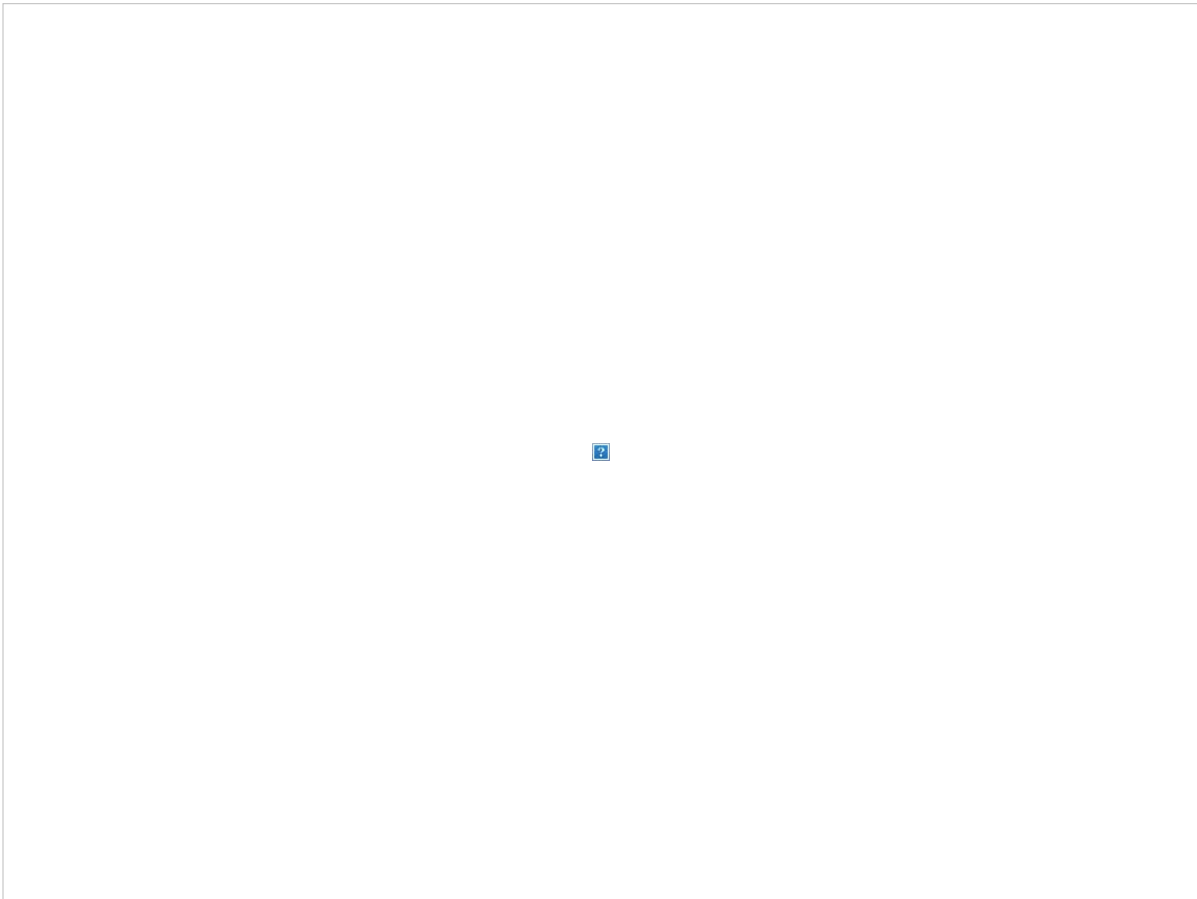
Thanks.

From: Petrina Arnason
Sent: Thursday, September 07, 2017 11:21 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Mark Bakken <mbakken@tol.ca>; Kevin Larsen <klarsen@tol.ca>
Subject: Environmentally Sensitive Area

Dear Ramin,

I hope you're having a nice Thursday morning. I received this photo last week from a TOL resident regarding activities at 275 Street and 48th Avenue in the Gloucester Industrial Estates area. I am wondering if you could please advise regarding the activities on the property as the pre-existing sign indicates that somewhere on site there is an environmentally sensitive area. As there is a significant amount of fill deposited, I am wondering if you can please advise if an application has been received by the TOL for this site.

Thank you,
Councillor Petrina Arnason
Township of Langley



From: [Stephen Richardson](#)
To: [Rod Shead](#); [Kathleen Churcher](#); [Dave Anderson](#); [David Cocking](#); [Teresa Hanson](#); [Robert Knall](#); [Paul Albrecht](#); [Joel Nagtegaal](#)
Subject: FW: Letter to Township of Langley Mayor and Council
Date: Wednesday, May 16, 2018 9:41:54 AM
Attachments: [West Creek letter to TOL Mayor and Council.pdf](#)
[image001.png](#)

FYI

Stephen Richardson | Director - Development Services | Township of Langley
 T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Ramin Seifi
Sent: Wednesday, May 16, 2018 9:18 AM
To: Wendy Bauer <wbauer@tol.ca>
Cc: Kevin Larsen <klarsen@tol.ca>; Stephen Richardson <srichardson@tol.ca>; Roeland Zwaag <rzwaag@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: FW: Letter to Township of Langley Mayor and Council

For next distribution package to M&C, please.

From: Lynn Perrin <lperrinf@gmail.com>
Sent: Tuesday, May 15, 2018 6:41 PM
To: Ramin Seifi <rseifi@tol.ca>
Cc: john.aldag@parl.gc.ca; dominic.leblanc@parl.gc.ca; Langley Times <newsroom@langleytimes.com>; Roxanne Hooper Advance <roxanne.hooper@langleyadvance.com>; Aldergrove Star <newsroom@aldergrovestar.com>
Subject: Letter to Township of Langley Mayor and Council

Our letter regarding West Creek including a video link is attached.

West Creek Awareness and Associated Environmental groups

From: [Ramin Seifi](#)
To: [Brenda Alder](#)
Cc: [Joel Nagtegaal](#); [Cathy Porter](#)
Subject: FW: Microsoft Word - cd DP Beedie 4825 - 275 St.docx
Date: Wednesday, November 15, 2017 9:02:14 AM
Attachments: [attachment_e67bb065-f493-478b-8c5f-8546f194c143_2159a521c1d31b6b391f6e750bd9e820.pdf](#)

Good morning Brenda;

Can you please send me a copy of the SRW document referenced in the email below?

Thank you.

-----Original Message-----

From: Petrina Arnason
Sent: Wednesday, November 15, 2017 8:54 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Mark Bakken <mbakken@tol.ca>
Subject: Microsoft Word - cd DP Beedie 4825 - 275 St.docx

Dear Ramin,

I hope that you're doing well this morning. I am writing further to the attached report which was considered at our last Council meeting. As you are likely aware, there was concern by some Council members regarding the provisions for the relocation of the statutory right of way as part of this proposal. The staff report refers to SRWB184653 but it is not attached to the original report. I would like a copy of the referenced SRW documents further to a review of the stormwater design and West Creek.

From: [Ramin Seifi](#)
To: [Joel Nagtegaal](#)
Cc: [Stephen Richardson](#)
Subject: Fwd: Information re: Development Permit Application No. 100890
Date: Sunday, November 26, 2017 10:20:18 AM
Attachments: [information_classb_gloucester.pdf](#)
[ATT00001.htm](#)
[DPA_100890.pdf](#)
[ATT00002.htm](#)

FYI and advice as to the comments about a yellow coded water course and the staff report.

Thank you.

Begin forwarded message:

From: "Petrina Arnason" <parnason@tol.ca>
To: "Mark Bakken" <mbakken@tol.ca>
Cc: "Ramin Seifi" <rseifi@tol.ca>
Subject: Fwd: Information re: Development Permit Application No. 100890

Dear Mark,

I hope that you are doing well this weekend. I am corresponding on the weekend as time is of the essence with respect to the referenced DP which was endorsed by Council majority on November 6th. As you will recall, there were discussions regarding the Statutory ROW relocation embedded in the staff report with two failed related amendments to have the DFO involved inasmuch as the project pertains to West Creek. I since understand that you may have spoken to Councillor Davis regarding the issues raised regarding the potential for a reconsideration based on new facts but I have not spoken to him directly regarding your discussion. I am forwarding the information advanced by LEPS yesterday which seems to support the argument that the staff report upon which Council based its decision did not adequately represent all relevant information with respect to policies related to West Creek and associated watercourses. In light of the preceding, I would like to consider bringing a reconsideration motion and am seeking advice as to its structure in order to capture the relevant concerns and suggest an adequate remedy, under the circumstances.

Thanks,
 Councillor Petrina Arnason
 Township of Langley

Begin forwarded message:

From: "Nichole Marples" <Exec_Director@leps.bc.ca>
To: "Petrina Arnason" <parnason@tol.ca>, "David Davis" <ddavis@tol.ca>, "Jack Froese" <jfroese@tol.ca>, "Angie Quaale" <aquaale@tol.ca>, "Michelle Sparrow" <msparrow@tol.ca>,

"bwhitmarch@tol.ca" <bwhitmarch@tol.ca>, "Kim Richter" <krichter@tol.ca>, "Charlie Fox" <cfox@tol.ca>, "Bob Long" <blong@tol.ca>

Cc: "Tracy Stobbe" ^{s. 22(1)} [REDACTED] "Ted Lightfoot" _{s. 22(1)} [REDACTED]

Subject: Information re: Development Permit Application No. 100890

Dear Mayor Froese and Members of Council,

Please find attached a letter submitted by LEPS providing further information about a yellow coded stream on West Creek, related to Development Permit Application No. 100890, which was a council agenda item from November 6th.

Regards
Nichole

NICHOLE MARPLES | EXECUTIVE DIRECTOR
LANGLEY ENVIRONMENTAL PARTNERS SOCIETY
T | 604.532.3511 F | 604.534.6593
exec_director@leps.bc.ca
Unceded Coast Salish Territory

From: [Manny Natt](#)
To: [Ramin Seifi](#); [Dave Anderson](#)
Cc: [Joel Nagtegaal](#); [Kathleen Churcher](#); [Rod Shead](#); [Bill Storie](#); [Bill Storie](#)
Subject: Re: Environmentally Sensitive Area
Date: Thursday, September 07, 2017 4:41:34 PM

Thanks Ramin as per directions received we will complete inspections and advise with the development.

Thank you,

Manny Natt | Senior, Bylaw Enforcement Officer

Community Development Division | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

Direct Line: 604.340.5218

----- Reply message -----

From: "Ramin Seifi" <rseifi@tol.ca>
To: "Dave Anderson" <danderson@tol.ca>, "Manny Natt" <mnatt@tol.ca>
Cc: "Joel Nagtegaal" <jnagtegaal@tol.ca>, "Kathleen Churcher" <kkchurcher@tol.ca>, "Rod Shead" <rshead@tol.ca>, "Bill Storie" <bstorie@tol.ca>
Subject: Environmentally Sensitive Area
Date: Thu, Sep 7, 2017 4:38 PM

Can you please coordinate to have staff inspect to make sure there are no unauthorized activity or bylaw infractions.

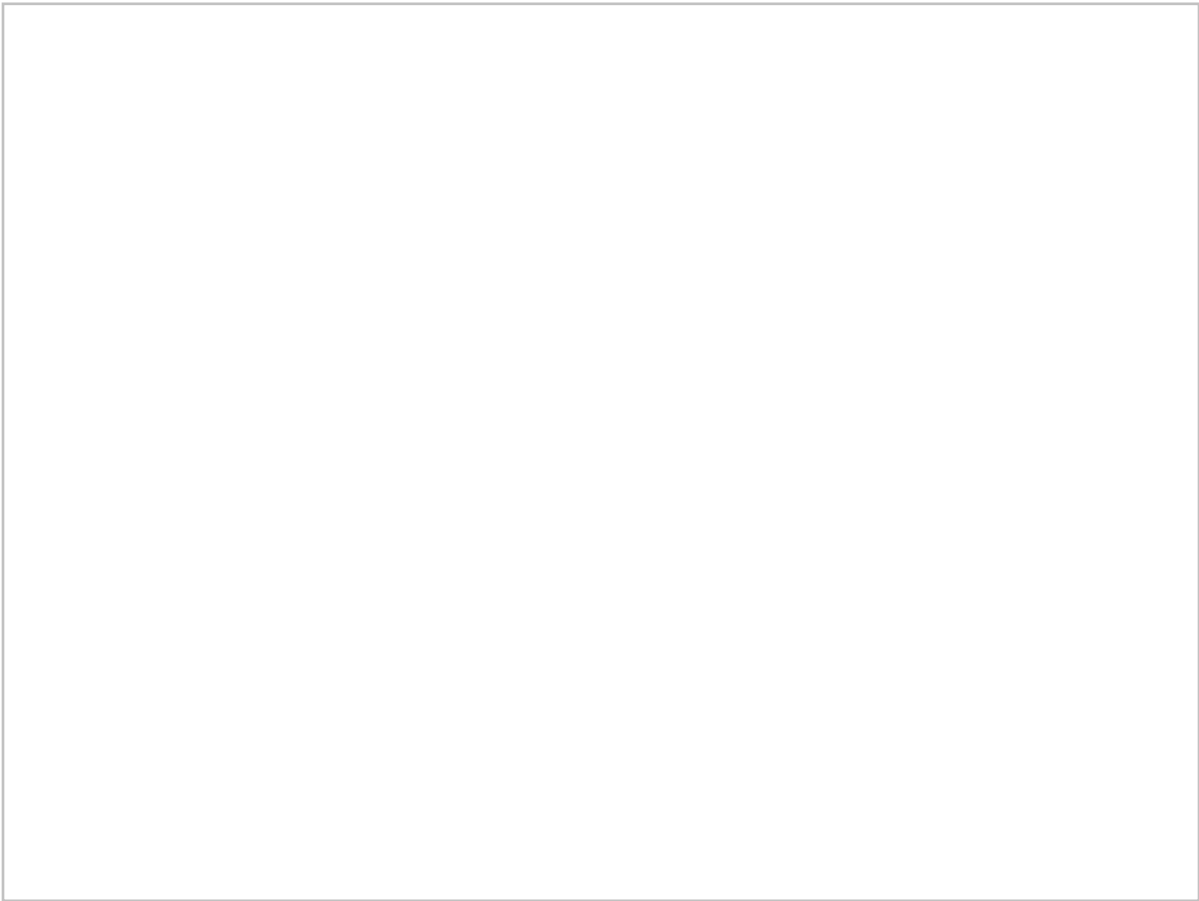
Thanks.

From: Petrina Arnason
Sent: Thursday, September 07, 2017 11:21 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Mark Bakken <mbakken@tol.ca>; Kevin Larsen <klarsen@tol.ca>
Subject: Environmentally Sensitive Area

Dear Ramin,

I hope you're having a nice Thursday morning. I received this photo last week from a TOL resident regarding activities at 275 Street and 48th Avenue in the Gloucester Industrial Estates area. I am wondering if you could please advise regarding the activities on the property as the pre-existing sign indicates that somewhere on site there is an environmentally sensitive area. As there is a significant amount of fill deposited, I am wondering if you can please advise if an application has been received by the TOL for this site.

Thank you,
 Councillor Petrina Arnason
 Township of Langley



From: [Joel Nagtegaal](#)
To: [Brenda Alder](#)
Subject: RE: Microsoft Word - cd DP Beedie 4825 - 275 St.docx
Date: Wednesday, November 15, 2017 9:36:00 AM

Brenda,

There is a copy of the SRW document in the folder (in my file storage on my desk). I can help you find it when I'm back from my liquor info session this afternoon if you can't find it.

Joel Nagtegaal | Planner
Community Development | Township of Langley
604.533.6044

-----Original Message-----

From: Ramin Seifi
Sent: Wednesday, November 15, 2017 9:02 AM
To: Brenda Alder <balder@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: FW: Microsoft Word - cd DP Beedie 4825 - 275 St.docx

Good morning Brenda;

Can you please send me a copy of the SRW document referenced in the email below?

Thank you.

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From: Petrina Arnason
Sent: Wednesday, November 15, 2017 8:54 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Mark Bakken <mbakken@tol.ca>
Subject: Microsoft Word - cd DP Beedie 4825 - 275 St.docx

Dear Ramin,

I hope that you're doing well this morning. I am writing further to the attached report which was considered at our last Council meeting. As you are likely aware, there was concern by some Council members regarding the provisions for the relocation of the statutory right of way as part of this proposal. The staff report refers to SRWBB184653 but it is not attached to the original report. I would like a copy of the referenced SRW documents further to a review of the stormwater design and West Creek.

From: [Brenda Alder](#)
To: [Ramin Seifi](#)
Cc: [Joel Nagtegaal](#); [Cathy Porter](#)
Subject: RE: Microsoft Word - cd DP Beedie 4825 - 275 St.docx
Date: Wednesday, November 15, 2017 9:57:35 AM
Attachments: [BB184653.pdf](#)

Hi Ramin,

BB184653 attached as requested.

Regards,

Brenda Alder | Sr Clerk - Development Planning

Development Services | Community Development

20338 – 65 Avenue, Langley, BC V2Y 3J1

Direct line: 604.532.7546

Web | Facebook | Twitter | YouTube

-----Original Message-----

From: Ramin Seifi
Sent: Wednesday, November 15, 2017 9:02 AM
To: Brenda Alder <balder@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: FW: Microsoft Word - cd DP Beedie 4825 - 275 St.docx

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Cc: Mark Bakken <mbakken@tol.ca>
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From: [Rod Shead](#)
To: [Ramin Seifi](#)
Cc: [Robert Knall](#); [Joel Nagtegaal](#); [Stephen Richardson](#)
Subject: RE: Notice of motion for December 11th evening council meeting
Date: Friday, December 08, 2017 10:38:22 AM

Hi Ramin,

Regarding #2 below re salmonid presence south of Highway 1, Township watercourse mapping south of Highway 1 has the watercourse classified as "Class B" (yellow) meaning no fish presence. While Class B watercourses are not "fish bearing", they are "fish habitat" in that they supply water, food and nutrients to downstream reaches.

However, it is noted that Township watercourse mapping and classification is a 'snap shot' of conditions at the time of survey and our records show surveys in this area were last completed in 2000. Fish presence is certainly possible. I believe it was a representative from Beedie that confirmed fish presence south of Highway 1. If so, Beedie should share that information so we can update our watercourse classification mapping to show fish presence.

-Rod

From: Ramin Seifi
Sent: Friday, December 08, 2017 9:58 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Robert Knall <rknall@tol.ca>; Rod Shead <rshead@tol.ca>; Stephen Richardson <srichardson@tol.ca>
Subject: Fwd: Notice of motion for December 11th evening council meeting

FYI and comments.

Begin forwarded message:

From: s.22(1)
Date: December 8, 2017 at 9:45:04 AM PST
To: Jack Froese <jfroese@tol.ca>, Charlie Fox <cfox@tol.ca>, Angie Quaale <aquaale@tol.ca>, "msparrow@tol.ca" <msparrow@tol.ca>, Petrina Arnason <parnason@tol.ca>, Kim Richter <krichter@tol.ca>, Bob Long <blong@tol.ca>, "ddavis@tol.ca" <ddavis@tol.ca>, Blair Whitmarsh <bwhitmarsh@tol.ca>
Cc: Mark Bakken <mbakken@tol.ca>, Ramin Seifi <rseifi@tol.ca>
Subject: **Notice of motion for December 11th evening council meeting**

Dear Mayor and council,

I understand a notice of motion has been put on the agenda for the December 11th, 2017 evening meeting of council. I have sent two previous e-mails regarding the matter raised in this NOM. I would ask that the following questions be asked in your

consideration of this NOM. I have supplied my own answers for reference.

#1. Does West Creek water flow from south of Highway 1 and through the ROW/"pipe" in question. YES


#2. Are there Salmonid present on the south side of Highway 1, ultimately travelling through this ROW. YES

#3. Are these Salmonid going to be able to traverse the relocated and extended ROW/Pipe? Not sure, experts in the matter need to be consulted, who are independent of the Developer.

#4. Is the proposed ROW relocation going to have any negative impact to the Red Coded West Creek on the North side? Not sure, experts need to be consulted, who are independent of the Developer.

#5. Given that the TOL hold grantee status on the ROW is there any reason to NOT request that the DFO and MOE are formally made aware by the TOL of the ROW relocation? None that I can think of.

#6. Given the stated overall value of West Creek by all parties(LEPS, West Creek Awareness, TOL documents, Beedie Development, Envirowest,etc) why would all efforts not be made to ensure its value/health moving forward? None that I can think of.

Thank you for your consideration of this matter. I do not hold a degree in biology or have extensive knowledge of fish habitat or preservation, but I believe I have used some good common sense in looking at this matter, along with extensive research. I would be happy to discuss or answer any questions if I am able. I can be reached anytime at s.22(1) 

Regards,

s.22(1) 

From: Ramin Seifi
Sent: Tuesday, December 05, 2017 11:55 AM
To: Stephen Richardson
Cc: Rod Shead; Joel Nagtegaal; Robert Knall
Subject: FW: Brochure_-_Construction_Over-Near_Watercourses.pdf

In anticipation of this discussion continuing again at Council next Monday, can you please advise on the 2 points raised by § 22(1) (highlighted) below?

From: § 22(1)
Sent: Monday, December 04, 2017 6:21 PM
To: Ramin Seifi <rseifi@tol.ca>
Cc: MayorCouncil <mayorcouncil@tol.ca>; Mark Bakken <mbakken@tol.ca>
Subject: RE: Brochure_-_Construction_Over-Near_Watercourses.pdf

Dear Mr. Seifi,

Thank you for your prompt response. I do appreciate having more detailed information to confirm what I knew of the situation. I would like to offer the following comments to the discussion.

I have a copy of the "Application for Environmental Review" that Envirowest submitted to DFO in consideration of the amendments and eliminations of water courses they were seeking and received in 2000.

I note that when the application for environmental review was submitted by Envirowest Consultants June 8, 1999, they stated on page 2 of their report: "Spawning habitat is not supported by any of the water sources currently, only threespine stickleback (*Gasterosteus Aculeatus*) are resident within the watercourses. Enhancement works will render them accessible to Salmonids.

It is now clear that the Salmonid have indeed taken advantage of this provided accessibility and returned to this southerly portion of West Creek. Jason Tonin VP of Land Development Beedie Group stated at the November 6th, 2017 council meeting, Salmonid are now found south of highway 1. He had previously confirmed this in an e-mail to me in 2016. This is great news for our natural environment and all in the TOL.

Having the above new information that was not available prior to the consideration of the DP gives our council and staff the opportunity to now do all possible to make sure the works requested under DP100890 and subsequent application for a building permit do not in any way "eliminate" this great news.

I believe it is also important to note that on page 11 of 28 of your memorandum there are 4 very clear points made under "conditions of authorization" by DFO. I believe all 4 relate to the potential relocation of this pipe.

Condition 2 states: Gloucester confirms that the location and general design of the works are to be consistent with the information provided to the agencies and that any material deviations from such designs must be reviewed and approved by all agencies having jurisdiction in the matter.

Condition 4 states: DFO must be notified of any future modifications to the existing drawings referred to in this authorization and upon notification may require plans and specifications to review and/or approve prior to any work commencing.

Both of these in my opinion clearly indicate DFO approval must be sought prior to any future modifications/deviations. DFO are to review and/or approve prior to any work commencing. If they were concerned in 2000 as to the importance of the design, I can only think they would be even more concerned in 2017.

The original works were approved in 2000 using 1999 information. It is fair to say a lot of water has passed through the pipe since then. This pipe is now proposed to be extended by more than three times its original length. DFO regulations and the governance of streams and creeks have also changed drastically and it would only be prudent today to be sure all measures are taken to ensure no negative impact on the environment is to occur with the ROW relocation.

I took video on December 2nd 2017 that shows large volume flow of West Creek water passing through a culvert located at 48th and 275th on the South side of Highway #1. This southern West Creek water flow is clearly shown on TOL water course maps as "yellow coded" and connects directly with the "storm water pipe" being discussed. I think it can be stated very clearly that West Creek Water flows through the pipe that is covered by ROW BB184653. The TOL is the grantee of this ROW and therefore has certain rights and obligations. The agreement by the TOL to relocate this pipe should not necessarily be a "given". The water course on the Gloucester property may have been "eliminated" in 2005, but the salmonid did not receive this memo apparently.

It has been suggested that given the new information and subsequent clarification provided, that any member of council could provide a notice of motion that would ask staff to include in their report back, a request that not only LEPS and DFO be contacted, but also the Ministry of Environment also. I believe an amendment to the referral was made at the November 27th evening council meeting by Councillor Arnason to have LEPS and DFO be included in the conversation and form part of the subsequent report back to council as per Councillor Davis's successful referral request. This may ensure any relocation works are done under current protection standards and with full knowledge of all agencies having jurisdiction in the matter. If this involvement allowed the salmonid present in West Creek south of Highway 1 the best chance to traverse this storm pipe on their way to the red coded stream to the north, we all win. I would hope Beedie Development would fully support all efforts to give the salmonid the best chance for survival.

Should you require copies of the documents referenced I will have to ask the permission of Jason Tonin as he provided the Envirowest application document to me in 2016. If you would like a copy of the videos taken December 2nd, I am happy to provide.

I will look forward to your response.

Regards,

s. 22(1)



From: Ramin Seifi [<mailto:rseifi@tol.ca>]
Sent: December-04-17 12:07 PM
To: s.22(1)
Cc: MayorCouncil; Mark Bakken
Subject: RE: Brochure_-_Construction_Over-Near_Watercourses.pdf

Good afternoon s.22(1);

Thank you for your email communication of November 29, 2017, copied below, regarding the subject Beedie Development Permit application.

Attached for your reference is a copy of a memorandum to Mayor and Council that provides information regarding the background and history of the site, including relevant documentation, in response to the concerns raised in your communication.

Please do not hesitate to contact me if you have any questions or require further information.

Best regards,

Ramin Seifi

From: s.22(1)
Sent: Wednesday, November 29, 2017 9:12 AM
To: Jack Froese <jfroese@tol.ca>; Petrina Arnason <parnason@tol.ca>; Bob Long <blong@tol.ca>; Angie Quaale <aquaale@tol.ca>; Kim Richter <krichter@tol.ca>; David Davis <ddavis@tol.ca>; Michelle Sparrow <mssparrow@tol.ca>; Blair Whitmarsh <bwhitmarsh@tol.ca>; Charlie Fox <cfox@tol.ca>
Cc: Mark Bakken <mbakken@tol.ca>; Ramin Seifi <rseifi@tol.ca>
Subject: Brochure_-_Construction_Over-Near_Watercourses.pdf

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I was concerned with the lack of clarity on the issue. I took it upon myself to review all the legal information (covenants, ROW etc) for the property and also to view the history of the lots and specifically the previous works done. It became quite clear West Creek water runs through this pipe. The Townships own Geosource application clearly shows this water course. This information was further confirmed by LEPS in a letter to the TOL. I don’t believe there should now be any doubt that West Creek water runs through this pipe.

At the November 6th meeting, Jason Tonin the representative for Beedie Group said the company took some pride in the fact that salmon fry had been found present south of Highway one. This is precisely the water/creek heading north through the “pipe” in question. With this new information that the TOL may not have been aware of, it may now be prudent to consider changing the coding of this portion of the water course (West Creek) from yellow to red status. I have included a brochure from our neighbours in Surrey that I felt was quite helpful to explain coding etc to a lay person like myself. Whether red or yellow, any works done need to follow very stringent measures and work within specific time periods to ensure the creek is not damaged in anyway. I am sure the TOL has an equivalent document.

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Below is a caption from the Report to Council for DP100890:

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

f. Modification of Statutory Right of Way BB184653 (Plan BCP 34343).

A concern was raised by a councillor that the TOL could possibly be sued if any modification or delay was to occur in the previously issued DP. The above makes it quite clear that the modification of the West Creek pipe is to be satisfied prior to the Building Permit stage. This should allay any fears in this regard.

Given the Beedie Groups commitment to best environmental practices, I would be surprised if they would sue the Township just to be held to a lower environmental standard.

I will look forward to reading the future staff report clarifying the matter. I trust that all efforts will be made to view this with the protection of our natural environment in mind.

Regards,

s. 22(1)



From: Stephen Richardson
Sent time: 11/26/2017 03:09:05 PM
To: Rod Shead
Cc: Robert Knall; Joel Nagtegaal
Subject: FW: Information re: Development Permit Application No. 100890
Attachments: information_classb_gloucester.pdf ATT00001.htm DPA 100890.pdf ATT00002.htm image001.png image003.jpg

Good afternoon Rod:

Can you please review the attached information (especially that from LEPS) in conjunction with Joel and WRE (as needed) and I will set up a meeting Mon. Nov. 27 am to draft an appropriate response to Mr. Seifi.

Best regards - Stephen

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Ramin Seifi
Sent: Sunday, November 26, 2017 10:20 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Cc: Stephen Richardson <srichardson@tol.ca>
Subject: Fwd: Information re: Development Permit Application No. 100890

FYI and advice as to the comments about a yellow coded water course and the staff report.

Begin forwarded message:

From: "Petrina Arnason" <parnason@tol.ca <<mailto:parnason@tol.ca>>>
To: "Mark Bakken" <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>
Cc: "Ramin Seifi" <rseifi@tol.ca <<mailto:rseifi@tol.ca>>>
Subject: Fwd: Information re: Development Permit Application No. 100890

Dear Mark,

I hope that you are doing well this weekend. I am corresponding on the weekend as time is of the essence with respect to the referenced DP which was endorsed by Council majority on November 6th. As you will recall, there were discussions regarding the Statutory ROW relocation embedded in the staff report with two failed related amendments to have the DFO involved inasmuch as the project pertains to West Creek. I since understand that you may have spoken to Councillor Davis regarding the issues raised regarding the potential for a reconsideration based on new facts but I have not spoken to him directly regarding your discussion. I am forwarding the information advanced by LEPS yesterday which seems to support the argument that the staff report upon which Council based its decision did not adequately represent all relevant information with respect to policies related to West Creek and associated watercourses. In light of the preceding, I would like to consider bringing a reconsideration motion and am seeking advice as to its structure in order to capture the relevant concerns and suggest an adequate remedy, under the circumstances.

Thanks,

Councillor Petrina Arnason

Township of Langley

Begin forwarded message:

From: "Nichole Marples" <Exec_Director@leps.bc.ca <mailto:Exec_Director@leps.bc.ca>>
To: "Petrina Arnason" <parnason@tol.ca <<mailto:parnason@tol.ca>>>, "David Davis" <ddavis@tol.ca <<mailto:ddavis@tol.ca>>>, "Jack Froese" <jfroese@tol.ca <<mailto:jfroese@tol.ca>>>, "Angie Quaale" <aquaale@tol.ca <<mailto:aquaale@tol.ca>>>, "Michelle Sparrow" <mssparrow@tol.ca <<mailto:mssparrow@tol.ca>>>, "bwhitmarch" <bwhitmarch@tol.ca <<mailto:bwhitmarch@tol.ca>>>, "Kim Richter" <krichter@tol.ca <<mailto:krichter@tol.ca>>>, "Charlie Fox" <cfox@tol.ca <<mailto:cfox@tol.ca>>>, "Bob Long" <blong@tol.ca <<mailto:blong@tol.ca>>>
Cc: "Tracy Stobbe" <tracy.stobbe@tol.ca>> "Ted Lightfoot

s. 22(1)

Subject: Information re: Development Permit Application No. 100890

Dear Mayor Froese and Members of Council,

Please find attached a letter submitted by LEPS providing further information about a yellow coded stream on West Creek, related to Development Permit Application No. 100890, which was a council agenda item from November 6th.

Regards

Nichole

NICHOLE MARPLES | EXECUTIVE DIRECTOR

LANGLEY ENVIRONMENTAL PARTNERS SOCIETY

T| 604.532.3511 F| 604.534.6593

exec_director@leps.bc.ca <mailto:exec_director@leps.bc.ca>

Unceded Coast Salish Territory



LANGLEY ENVIRONMENTAL PARTNERS SOCIETY

#201- 4839- 221 Street, Langley, B.C. Canada V3A 2P1 (604) 532.3511

Revenue Canada Charitable Number: 14057 9962 RR 0001

www.leps.bc.ca

November 24, 2017

RE: Development Permit Application No. 100890 (161884 Canada Inc. / Beedie Development Group / 4825 275 St.)

To: Mayor and Council;

We wish to alert you to information regarding the Class B creek that has been omitted from the development permit application No. 100890 (please refer to attached map). This application came before council on November 6. The application refers to the modification of "Statutory Right of Way BB184653 (Plan BCP 34343)" (page 2, item f., under "... *the following items will need to be finalized*") but does not note the stream classification.

We are concerned that the omission of this information could have adverse impacts to West Creek and upstream habitat.

This channelized creek is actually one of the main branches of West Creek, **draining upstream agricultural lands, as well as the highway**. The creek is **Class B or yellow coded** according to the Township of Langley's Watercourse Classification map; yellow coded streams are significant source of food, nutrient or cool water to salmon populations downstream. Yellow coded streams require a 20m setback from both banks (Township of Langley's Streamside Protection Regulation):

<https://webfiles.tol.ca/CommDev/Brochures/Streamside%20Protection%20&%20Enhancement%20Brochure.pdf>).

This creek enters a Class A or red coded (salmon bearing) stream only 160m downstream of this development permit area.

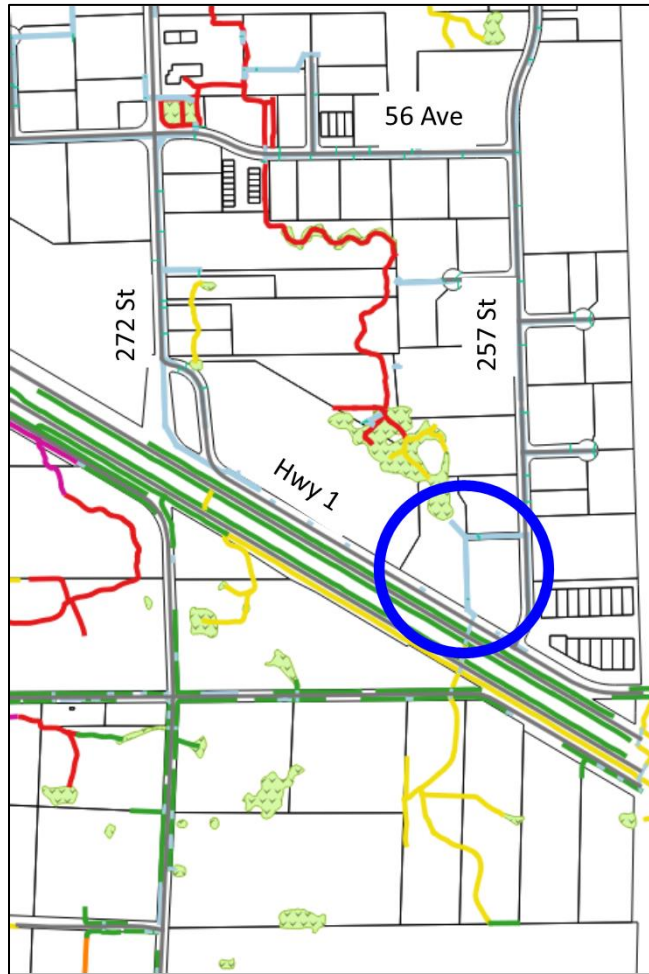
It is our hope that in sharing this information, the creek will be considered with due respect as a nutrient value stream and an important section of West Creek.

Sincerely,

Tracy Stobbe
Chair, LEPS Board of Directors

Encl. Stream details up and downstream of application property

Stream details up and downstream of application property:
(source: Township of Langley's online mapping system, Geosource)



Blue circle indicates the properties associated with this application, please note Class B stream south of Hwy 1 that flows under the highway and 48 Ave to these properties.

Township of
Langley



Est. 1873

REPORT TO MAYOR AND COUNCIL

PRESENTED: NOVEMBER 6, 2017 – PUBLIC HEARING
FROM: COMMUNITY DEVELOPMENT DIVISION
SUBJECT: DEVELOPMENT PERMIT APPLICATION NO. 100890
 (161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)

REPORT: 17-114
FILE: 14-05-0098

PROPOSAL:

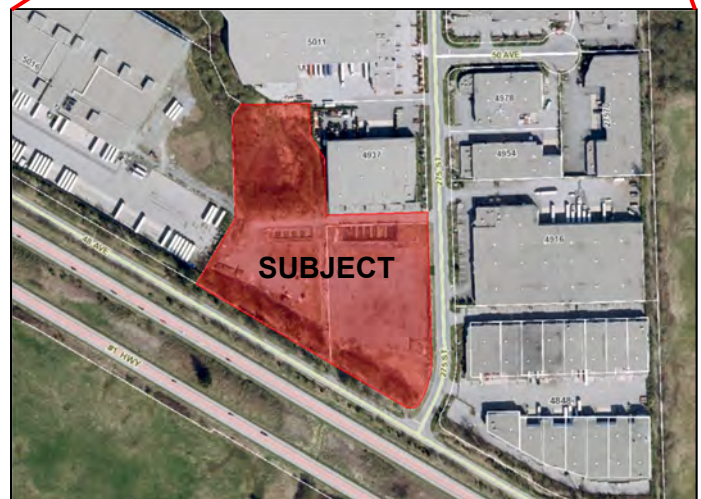
Development Permit application to facilitate the construction of a 9,835 m² (105,868 ft²) industrial building including accessory office space located at 4825 - 275 Street in Gloucester.

RECOMMENDATION SUMMARY:

That Council authorize issuance of Development Permit No. 100890 subject to nine (9) conditions, plus six (6) conditions to be applied at the Building Permit stage.

RATIONALE:

The proposal complies with the Gloucester Industrial Park Community Plan (and its Development Permit Guidelines) and with the site's General Industrial M-2A zoning.



DPA 100890.pdf

DEVELOPMENT PERMIT APPLICATION NO. 100890
 (161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
 Page 2 . . .

RECOMMENDATION:

That Council authorize issuance of Development Permit No. 100890 to 161884 Canada Inc. for property located at 4825 - 275 Street, subject to the following conditions:

- a. Building plans being in compliance with Schedules "A" through "C"
- b. Landscape plans being in substantial compliance with Schedule "E" and in compliance with the Township's Street Tree and Boulevard Planting Policy to the acceptance of the Township;
- c. All signage being in compliance with Schedules "C" and "D" and the Gloucester Development Permit Guidelines and the Township's Sign Bylaw;
- d. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
- e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
- f. All outdoor storage areas being covered by a dust free surface;
- g. All refuse areas to be located in an enclosure and screened to the acceptance of the Township;
- h. All chain link fences being black vinyl with black posts and rails; and
- i. Section 702A.5(a) – Siting of Buildings and Structures of the Township of Langley Zoning Bylaw 1987 No. 2500 being varied to reduce the minimum setback for a principal building from a front lot line in General Industrial Zone M-2A from 10 m (32.8 ft) to 5 m (16.4 ft).

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. Payment of supplemental Development Permit application fees and Building Permit administration fees.
- b. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw to the acceptance of the Township;
- c. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township's Exterior Lighting Impact Policy to the acceptance of the Township;
- d. Submission of an Erosion and Sediment Control Plan or exemption in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- e. On-site landscaping being secured by a letter of credit at the Building Permit stage;
- f. Modification of Statutory Right of Way BB184653 (Plan BCP 34343).

EXECUTIVE SUMMARY:

Beedie Development Group has applied for a Development Permit to construct a 9,835 m² (105,868 ft²) industrial building including accessory office space located at 4825 - 275 Street in the Gloucester industrial area. Staff are supportive of the development proposal as it conforms to the Development Permit Guidelines of the Gloucester Industrial Park Community Plan. Issuance of Development Permit No. 100890 is recommended subject to nine (9) conditions, plus six (6) conditions to be applied at the Building Permit stage.

PURPOSE:

The purpose of this report is to provide information and recommendations concerning proposed Development Permit No. 100890 for property located at 4825 - 275 Street in the Gloucester industrial area.



SUBJECT

Gloucester Industrial Park Development Concept

LEGEND

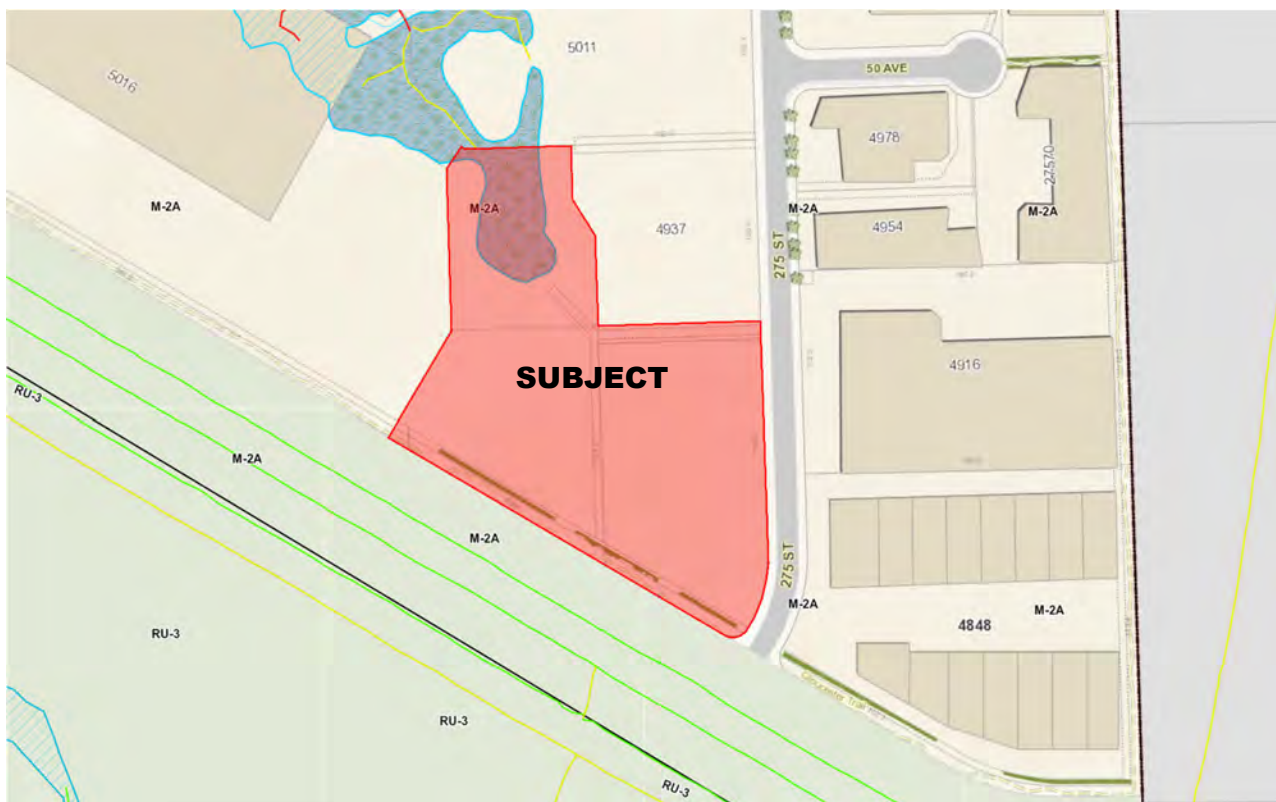
- | | | |
|------------------------------|---|----------------------|
| Service Commercial | Detention Pond | Arterial Road |
| Service & General Industrial | Limited Retail Use | Major Collector Road |
| Park/Buffer/Conservation | Service Commercial/Service & General Industrial | Study Area Boundary |
| Golf Course | | |



Amendment: Bylaw 2010 No: 4847, July 24, 2014

F:\data\Geomatics\Planning\LONG_RANGE\Community_Plans\Gloucester\Plan_Gloucester_Community_Plan.mxd

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
Page 4 . . .



ZONING BYLAW NO. 2500

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
Page 5 . . .



RENDERINGS - SUBMITTED BY APPLICANT



SITE PLAN – SUBMITTED BY APPLICANT

DEVELOPMENT PERMIT APPLICATION NO. 100890
 (161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
 Page 7 . . .

REFERENCE:

Owner:	161884 Canada Inc. 3030 Gilmore Diversion Burnaby, BC V5G 3B4
Agent:	Beedie Development Group 3030 Gilmore Diversion Burnaby, BC V5G 3B4
Legal Description:	Lot 1 Section 5 Township 14 New Westminster District Plan EPP70774
Location:	4825 - 275 Street
Area:	3.16 ha (7.8 ac)
Gloucester Industrial Park Plan:	Service and General Industrial
Existing Zoning:	General Industrial Zone M-2A

BACKGROUND/HISTORY:

The subject site is designated Service and General Industrial in the Gloucester Industrial Park Community Plan. The subject site was rezoned to General Industrial Zone M-2A as part of two rezoning applications in 2007 (RZ100240 and RZ100246). The applicant created the subject site by consolidating two parcels.

The applicant has applied for a Development Permit to construct a 9,835 m² (105,868 ft²) multi tenant industrial building with accessory office space.

As the subject site is designated a mandatory Development Permit area in the Gloucester Industrial Park Community Plan, Council is provided the opportunity to review the form, character and siting of the proposed development. Issuance of a Development Permit is required prior to issuance of a Building Permit.

DISCUSSION / ANALYSIS:

The subject site is zoned General Industrial Zone M-2A and designated Service and General Industrial in the Gloucester Industrial Park Community Plan. As part of the application, the applicant has proposed to relocate an existing Statutory Right of Way and storm sewer. The north portion of the site includes a biofiltration/detention pond constructed in 2007 as part of the overall DFO compensation for the Gloucester Industrial Park. A non-disturbance restrictive covenant was registered on the property in 2008 to protect the pond. The subject development permit must comply with the terms and conditions of the restrictive covenant.

In accordance with Council's policy, a site plan, building elevations and a landscape plan have been submitted detailing the proposed development's form, character and siting. Proposed Development Permit No. 100890 is attached as Attachment A to this report. Development Permit guidelines relevant to the site are contained in the Gloucester Industrial Park Community Plan (see Attachment B).

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
Page 8 . . .

Adjacent Uses:

North: Industrial properties designated “Service & General Industrial” in the Gloucester Industrial Park Community Plan (zoned General Industrial Zone M-2A);

South: 48 Avenue, beyond which is Highway No. 1;

East: 275 Street, beyond which are industrial properties designated “Service & General Industrial” in the Gloucester Industrial Park Community Plan and zoned General Industrial Zone M-2A; and

West: Industrial property designated “Park/Buffer/Conservation” and “Service & General Industrial” in the Gloucester Industrial Park Community Plan (zoned General Industrial Zone M-2A).

Development Permit:

The applicant proposes a multi-tenant industrial building with accessory office space located on the southeasterly portion of the site, with parking proposed on the south and west sides of the building and loading proposed on the north side of the building.

Exterior finishing of the building consists largely of tilt up concrete walls, with cast-in reveal lines, painted light grey with contrasting dark grey and white accents. The south elevation of the building is visually enhanced by the articulation of the individual unit entrances consistent with the alignment of 48 Avenue as well as the incorporation of slanted rooflines. The south elevation also features storefront and spandrel glazing.

Twenty seven (27) loading bay doors (proposed on the north building elevation) will be screened from 275 Street by a screen wall finished in longboard siding, as well as landscaping.

As a condition of the Development Permit, refuse bins are to be located in an enclosure and screened to the acceptance of the Township. As the roof of the building will be visible from the east, a condition of the Development Permit has been included requiring the screening of rooftop mechanical equipment.

Access and Parking:

Access to the site is proposed to be provided by two (2) driveways accessed from 275 Street. The northern driveway will be used by trucks accessing the loading area. The southern driveway will be used by employees and visitors.

A total of 140 parking spaces are proposed (140 required) for the development, including 21 small car spaces. The Township’s Zoning Bylaw permits a maximum of 20% of parking spaces to be designated small car parking. The proposed parking complies with the requirements of the Township’s Zoning Bylaw.

Proposed Siting Variance:

The subject site abuts 48 Avenue and 275 Street. When a lot has two lot lines which abut a street, the Township’s Zoning Bylaw defines the front lot line as the lot line with the shorter distance. In the case of the subject site, the lot line abutting 275 Street is the front lot line as it is shorter than the lot line abutting 48 Avenue. The applicant has applied to vary the required front lot line setback (along 275 Street) from 10 m (32.8 ft) to 5 m (16.4 ft). The applicant has provided the following rationale for the proposed variance:

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
Page 9 . . .

Based on the unique site configuration including: the existing 10m landscape buffer area to the south, driveway access limited to the east, grading constraints and a cross access easement which necessitates loading on the north, we believe a setback variance facilitates this design. In addition, to emphasize the feature building corner and its positive impact on the streetscape of this corner site, the design anchors the building close to the corner and removes parking from the streetscape and public realm. This provides additional visual interest and facilitates additional screening from vehicle parking.

Staff are supportive of this proposed building setback variance as it permits a functional and attractively designed building to be sited closer to the street and contributes to the overall streetscape. Staff note that due to lot orientation of properties to the north, there are several other existing buildings in the area which are sited less than 10 m (32.8 ft) from 275 Street.

Exterior Lighting Impact Policy:

As the subject site is located within 150 m (492 ft) of land designated for rural residential purposes, compliance with the Township's Exterior Lighting Policy is required. Provision of an exterior lighting impact plan prepared by an electrical engineer to the acceptance of the Township is required prior to the issuance of a Building Permit.

Signage:

The building elevation plans include ten (10) fascia signs located on the south elevation. One (1) freestanding sign is proposed on the southeast portion of the property. All signage is required to comply with the Township's Sign Bylaw, Development Permit Guidelines of the Gloucester Industrial Park Community Plan (Attachment B), the Township's Sign Bylaw and Schedules "C" and "D" of proposed Development Permit No. 100890.

Servicing:

Full urban services exist to the subject site. As a condition of Building Permit, a site-specific on-site servicing plan and storm water management plan, in accordance with the Township's Subdivision and Development Servicing Bylaw to the acceptance of the Township is required. Additionally, an Erosion and Sediment Control Permit or exemption will be required in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

Tree Protection:

Fifteen (15) significant trees were identified on the site. No trees are proposed to be retained. As part of the Development Permit application, the applicant proposes to provide 163 replacement trees, as required by the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection). Final tree replacement plans are subject to the final acceptance of the Township.

Buffer:

The Gloucester Industrial Park Plan indicates a 15 m (49.2 ft) natural landscape buffer/screen adjacent to Highway No. 1. This item was fulfilled in conjunction with previous rezoning applications of the subject site (RZ100240 and RZ100246). As 48 Avenue parallels Highway No. 1, the applicant proposed a 10 m (32.8 ft) on-site buffer north of 48 Avenue plus an additional row of coniferous trees to be planted on the road right-of-way between 48 Avenue and Highway No. 1 that was secured as a condition of previous rezoning. The subject application maintains the 10 m (32.8 ft) wide on-site buffer on the southerly portion of the site.

Landscaping:

In accordance with the Zoning Bylaw, the 275 Street frontage includes a 5 m (16.4 ft) landscaping buffer consisting of trees and shrubs. The north and west lot lines include the provision of 3 m (9.8 ft) in depth landscaping buffers consisting of groundcover, shrubs and trees. Additional landscaping, including cedar and cypress trees, is proposed on the northeast portion of the site to further screen the loading area in accordance with the Gloucester Industrial Park Plan. Additional landscaping, including cherry and dogwood trees, is provided at the south access to the site to mark and enhance the entrance. Each individual unit entrance includes planting areas with shrubs, maple and dogwood trees.

Environmental Considerations:

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the OCP, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. Full urban services exist to the subject site. The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

Public Information Meeting:

Given the application's consistency with the Gloucester Industrial Park Community Plan and the presence of existing buildings to the north with setbacks from 275 Street less than 10 m (32.8 ft), the requirement for the applicant to hold a public information meeting pursuant to Section 3.1 of the Developer Held Public Information Meeting Policy has been waived. Staff note that an opportunity for public input is provided through the notification mail-outs to adjacent property owners / occupants consistent with Township bylaws.

POLICY CONSIDERATIONS:

The proposed development complies with the site's Servicing and General Industrial designation in the Gloucester Industrial Park Community Plan, and the existing General Industrial Zone M-2A requirements (with the exception of the siting variance which has been incorporated in the proposed Development Permit). The proposal, in staff's opinion, is in compliance with the Development Permit Guidelines of the Gloucester Industrial Park Community Plan (Attachment B).

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
Page 11 . . .

Staff have notified adjacent property owners that this Development Permit application is being considered at the November 6, 2017 meeting, and they may attend and speak to the matter should they deem it necessary.

Respectfully submitted,

Joel Nagtegaal
DEVELOPMENT PLANNER
for
COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A Development Permit No. 100890:
 SCHEDULE A – Renderings
 SCHEDULE B – Site Plan
 SCHEDULE C – Building Elevations
 SCHEDULE D – Signage Plan
 SCHEDULE E – Landscape Plan

ATTACHMENT B Gloucester Industrial Park Community Plan – Development Permit
 Guidelines

ATTACHMENT A

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 100890

This Permit is issued this _____ day of _____, 2017 to:

1. Name: 161884 Canada Inc.

Address: 3030 Gilmore Diversion
Burnaby, BC V5G 3B4

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot 1 Section 5 Township 14 New Westminster District Plan
EPP70774

CIVIC ADDRESS: 4825 - 275 Street

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:

- a. Building plans being in compliance with Schedules "A" through "C"
- b. Landscape plans being in substantial compliance with Schedule "E" and in compliance with the Township's Street Tree and Boulevard Planting Policy to the acceptance of the Township;
- c. All signage being in compliance with Schedules "C" and "D" and the Gloucester Development Permit Guidelines and the Township's Sign Bylaw;
- d. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
- e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
- f. All outdoor storage areas being covered by a dust free surface;
- g. All refuse areas to be located in an enclosure and screened to the acceptance of the Township;
- h. All chain link fences being black vinyl with black posts and rails; and
- i. Section 702A.5(a) – Siting of Buildings and Structures of the Township of Langley Zoning Bylaw 1987 No. 2500 being varied to reduce the minimum setback for a principal building from a front lot line in General Industrial Zone M-2A from 10 m (32.8 ft) to 5 m (16.4 ft).

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. Payment of supplemental Development Permit application fees and Building Permit administration fees.
- b. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw to the acceptance of the Township;

DEVELOPMENT PERMIT NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 – 275 STREET)

Page 2 . . .

- c. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township's Exterior Lighting Impact Policy to the acceptance of the Township;
 - d. Submission of an Erosion and Sediment Control Plan or exemption in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
 - e. On-site landscaping being secured by a letter of credit at the Building Permit stage.
 - f. Modification of Statutory Right of Way BB184653 (Plan BCP34343).
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

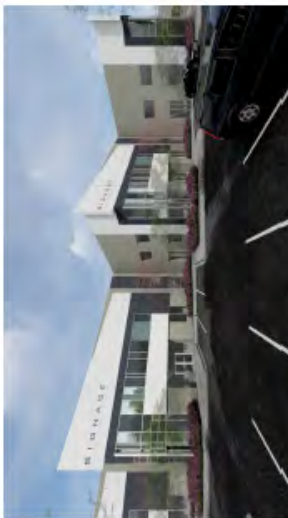
It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2017.

Attachments:

SCHEDULE A	Renderings
SCHEDULE B	Site Plan
SCHEDULE C	Building Elevations
SCHEDULE D	Signage Plan
SCHEDULE E	Landscape Plan



SCHEDULE A RENDERINGS



SCHEDULE B SITE PLAN



Beedie
2010 GARDNER DRIVE, BRIMLEY, ONTARIO
TEL: (416) 491-2222 FAX: (416) 491-2225

CHIP BARRETT ARCHITECT
D.FORCE DESIGN INC.
1565 ALBANY STREET, MISSISSAUGA, ON L4X 1L7
TEL: (905) 277-5655 FAX: (905) 277-5654

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	2024.01.15
2	ISSUED FOR PERMITTING	2024.01.15
3	ISSUED FOR PERMITTING	2024.01.15
4	ISSUED FOR PERMITTING	2024.01.15
5	ISSUED FOR PERMITTING	2024.01.15
6	ISSUED FOR PERMITTING	2024.01.15
7	ISSUED FOR PERMITTING	2024.01.15
8	ISSUED FOR PERMITTING	2024.01.15
9	ISSUED FOR PERMITTING	2024.01.15
10	ISSUED FOR PERMITTING	2024.01.15
11	ISSUED FOR PERMITTING	2024.01.15
12	ISSUED FOR PERMITTING	2024.01.15
13	ISSUED FOR PERMITTING	2024.01.15
14	ISSUED FOR PERMITTING	2024.01.15
15	ISSUED FOR PERMITTING	2024.01.15
16	ISSUED FOR PERMITTING	2024.01.15
17	ISSUED FOR PERMITTING	2024.01.15
18	ISSUED FOR PERMITTING	2024.01.15
19	ISSUED FOR PERMITTING	2024.01.15
20	ISSUED FOR PERMITTING	2024.01.15

275TH AND 48TH SPEC
275TH AND 48TH SPEC
275TH AND 48TH SPEC

A-1
18

SITE DATA
SITE ADDRESS: 275TH AND 48TH AVENUE, MISSISSAUGA, ONTARIO L4X 1L7
OWNER: [REDACTED]
DESIGNER: [REDACTED]
DATE: 2024.01.15
SCALE: AS SHOWN
PROJECT NO.: [REDACTED]
SHEET NO.: [REDACTED]

GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2024 ONTARIO BUILDING CODE AND ALL APPLICABLE REGULATIONS.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING AND ITS STRUCTURE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING AND ITS STRUCTURE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITIES AND SERVICES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SOILS AND ROCKS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WATERWAYS AND WETLANDS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL HERITAGE AND MONUMENTS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORIC SITES AND MONUMENTS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHAEOLOGICAL SITES AND MONUMENTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PALEONTOLOGICAL SITES AND MONUMENTS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING GEOLOGICAL SITES AND MONUMENTS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BOTANICAL SITES AND MONUMENTS.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ZOOLOGICAL SITES AND MONUMENTS.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ECOSYSTEMS AND MONUMENTS.

SCHEDULE C BUILDING ELEVATIONS

1. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

2. NORTH ELEVATION
SCALE: 1/8" = 1'-0"

3. WEST ELEVATION
SCALE: 1/8" = 1'-0"

4. EAST ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

PROJECT: 275TH AND 48TH SPEC

CLIENT: [REDACTED]

DATE: [REDACTED]

OVERALL COLOUR ELEVATIONS

NO.	DESCRIPTION	COLOUR
1	WALLS	101
2	ROOF	102
3	GLASS	103
4	WOOD	104
5	STEEL	105
6	CONCRETE	106
7	PAVING	107
8	LANDSCAPE	108
9	SKY	109

PROJECT COLOURS

101: WALLS
102: ROOF
103: GLASS
104: WOOD
105: STEEL
106: CONCRETE
107: PAVING
108: LANDSCAPE
109: SKY

MATERIAL LEGEND

1: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 1
2: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 2
3: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 3
4: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 4
5: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 5
6: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 6
7: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 7
8: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 8
9: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 9
10: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 10
11: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 11
12: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 12
13: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 13
14: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 14
15: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 15
16: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 16
17: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 17
18: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 18
19: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 19
20: ALUMINIUM ANODIZED EXTERIOR PANEL, TYPE 20

Beedie

3000 GLENVIEW AVENUE, BURBANK, VICTORIA
TEL: 6041-453-0271 FAX: 6041-453-2189

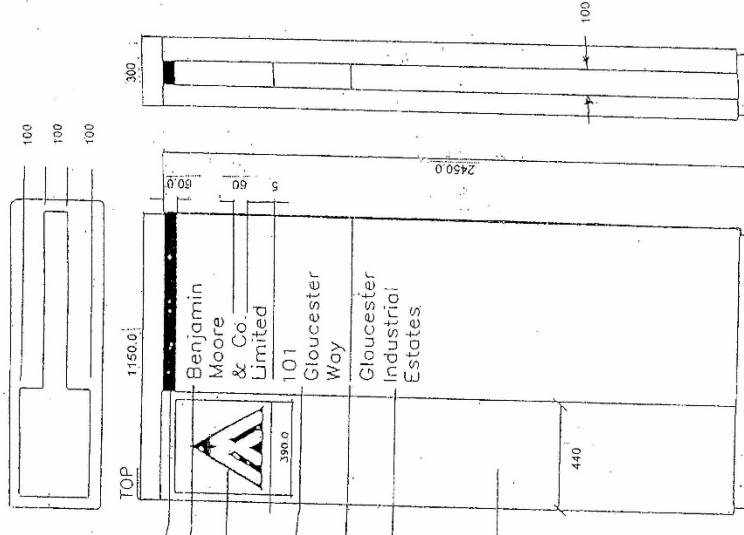
D.FORCE DESIGN

CHIP BARRETT ARCHITECT

TEL: (604) 697-5025 SMALL BUSINESS CERTIFIED

GLOUCESTER INDUSTRIAL ESTATES

ENTRANCE SIGN



ENTRANCE SIGN

MAIN COLOUR STRIPE (TO MATCH QUADRANT COLOUR)

COMPANY NAME (WHITE, BOLD TYPE)

BACKLIT LOGO (WHITE)

COMPANY ADDRESS (WHITE, REG. TYPE)

MINOR COLOUR STRIPE (TO MATCH QUADRANT COLOUR)

TEXT TO BE SIDE LIT

SIGN (CHARCOAL GREY)

¹Cloverdale Paints: *Diamond Mine Gipsy #599*

QUADRANT COLOUR

- S.W. RED
- N.W. YELLOW
- S.E. BLUE
- N.E. GREEN

SCHEDULE D SIGNAGE PLAN



SCHEDULE E LANDSCAPE PLAN



3.0 DEVELOPMENT STRATEGY

There is no need for the Township Of Langley to consider expansion of services to the subject area to permit industrial development. Development of services to the areas and consideration of zoning of properties in the area to industrial and commercial uses will only be considered on the basis of a comprehensive development for the subject lands. The Township Of Langley will not be developing capital expenditure programs for the subject area and considers the area unsuitable for industrial and commercial uses until municipal water and sewage systems are developed and a program to upgrade the drainage system, roadways and park requirements is proposed and adopted. Development of services will only proceed on the property owners request and agreement to pay the cost of developing services.

4.0 DEVELOPMENT PERMIT GUIDELINES

#2812
25/06/9 In a Development Permit Area, before a building permit may be obtained, a Development Permit must first be issued by Council. Council may set forth conditions under which development may take place that may be in addition to normal zoning requirements and the developer's Statutory Building Scheme registered as a charge against the lands pursuant to Section 216(1) of the Land Title Act.

Form and Character

- Building design, materials and exterior finish and landscaping shall support the creation of an attractive, high quality estate industrial environment and shall conform to the provisions of Gloucester's Statutory Building Scheme;
- Low profile building designs are encouraged, particularly adjacent to residential and rural areas as well as the No. 1 Highway;
- Commercial buildings are encouraged to incorporate "pitched" roofs or other similar roof treatment into the building design;
- The use of smooth surfaced, light coloured building materials, finished, painted "tilt-up" concrete panels, acrylic stucco, brick, baked enamel finished metal siding, or metal panels is encouraged;
- The use of untreated or unfinished concrete, metal or aluminum as a final building finish will not be permitted;
- Building design, layout, siting, landscaping, screening and buffering shall reflect the need to reduce noise impacts from the No. 1 Highway and between industrial development and adjacent uses;
- Buildings on corner sites or on lots backing onto roads shall be designed to recognize the building's visibility from more than one street with continuity of design, materials, exterior finish, signage and landscaping;
- Roof top mechanical equipment shall be hidden behind screens designed as an integral part of a building, or parapets may be extended to conceal such equipment;

- Underground utilities shall be provided;
- Building plans submitted in support of a Development Permit shall:
 - Be of sufficient detail to convey the intent of the design in terms of the building's appearance, exterior finish, materials and colour treatments;
 - Be prepared by an architect registered in B.C.;
 - Include a coloured rendering or perspective drawing and typical building elevations;
 - Include a coloured site plan indicating the siting of all buildings and structures, property lines, dimensions, easements, rights of way, roads, areas, phasing and significant physical features;
 - Include a detailed statement of land and building uses, lot sizes, coverage, building height, staging and the location and dimensions of landscape and buffer areas.

Landscape Areas and Buffers

Landscape plans submitted in support of a Development Permit shall:

- Be of sufficient detail to convey the intent of the landscape design;
- Complement the objective of creating an attractive, high quality industrial environment;
- Comply with the Landscape Design Guidelines attached as Appendix "A" to the developer's Statutory Building Scheme;
- Be prepared by a landscape architect registered in B.C.;
- Include a detailed plant list, quantity and sizing of plant material;
- Include fencing design, material and specifications;
- Include a cost estimate of the value of the landscape works including fencing and installation (of both the landscape works and fencing);
- Include boulevard treatment and street tree plantings in accordance with the Township's Boulevard Treatment and Street Tree Policy;
- At the building permit stage, be secured by a letter of credit;
- In buffer and building setback areas on-site natural vegetation shall be encouraged to be retained wherever practical;

- No site development works involving the removal of natural vegetation in the buffer or setback areas shall take place until after the Development Permit has been issued;
- Natural vegetation or berming adjacent to the No. 1 Highway shall not be removed unless specifically authorized by the Development Permit;
- The width of the undisturbed natural vegetation area adjacent to the No. 1 Highway shall be a minimum of 15m except where lands are designated for Service Commercial purposes the width of the required landscaping adjacent to the No. 1 Highway shall be a minimum of 7.5m;
- Adjacent to the No. 1 Highway, where no natural vegetation exists or where natural vegetation is specifically authorized to be removed by the Development Permit, it shall be replaced by a combination of landscape works and berming;
- Berms, where required, shall be a minimum of 1.8m height and be landscaped with evergreen shrubs/hedges and other plantings forming a continuous opaque screen;
- Adjacent to the street (other than the No. 1 Highway) a minimum 5m wide landscape area is required;
- Adjacent to residential or rural areas, a minimum 10m wide landscape area/buffer is required, plus a 1.8m high (minimum) fence designed to reduce the visual and noise impacts of the industrial use on adjacent lands;
- Parking areas are to be landscaped and shall not occupy more than 25% of the front yard of a building;
- Outside storage areas are to be screened; and
- Refuse collection areas shall be enclosed within a building or screened by a combination of walls, fencing and landscaping.

#3850
19/07/99

Signs

Sign plans submitted in support of the Development Permit application shall:

- Be in accordance with the developer's Statutory Building Scheme and the Township's Sign Control Bylaw;
- Be prepared by a professional graphic designer showing the location, type, size, colour and height of all signs, logos, graphics, symbols and colours to be located on all buildings and on free-standing signs;
- Complement the building's design scheme;
- Involve only one free-standing sign containing only the corporate names and street numbers on its face;

- No illuminated sign creating a glare or reflection on any building or street shall be permitted;
- Signs shall only identify those businesses located within the building itself.

Conservation Areas

Creek and gully areas should be retained in private ownership and developed to ensure definition and protection of sensitive areas. These creek and gully areas are undevelopable and should be protected to serve as drainage courses, fish and wildlife habitats and to ensure development does not occur in areas of unstable soil conditions. Creek and gully areas should not be cleared and development should be set back from the top of the bank. Site specific study is required to determine the setback.

Technical Report No. 807 entitled "Guidelines for Land Development and Protection of the Aquatic Environment" prepared by the Department of Fisheries and Oceans Canada, July 1978, is to be used as a guideline for determining setbacks for development adjacent to fish bearing streams. The Township may require the property owner to have prepared a report certified by a professional geotechnical or Civil Engineer to assist in determining what conditions of development are required to protect development from hazardous conditions.

From: Ramin Seifi
Sent time: 12/06/2017 01:15:59 PM
To: Stephen Richardson; Robert Knall; Joel Nagtegaal
Subject: Fwd: Draft NOM

FYI - I will share with Beedie, once I know agenda has been finalized.

Thanks.

Begin forwarded message:

From: Mark Bakken <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>
Date: December 6, 2017 at 12:09:35 PM PST
To: Ramin Seifi <rseifi@tol.ca <<mailto:rseifi@tol.ca>>>
Subject: Fwd: Draft NOM

FYI

Begin forwarded message:

From: Petrina Arnason <parnason@tol.ca <<mailto:parnason@tol.ca>>>
Date: December 6, 2017 at 11:58:16 AM PST
To: Mark Bakken <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>
Cc: Wendy Bauer <wbauer@tol.ca <<mailto:wbauer@tol.ca>>>
Subject: Draft NOM

Dear Mark,

I hope that you are doing well this morning. I am forwarding a draft NOM for Mondays Council meeting:

Whereas Development Permit 100890 to permit construction of a building at 4825 - 275th Street in Gloucester Industrial Park with a variety of conditions attached was granted on November 6, 2017 to Beedie Corporation, and

Whereas the accompanying staff report contained information regarding the re-location of the existing Statutory Right of Way (SRW) within the overall development plan, which condition elicited a number of inquiries from Council with respect to West Creek and associated stormwater management for the site; and

Whereas Council subsequently requested further information based on the SRW re-location arising from correspondence from Langley Environmental Partners (LEPS) further to West Creek and its tributaries, and referred the matter to Staff with respect to a report which has now been forwarded for Council review; and

Whereas the information provided in the report is not dispositive regarding why the DFO should not be engaged in the application and associated processes given that Beedies VP of Land Development referenced the presence of fish in and around the area of Highway 1 and the subject property at the November 6, 2017 DP Hearing, and

Whereas the original DFO Authorization #99-HPAC-A2 000 000217 MELP File# A 20004880 cited in the Staff report states: FOI 18-051

The valid authorization period for the harmful alteration associated with various land development activities is from 10 May, 2000 through 15 September, 2005.. and ...If any phase of the project is not completed by that date, such that fish habitat may be affected, a new Authorization pursuant to Section 35(2) of the Fisheries Act may be required.; and

Whereas the subject development proposal will now potentially adversely affect new fish populations which have resulted from the enhancement works undertaken in and around the subject property, thereby triggering the involvement of the DFO in the proposed SRW relocation in order to ensure that the original conditions of Authorization are still applicable;

Therefore, be it resolved that a reconsideration of the matter on the grounds of new information proceed and that the following conditions be added to the original DP:

- 1) Beedie Corporation and/or its Qualified Professional confirms that the location and general design of the works are consistent with the information originally provided to the DFO and that any substantive deviations be forwarded to them for review prior to current Authorization; and
- 2) That the DFO conduct a site review in order to determine the number and species of fish potentially affected by the re-location of the SRW; and
- 3) That the DP conditions be subject to the current jurisdiction of the DFO with respect any harmful alteration of fish habitat and that all current applicable DFO and Township of Langley standards and policies be therefore applied; and
- 4) That the Ministry Environment be consulted further to the application in order to ascertain compliance with all related provincial policies further to fish and riparian guidelines and legislation; and
- 5) The issuance of a building permit for 4825 275th Street will not be completed until the preceding requirements have all substantively been met.

Thanks,
Councillor Petrina Arnason
Township of Langley

From: Ramin Seifi
Sent time: 11/27/2017 03:54:01 PM
To: Stephen Richardson
Cc: Robert Knall; Rod Shead; Joel Nagtegaal; Dave Anderson; David Cocking; Paul Albrecht; Kevin Larsen
Subject: RE: Information re: Development Permit Application No. 100890
Attachments: image001.png image002.jpg

Thanks Stephen;

I would like us to respond to the LEPS letter with clarifications to the points raised as per your comments below.

Kevin is copied for information due to the working relationship we have/had with LEPS.

Thanks.

From: Stephen Richardson
Sent: Monday, November 27, 2017 11:57 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Robert Knall <rknall@tol.ca>; Rod Shead <rshead@tol.ca>; Joel Nagtegaal <jnagtegaal@tol.ca>; Dave Anderson <danderson@tol.ca>; David Cocking <dcocking@tol.ca>; Paul Albrecht <palbrecht@tol.ca>
Subject: RE: Information re: Development Permit Application No. 100890

Good morning Ramin:

Staff are able to provide the following comment at this time regarding: 1) information included in Nov. 6 / 17 Report to Council and 2. Langley Environmental Partners Society (LEPS) Nov. 24 / 17 correspondence.

1. Nov. 6 / 17 Report to Council

As part of the application, the applicant has proposed to relocate an existing Statutory Right of Way and storm sewer. The north portion of the site includes a biofiltration/detention pond constructed in 2007 as part of the overall DFO compensation for the Gloucester Industrial Park. A non-disturbance restrictive covenant was registered on the property in 2008 to protect the pond. The subject development permit must comply with the terms and conditions of the restrictive covenant. (Report to Council November 6, 2017 Public Hearing (14-05-0098) Development Permit Application No. 100890 (161884 Canada Inc. / Beedie Development Group / 4825 - 275 STREET) p.7))

Comment:

a) As part of the application, the applicant has proposed to relocate an existing Statutory Right of Way and storm sewer.

In order to accommodate the proposed building on a consolidated site a portion of stormwater pipe that conveys flows from West Creek south and north of Hwy #1 is proposed to be relocated (see Attachments A and B)

b) The north portion of the site includes a biofiltration / detention pond constructed in 2007 as part of the overall DFO compensation for the Gloucester Industrial Park.

The subject biofiltration / detention pond was completed consistent with the DFO authorization and under the supervision of qualified professionals (see Attachments C and D)

c) A non-disturbance restrictive covenant was registered on the property in 2008 to protect the pond.

Consistent with the DFO authorization a non-disturbance restrictive covenant was registered on the subject property to protect the subject area (Attachment E)

d) The subject development permit must comply with the terms and conditions of the restrictive covenant.

The subject development permit proposes to comply with the terms of the covenant and the Townships Streamside Protection provisions

2. LEPS Nov. 24 / 17 correspondence (excerpt)

The application refers to the modification of Statutory Right of Way BB184653 (Plan BCP 34343) (page 2, item f., under ... the following items will need to be finalized) but does not note the stream classification.

We are concerned that the omission of this information could have adverse impacts to West Creek and upstream habitat.

This channelized creek is actually one of the main branches of West Creek, draining upstream agricultural lands, as well as the highway. The creek is Class B or yellow coded according to the Township of Langley's Watercourse Classification map; yellow coded streams are significant source of food, nutrient or cool water to salmon populations downstream.

Comment:

a) The application refers to the modification of Statutory Right of Way BB184653 (Plan BCP 34343) (page 2, item f., under ... the following items will need to be finalized) but does not note the stream classification.

The watercourse identified in the LEP's letter was authorized by DFO for elimination in 2000 (and eliminated in the 2005 to 2008 timeframe). The DFO authorization with comments on pages 2, 14 and 15 highlighting relevant information is Attachment C.

The modification to the Statutory Right of Way pertains to a relocation of stormwater pipe (see Attachments A and B) that conveys stormwater flows.

b) We are concerned that the omission of this information could have adverse impacts to West Creek and upstream habitat.

This channelized creek is actually one of the main branches of West Creek, draining upstream agricultural lands, as well as the highway.

The proposed relocation of a portion of the stormwater pipe will maintain upstream habitat as it will accept flows at the same point south of Hwy #1 and convey these flows to the same outlet point (at the pond) connecting the two portions of yellow coded watercourse.

c) The creek is Class B or yellow coded according to the Township of Langley's Watercourse Classification map; yellow coded streams are significant source of food, nutrient or cool water to salmon populations downstream.

The watercourse is currently classified as Class B south of Hwy #1 and flow is piped until it is received the pond at the northerly portion of the subject site. The pond and flow outlet point have been constructed in compliance with DFO (and the Townships Streamside Protection provisions) and are maintained by the subject application.

Please let me know if staff can provide additional information / clarification or be of further assistance.

Best regards - Stephen

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca <<http://www.tol.ca>>

From: Ramin Seifi
Sent: Sunday, November 26, 2017 10:20 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca <<mailto:jnagtegaal@tol.ca>>>
Cc: Stephen Richardson <srichardson@tol.ca <<mailto:srichardson@tol.ca>>>
Subject: Fwd: Information re: Development Permit Application No. 100890

FYI and advice as to the comments about a yellow coded water course and the staff report.

Thank you.

Begin forwarded message:

From: "Petrina Arnason" <parnason@tol.ca <<mailto:parnason@tol.ca>>>
To: "Mark Bakken" <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>
Cc: "Ramin Seifi" <rseifi@tol.ca <<mailto:rseifi@tol.ca>>>
Subject: Fwd: Information re: Development Permit Application No. 100890

Dear Mark,

I hope that you are doing well this weekend. I am corresponding on the weekend as time is of the essence with respect to the referenced DP which was endorsed by Council majority on November 6th. As you will recall, there were discussions regarding the Statutory ROW relocation embedded in the staff report with two failed related amendments to have the DFO involved inasmuch as the project pertains to West Creek. I since understand that you may have spoken to Councillor Davis regarding the issues raised regarding the potential for a reconsideration based on new facts but I have not spoken to him directly regarding your discussion. I am forwarding the information advanced by LEPS yesterday which seems to support the argument that the staff report upon which Council based its decision did not adequately represent all relevant information with respect to policies related to West Creek and associated watercourses. In light of the preceding, I would like to consider bringing a reconsideration motion and am seeking advice as to its structure in order to capture the relevant concerns and suggest an adequate remedy, under the circumstances.

Thanks,

Councillor Petrina Arnason

Township of Langley

Begin forwarded message:

From: "Nichole Marples" <Exec_Director@leps.bc.ca <mailto:Exec_Director@leps.bc.ca>>
To: "Petrina Arnason" <parnason@tol.ca <<mailto:parnason@tol.ca>>>, "David Davis" <ddavis@tol.ca <<mailto:ddavis@tol.ca>>>, "Jack Froese" <jfroese@tol.ca <<mailto:jfroese@tol.ca>>>, "Angie Quaale" <aquaale@tol.ca <<mailto:aquaale@tol.ca>>>, "Michelle Sparrow" <msparrow@tol.ca <<mailto:msparrow@tol.ca>>>, "bwhitmarch@tol.ca <<mailto:bwhitmarch@tol.ca>>" <bwhitmarch@tol.ca <<mailto:bwhitmarch@tol.ca>>>, "Kim Richter" <krichter@tol.ca <<mailto:krichter@tol.ca>>>, "Charlie Fox" <cfox@tol.ca <<mailto:cfox@tol.ca>>>, "Bob Long" <blong@tol.ca <<mailto:blong@tol.ca>>>
Cc: "Tracy Stobbe" s. 22(1) [REDACTED] "Ted Lightfoot" s. 22(1) [REDACTED]
Subject: Information re: Development Permit Application No. 100890

Dear Mayor Froese and Members of Council,

Please find attached a letter submitted by LEPS providing further information about a yellow coded stream on West Creek, related to Development Permit Application No. 100890, which was a council agenda item from November 6th.

Regards

Nichole

NICHOLE MARPLES | EXECUTIVE DIRECTOR

LANGLEY ENVIRONMENTAL PARTNERS SOCIETY

T| 604.532.3511 F| 604.534.6593

exec_director@leps.bc.ca <mailto:exec_director@leps.bc.ca>

Unceded Coast Salish Territory

From: Stephen Richardson
Sent time: 11/27/2017 11:57:22 AM
To: Ramin Seifi
Cc: Robert Knall; Rod Shead; Joel Nagtegaal; Dave Anderson; David Cocking; Paul Albrecht
Subject: RE: Information re: Development Permit Application No. 100890
Attachments: image001.png Attachment A - Drainage Map.jpg Attachment B - Drainage Civil.jpg Attachment C - DFO Authorization (markup).pdf
Attachment D - Envirowest Authorization works confirmation.pdf image002.jpg Attachment E - Covenant BB184655.pdf

Good morning Ramin:

Staff are able to provide the following comment at this time regarding: 1) information included in Nov. 6 / 17 Report to Council and 2. Langley Environmental Partners Society (LEPS) Nov. 24 / 17 correspondence.

1. Nov. 6 / 17 Report to Council

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Comment:

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b) The north portion of the site includes a biofiltration / detention pond constructed in 2007 as part of the overall DFO compensation for the Gloucester Industrial Park.

The subject biofiltration / detention pond was completed consistent with the DFO authorization and under the supervision of qualified professionals (see Attachments C and D)

c) A non-disturbance restrictive covenant was registered on the property in 2008 to protect the pond.

Consistent with the DFO authorization a non-disturbance restrictive covenant was registered on the subject property to protect the subject area (Attachment E)

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The subject development permit proposes to comply with the terms of the covenant and the Townships Streamside Protection provisions

2. LEPS Nov. 24 / 17 correspondence (excerpt)

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Please let me know if staff can provide additional information / clarification or be of further assistance.

Best regards - Stephen

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Ramin Seifi
Sent: Sunday, November 26, 2017 10:20 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Cc: Stephen Richardson <srichardson@tol.ca>
Subject: Fwd: Information re: Development Permit Application No. 100890

FYI and advice as to the comments about a yellow coded water course and the staff report.

Thank you.

Begin forwarded message:

From: "Petrina Arnason" <parnason@tol.ca <<mailto:parnason@tol.ca>>>
To: "Mark Bakken" <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>
Cc: "Ramin Seifi" <rseifi@tol.ca <<mailto:rseifi@tol.ca>>>
Subject: Fwd: Information re: Development Permit Application No. 100890

Dear Mark,

I hope that you are doing well this weekend. I am corresponding on the weekend as time is of the essence with respect to the referenced DP which was endorsed by Council majority on November 6th. As you will recall, there were discussions regarding the Statutory ROW relocation embedded in the staff report with two failed related amendments to have the DFO involved inasmuch as the project pertains to West Creek. I since understand that you may have spoken to Councillor Davis regarding the issues raised regarding the potential for a reconsideration based on new facts but I have not spoken to him directly regarding your discussion. I am forwarding the information advanced by LEPS yesterday which seems to support the argument that the staff report upon which Council based its decision did not adequately represent all relevant information with respect to policies related to West Creek

and associated watercourses. In light of the preceding, I would like to consider bringing a reconsideration motion^{FOL18-051} and am seeking advice as to its structure in order to capture the relevant concerns and suggest an adequate remedy, under the circumstances.

Thanks,

Councillor Petrina Arnason

Township of Langley

Begin forwarded message:

From: "Nichole Marples" <Exec_Director@leps.bc.ca <mailto:Exec_Director@leps.bc.ca>>
To: "Petrina Arnason" <parnason@tol.ca <<mailto:parnason@tol.ca>>>, "David Davis" <ddavis@tol.ca <<mailto:ddavis@tol.ca>>>, "Jack Froese" <jfroese@tol.ca <<mailto:jfroese@tol.ca>>>, "Angie Quaale" <aquaale@tol.ca <<mailto:aquaale@tol.ca>>>, "Michelle Sparrow" <msparrow@tol.ca <<mailto:msparrow@tol.ca>>>, "bwhitmarch@tol.ca" <bwhitmarch@tol.ca <<mailto:bwhitmarch@tol.ca>>>, "Kim Richter" <krichter@tol.ca <<mailto:krichter@tol.ca>>>, "Charlie Fox" <cfox@tol.ca <<mailto:cfox@tol.ca>>>, "Bob Long" <blong@tol.ca <<mailto:blong@tol.ca>>>
Cc: "Tracy Stobbe" <tracy.stobbe@tol.ca> <tracy.stobbe@tol.ca>> "Ted Lightfoot" <ted.lightfoot@tol.ca> <ted.lightfoot@tol.ca>>

Subject: Information re: Development Permit Application No. 100890

Dear Mayor Froese and Members of Council,

Please find attached a letter submitted by LEPS providing further information about a yellow coded stream on West Creek, related to Development Permit Application No. 100890, which was a council agenda item from November 6th.

Regards

Nichole

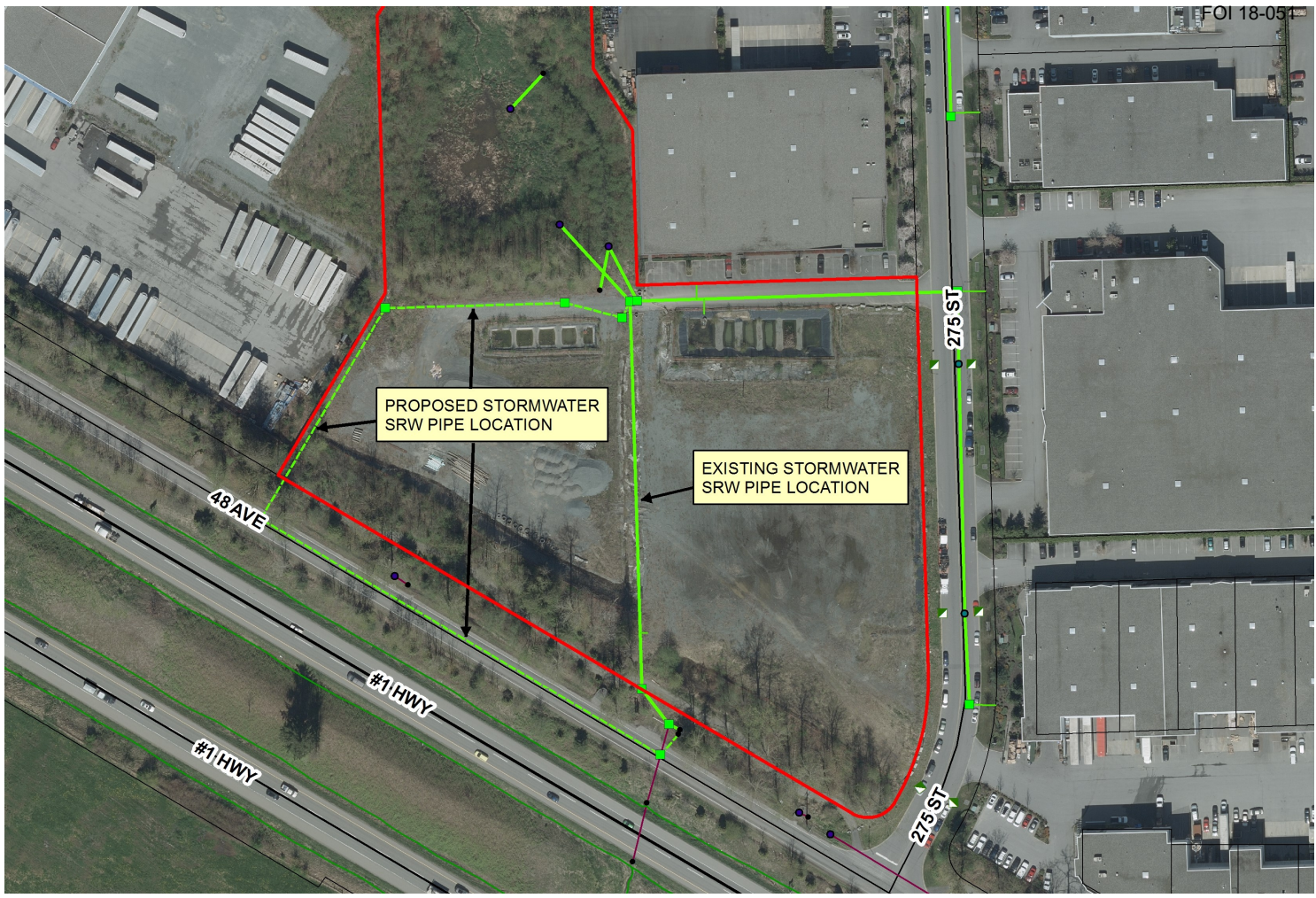
NICHOLE MARPLES | EXECUTIVE DIRECTOR

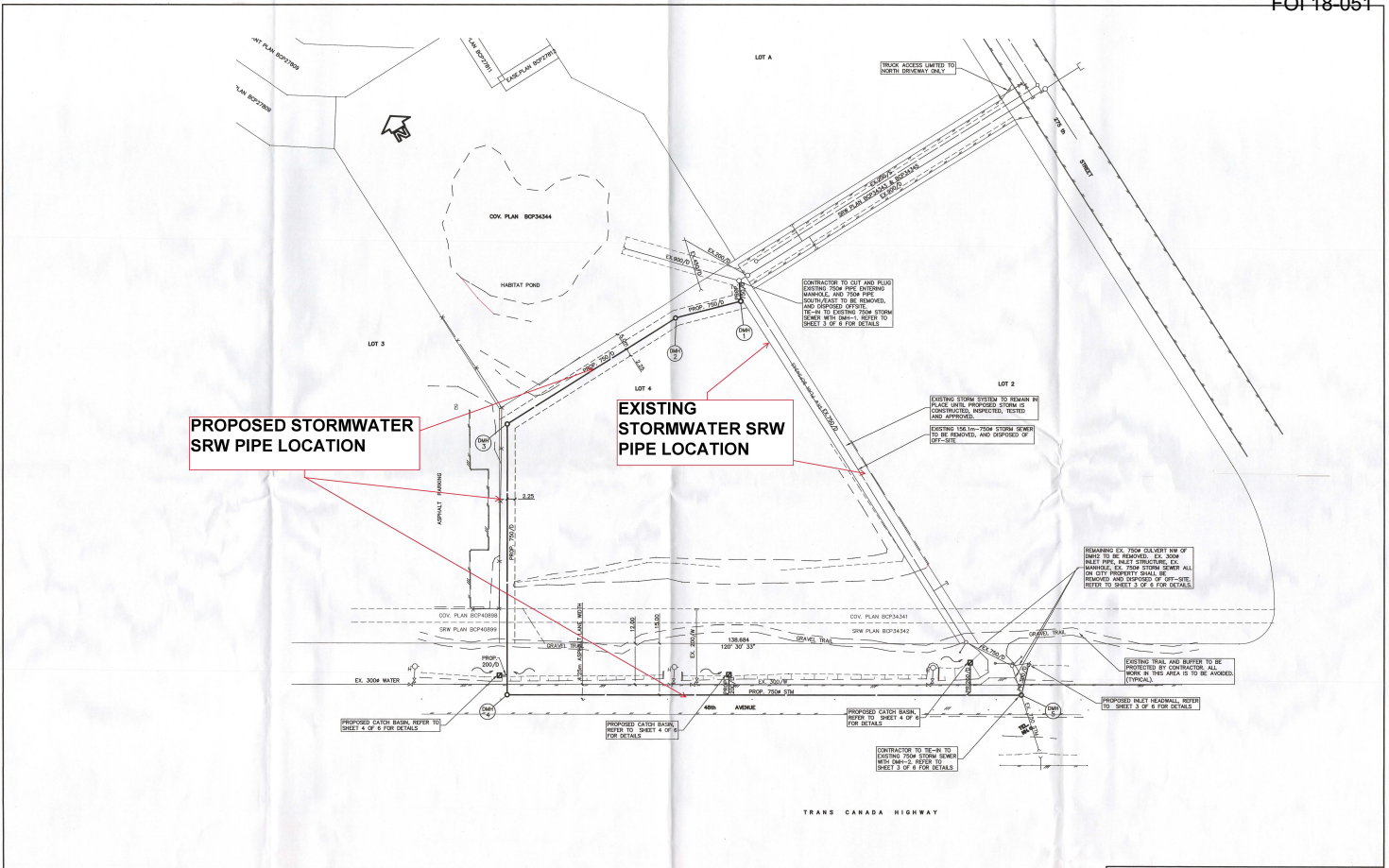
LANGLEY ENVIRONMENTAL PARTNERS SOCIETY

T| 604.532.3511 F| 604.534.6593

exec_director@leps.bc.ca <mailto:exec_director@leps.bc.ca>

Unceded Coast Salish Territory





<p>NOTES</p> <p>CONTRACTOR TO CONTACT TOWN OF LANGLEY, TOWN ENGINEER AND ALL OTHER AGENCIES TO OBTAIN NECESSARY PERMITS AND APPROVALS BEFORE COMMENCING WORK.</p>		<p>OWNER</p> <p>KERY VENTURES LP 3030 CALMERE OVERSON, BURNABY, BC</p>		<p>ENGINEER</p> <p>DNA David Naiman - Association Ltd</p>		<p>SEAL</p> <p>AUG 21 2017</p>		<p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>REVISIONS</th> </tr> <tr> <td>1</td> <td>3/17/14</td> <td>ISSUED FOR CLIENT REVIEW</td> </tr> <tr> <td>2</td> <td>6/27/14</td> <td>ISSUED FOR TOWNSHIP REVIEW</td> </tr> <tr> <td>3</td> <td>12/08/14</td> <td>STORM SEWER REVISED</td> </tr> <tr> <td>4</td> <td>09/17/15</td> <td>REVISED FOR TOWNSHIP COMMENTS</td> </tr> <tr> <td>5</td> <td>2/10/17</td> <td>REVISED PER TOWNSHIP COMMENTS</td> </tr> </table>		No.	Date	REVISIONS	1	3/17/14	ISSUED FOR CLIENT REVIEW	2	6/27/14	ISSUED FOR TOWNSHIP REVIEW	3	12/08/14	STORM SEWER REVISED	4	09/17/15	REVISED FOR TOWNSHIP COMMENTS	5	2/10/17	REVISED PER TOWNSHIP COMMENTS	<p>MUNICIPAL PROJECT No. 14-05-0098</p> <p>The Corporation of the Township of Langley</p> <p>OVERALL STORM SEWER RELOCATION PLAN</p> <p>PROJECT FILE NO: 5240 PLAN NO: 13-0000-0</p> <p>SHEET NO: 1 of 5</p>	
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5	2/10/17	REVISED PER TOWNSHIP COMMENTS																											



Pêches
et Océans

Authorization # 99-HPAC-PA2-000-000217
MELP File #A2004880

AUTHORIZATION FOR WORKS OR UNDERTAKINGS AFFECTING FISH HABITAT

Authorization issued to:

Name: 161884 Canada Inc.: Gloucester Industrial Estates (herein also referred to as "Gloucester")

Address: 310 - 1001 West Broadway, Vancouver, BC V6H 4B1

Contact: Mr. Dave Gormley

Telephone: (604) 856-3156

Facsimile No: (604) 856-3384

Location of Project:

Tributaries to West and Nathan creeks within the Gloucester Industrial Estates in Langley, generally encompassing lands north of the Trans-Canada Highway, west of the Langley-Abbotsford boundary, east of 264th Street and south of 60th Avenue.

Valid Authorization Period:

The valid authorization period for the harmful alteration associated with various land development activities is from 01 May, 2000 through 15 September, 2005.

As specified herein, this document only authorizes the destruction of the fish habitat and associated compensatory works until 15 September, 2005. If any phase of the project is not completed by that date, such that fish habitat may be affected, a new application pursuant to Section 35(2) of the Fisheries Act may be required. Should this Authorization expire without the works proceeding, and no alterations to the project design or DFO policy, legislation and/ or guidelines have occurred, an amendment for an extension to this authorization may be considered.

Description of Works or Undertakings:

The harmful alteration hereby authorized includes a number of undertakings which are listed below and numerically referenced to a plan of existing drainage (refer to ECL Drawing No. 467-02-11, Rev. 03, attached in Appendix A).

In the Northeast Quadrant of the development -

- Site 1. realignment and permanent elimination of riparian vegetation associated with the fisheries sensitive zone (i.e. relaxation of the setback boundary) adjacent to a watercourse;
- Site 2. elimination of a watercourse; and,
- Site 3. elimination of a ravine, elimination of a portion of a wetland, and permanent elimination of riparian vegetation associated with the fisheries sensitive zone (i.e. relaxation of the setback boundary) adjacent to a wetland.

In the Southeast Quadrant of the development -

- Site 8. elimination of a watercourse;
- Site 9. realignment of a watercourse;
- * Site 10. elimination of a watercourse; and,
- Site 23. elimination of 5 m of watercourse.

Site 10 is shown on the "Existing Drainage" map (see page 14). The "Ultimate Drainage" map (page 15) shows the watercourse no longer present.

In the Southwest Quadrant of the development -

- Site 11. elimination of a watercourse;
- Site 12. elimination of a watercourse;
- Site 13. elimination of a pond;
- Site 14. elimination of a pond;
- Site 15. elimination of a pond;
- Site 16. elimination of a pond and watercourse;
- Site 17. realignment of a watercourse;
- Site 18. elimination of a watercourse;
- Site 19. elimination of a pond and watercourse;
- Site 20. elimination of a pond;
- Site 21. elimination of riparian vegetation; and,
- Site 22. elimination of a watercourse.

These works are more specifically described in the following submissions and drawings:

Appendices:

- a). Appendix A: ECL Envirowest Consultants Limited (ECL) Drawing No. 467-02-11, Revision 03 entitled "Existing Drainage" dated May 2000, and ECL Dwg No. 467-02-12, Revision 05 entitled "Ultimate Drainage", dated May 2000;
- b). Appendix B: Habitat balance prepared by ECL;
- c). Appendix C: The application for Environmental Review submitted by ECL on behalf of

161884 Canada Inc., dated June 8, 1999;

- d). ✓ Appendix D: ECL Drawing Nos.:
- ✓ 467-06-01R (dated March 1999);
 - ✓ 467-02-09, Revision 00 (dated April 12, 1999);
 - ✓ 467-04-06, Revision 01 (dated August 27, 1998);
 - ✓ 467-02-08, Revision 01 (dated September 13, 1999);
 - ✓ 467-02-10A, Revision 01 (dated August 9, 1999);
 - ✓ 467-02-10B, Revision 01 (dated August 9, 1999);
 - ✓ 467-02-13, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-14, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-15, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-16, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-17, Revision 00 (dated May 8, 2000).
- e). Appendix E: Aplin & Martin Consultants Ltd. Drawing Nos. 96025SR-1, Revision 1; 96025SR-2, Revision 2; and 96025SR-3, Revision 2, all dated May 1997;
- f). Appendix F: Hunter Laird Engineering Ltd. Job No. 4518, Sheets 9 of 14 and 10 of 14, both Revision A and dated July 29, 1999.
- g). Appendix G: Copies of Letters of Credit totalling \$100,000.00 and the Letter of Credit Reduction Schedule;
- h). Appendix H: Copies of the restrictive covenant documents, registered in favour of the BC Ministry of Environment, Lands and Parks under Section 219 of the provincial Land Titles Act;
- i). Appendix I: Gloucester Industrial Estates 1998 Stormwater Management Plan: Final Report by Stantec Consulting Ltd.

Schedules:

Schedule A: DFO/ MELP Riparian Planting Guidelines.

Conditions of Authorization:

1. Gloucester confirms that all plans and specifications relating to this Authorization have been duly prepared and reviewed by appropriate professionals working on behalf of Gloucester. Gloucester acknowledges that it is solely responsible for all design, safety and workmanship aspects of all of the works associated with this Authorization.
2. Gloucester confirms that the location and general design of the works are to be consistent with the information provided to the agencies and that any material deviations from such designs must be reviewed and approved by all agencies having jurisdiction in this matter.
3. The conditions of this Authorization notwithstanding, DFO may at any time and at their

sole discretion, direct the Gloucester and/ or their agents and/ or contractors, to suspend or alter any work or activity associated with this project, to avoid or mitigate adverse impacts to fisheries resources. Further, DFO may at any time and at their sole discretion direct the Gloucester and/ or their agents and/ or their contractors, to carry out at the Gloucester's own expense any works or activities deemed necessary by DFO to avoid or mitigate adverse impacts to fisheries resources.

4. DFO must be notified of any future modifications to the existing drawings referred to in this Authorization and upon notification, may require plans and specifications to review and/ or approve prior to any work commencing.

Conditions that relate to works in or near watercourses:

5. Instream works may only be undertaken during the period between 01 August and 15 September of any year of this development. Any extensions to the work window will be considered on a case by case basis (season and weather dependent) and must have approval for extension from DFO and/ or MELP. An environmental monitor must be present full time during all instream works, unless otherwise agreed to by DFO and/ or MELP. The environmental monitor must have the authority to alter or halt works should they feel the works are detrimental to fisheries resources. Gloucester must provide a copy of the written authority, providing the name of the environmental monitor, contact number and a brief outline of relevant experience related to the proposed works to DFO, MELP and the Township.
6. All other works within the fisheries sensitive zones (i.e. setback areas) must be monitored daily during construction and during or following any storm event which may occur during the construction phase.
7. The environmental monitor must have experience in stream construction or restoration as well as sediment and erosion control.
8. All instream work must be undertaken and completed in isolation of flowing water. Generally, this is accomplished by diverting, enclosing or pumping the water around the work site. Flow to downstream portions of the stream must not be cut off at any time during construction. In addition, the point of discharge to the creek must be located immediately downstream of the work site.
9. Prior to commencement of instream works, an environmental consultant or other qualified professional who is acceptable to DFO and/ or MELP must conduct a fish and amphibian salvage in and around areas potentially affected by siltation or de-watering. Appropriate fish collection permits must be obtained prior to any instream works commencing. The consultant/monitor must ensure that the appropriate DFO and MELP staff have been contacted and are advised of the commencement of instream works.
10. Sediment and erosion control measures must be installed to the standards outlined in the BC Environment/DFO "Land Development Guidelines for the Protection of Aquatic Habitat". All work must be conducted in a manner that will prevent the release of sediment or sediment-laden water into any watercourse.

In this regard, a sediment, erosion and runoff control plan must be prepared by a qualified, trained professional and implemented prior to any site preparation works and/ or construction. These facilities must be maintained until the occupancy permit stage, or until no longer applicable to the site conditions. These facilities must be maintained and be working adequately to control discharges from the site.

11. All disturbed areas within the leavestrips should be hydro-seeded or covered to prevent surface erosion. If work is undertaken late in the growing season, normal seeding may not be effective in preventing surface erosion. In this regard, the entire disturbed area may require stabilization through hydro-seeding with heavy mulch or by installing geotextile seed mats.
12. All constructed streambank slopes must not exceed 2:1 slopes (horizontal: vertical). All constructed slopes must be covered with a minimum 6" topsoil to ensure a reasonable plant growth medium, and an appropriate native seed mixture and biodegradable geotextile or hydro-seed (if deemed necessary by a qualified professional) to ensure stability.
13. Riparian revegetation must be completed in accordance with the specified plans, attached in Appendix D. Any other disturbed areas within the leavestrip areas, which are not included in a specified revegetation plan, must be replanted in accordance with the DFO/ MELP guidelines for riparian revegetation, attached as Schedule A.
14. Machinery is not permitted to work within the wetted perimeter of the stream. All machinery on the site must be in good repair and free of excess oil and grease. No fuels lubricants, construction wastes or other deleterious substances may enter the watercourse at any time. Emergency spill kits must be kept on site and be readily accessible at all times in case of release of a deleterious substance to the environment. Any spill of reportable quantities must be immediately reported to the Provincial Emergency Program (24 hour phone line: 1-800-663-3456).
15. All construction materials, such as fill or riprap, must consist of inert materials. Rock used as riprap must be durable and suitably graded to resist movement by stream flow. Rock and/ or riprap placement must be completed so as to ensure their stability within the creek system.
16. Topsoil, debris from construction, concrete and/ or concrete leachate, overburden, soil, grout, oil, grease or any other substance deleterious to aquatic life must be disposed of or placed in a manner that will prevent their entry into any watercourse, ravine, floodplain, or storm sewer system.

In this regard, DFO notes that if any cast in place concrete works are to be undertaken, there may exist high potential for concrete and/ or concrete leachate to enter a watercourse. Concrete leachate is alkaline and highly toxic to fish and aquatic life and DFO requires that measures be taken to prevent any incidence of concrete from entering the watercourse. In case of emergency, a concrete buffer, such as CO₂, must be kept on site to mitigate any impacts from the escape of concrete. To ensure that no concrete or concrete leachate impacts downstream fish or fish habitat, DFO advises that the downstream pH be monitored regularly until completion of the works. If a significant change in pH is noted (i.e. pH below 5.0 or above 9.0), then emergency measures must

be implemented to neutralize pH levels. In addition, any concrete that does escape must be cleaned out of the channel immediately. All concrete work must be carried out during dry weather and low water conditions.

17. Any future stream crossings must be clear span bridges, bottomless arch culverts, or oversized culverts with a minimum 300-mm depth of gravels throughout, unless otherwise approved by DFO and MELP. Approval for stream crossings will be considered on a site by site basis.
18. ***The following personnel must be contacted and advised of any instream works or works within the fisheries sensitive zone (i.e. setback areas), a minimum of five (5) days in advance of the commencement of works.*** In addition, DFO and/ or MELP must be contacted for site inspection for any relocated or constructed watercourses prior to the release of water into newly constructed habitat:
 - a) The Fishery Officer in charge of the Fraser Valley West Field Office at tel: (604) 607-4160 or fax: (604) 607-4199;
 - b) The DFO Habitat Biologist for the Langley area at tel: (604) 666-6310 or fax: (604) 666-6627 (current contact Suzanne Thorpe); and,
 - c) The MELP Fish and Wildlife Habitat Protection Officer for the Langley area at tel: (604) 582-5239 or fax: (604) 930-7119 (current contact John Summers).
19. For any 'individual' project completed within the specified time period, the environmental monitor must submit three (3) copies of a 'summary' monitoring report to MELP and one (1) to this Department within 90 days of project completion.

As described herein, Site numbers 1 through 23 represent 'individual' projects, as do each of the compensatory sites A through D; however, the sites may be listed and detailed within the same monitor's report, if undertaken within the same calendar year. The monitor's report must indicate that the project has been completed and shall include the following:

- a) a complete list of all outstanding or incomplete works for any 'project' as defined herein;
 - b) date-stamped photos of the site(s) before, during and after construction;
 - c) date-stamped photos of the site post-planting;
 - d) confirmation of compliance with the Authorization; and,
 - e) details of any difficulties encountered and how they were handled.
20. In the event of any significant incident(s) which may occur during works associated with this project (i.e. oil/ gas spill, slope failure, sediment or erosion control problem), the environmental consultant should notify both DFO and MELP representatives as soon as possible. All emergency-reporting procedures must be followed on an immediate basis. The environmental monitor should have an emergency call out procedure in place prior to the commencement of works.
 21. The environmental monitor must post a readily visible sign identifying their company name and telephone number at the entrance(s) to the site.

22. ***A copy of this Authorization must be forwarded to all contractors and/or crew supervisors and must be present on the site while work is proceeding.***
23. ***It is understood that by proceeding with the works specified herein, the applicant's agent(s) and/ or contractor(s) and their work crews, shall have indicated an understanding of and agreement to the conditions within this Authorization, and that both DFO and MELP have the authority to inspect, and if necessary, stop any works that are not in compliance with the agreed to terms and conditions or if the agencies have fisheries related concerns.***

Conditions relating to stormwater management for development:

24. Design of the stormwater system shall be consistent with final approval of the document "Gloucester Industrial Estates Stormwater Management Plan: Final Report" by Stantec Consulting Ltd. (attached as Appendix I), currently under review. Detailed engineering design of the stormwater system must be reviewed and approved by DFO, MELP and the Township of Langley prior to site development.
25. Water treatment shall be provided for all areas not zoned or developed for industrial purposes as at May 1, 2000. Treatment will occur in first-flush treatment wetlands where feasible, while other areas will be treated by on-site oil-water separators. Envirowest Drawing No. 467-02-13 indicates treatment type for all lands within Gloucester Estates. Envirowest Drawing Nos. 467-02-14, 467-02-15, 467-02-16 and 467-02-17 provide details for first-flush treatment wetlands.
26. Stormwater from most of the Gloucester Estates development will be detained in two large detention features to be located within the golf course. Properties downstream, or outside of the catchments of these two areas must provide onsite detention that meets or surpasses the specifications outlined in the "Land Development Guidelines for the Protection of Aquatic Habitats".
27. Stormwater outfalls must be set back at least three (3) metres from the streambank and at an angle of approximately 45 degrees to the direction of stream flow. The outfall channel should be armoured with clean angular rock or other type of energy dissipater and stream bank stabilization, as approved by MELP.

Conditions relating to the Restrictive Covenant/ Leavestrip Area:

28. All leavestrip areas shown on ECL Drawing No. 467-02-12 will be protected by a restrictive covenant to be registered against the title of the property(ies) affected under Section 219 of the Land Titles Act, as per the requirements of MELP. All leavestrips are to be left in a totally undisturbed, naturally vegetated state in perpetuity. The covenant boundary must be surveyed by a registered BC Land Surveyor and a permanent fence must be constructed at the covenant boundary between development areas and the covenant areas prior to the commencement of any site development, unless otherwise agreed to by MELP.
29. After the compensatory habitat is functioning as intended, Gloucester shall not carry on any work or undertaking that will adversely disturb or impact the compensatory habitat,

Appendix A

and it will take all reasonable steps to ensure that the compensatory habitat is not disturbed by others, so long as Gloucester is associated with Gloucester Industrial Estates.

30. Buildings must be set back a minimum of one and one-half (1.5) metres from the restrictive covenant boundary, except to the north of the railway tracks where buildings are to be setback a minimum of five (5.0) metres from the restrictive covenant boundary.

Conditions that relate to all mitigatory and compensatory habitats:

31. The compensatory habitats shall consist of a number of features which are listed below and numerically referenced to a plan of ultimate drainage (refer to ECL Drawing No. 467-02-12, Revision 03, attached in Appendix A). These works are also described in the Habitat Balance (Appendix B). Design drawings are referenced for each project on the ultimate drainage plan.

In the Northeast Quadrant of the development -

Compensatory Site A, located at or near Site 1:

- Enhancement of an existing watercourse, including partial realignment, wetland/pond creation and riparian enhancement (refer to ECL Drawing No. 467-06-01R, dated March 1999). This watercourse discharges to the existing roadside ditch at 60th Avenue, subsequently flowing in a culvert under 60th Avenue.
- Native shrubs shall include a mix of species (minimum size #2 pot) including snowberry, red elderberry, salmonberry, red-flower currant, pussy willow, red-osier dogwood and thimbleberry (no species to consist of more than 20 percent of the total). Live stakes shall be planted at a density of 5 stakes per square metre.
- Large woody debris (tree, log and rootwad) placement will be undertaken as directed by the environmental consultant. All large woody debris will be placed in such a manner so as to ensure that they are appropriately keyed into the sides of banks or are otherwise stable. Rootwads should be placed so that the gnarly portions of the root mass are below the wetted perimeter of the creek/ pond area, thus providing maximum refuge cover for juvenile salmonids. Trees and logs must have a minimum diameter of 350 mm; rootwads a minimum diameter of 2.0 metres.
- Marsh planting in the northeast quadrant of the development will be undertaken as per the specifications indicated on ECL Drawing 467-02-10A (species list). All wetland planting will meet the minimum density criteria of 4 plants per square metre. Marsh planting may be undertaken early in the spring planting season post construction, provided that appropriate sediment control measures are undertaken throughout the winter season to prevent downstream sedimentation from such areas. Marsh planting must be completed by April 30, the end of the spring planting season.

In the Southeast Quadrant of the development -

Compensatory Site B, located at or near Site 9:

- Re-alignment of a watercourse, including development of pools (each with two rootwads) at 30 metre intervals, boulder complexing (minimum 6 boulders per 30 metre interval), and riparian enhancement (refer to ECL Drawing No. 467-02-09, Revision 00, dated April 12, 1999, and Hunter Laird Engineering Ltd. Job No. 4518, Sheets 9 of 14 and 10 of 14, both Revision A and dated July 29, 1999).
- A 1 metre wide strip on each side of the channel/pools is to be live-staked with a combination of red-osier dogwood and willow at a density of 5 stakes per square metre. Densities for trees and shrubs shall be one per five square metres and one per one square metre, respectively. Trees shall be increased in number to ten percent of total plants. Salvaged plant material may be used as an alternative to nursery stock, provided that it meets the required success rate.
- Rip rap is to be deleted from the side slopes of the pools; refer to ECL Dwg. #467-02-09.
- Boulder and boulder cluster placement will be undertaken as per the direction of the environmental consultant. Boulder complexing should be undertaken to provide fish habitat, direct flow, promote flushing, prevent infilling and to ensure bank stabilization, where necessary. Boulders must be appropriately keyed into the sides of banks and placed to ensure they are stable. Boulder diameter may be varied, depending on stream cross-section and gradient, but must average 400mm.

In the Southwest Quadrant of the development -

Compensatory Site C, located at or near Site 11:

- Pond/wetland creation north of Gloucester Way within the lands designated as future golf course (refer to ECL Drawings 467-02-10A and 467-02-10B).
- Wetland plants shall be planted at a density of four plants per square metre and trees and shrubs at densities one per five square metres and one per one square metre, respectively.
- The configuration of the constructed habitat may be revised subject to advance notification to DFO and completion of a similar or greater amount of habitat.
- Large woody debris placement should provide a minimum average of 25% cover in pools/ wetland using either gnarly rootwads and/ or whole tree sections.

Compensatory Site D, located at or near Site 17:

- Re-alignment of a watercourse south of Gloucester Way (refer to Aplin & Martin Consultants Ltd. Drawing Nos. 96025SR-1, Revision 1; 96025SR-2, Revision 2; and 96025SR-3, Revision 2). The portion adjacent to Gloucester Way is to be located within a 15-metre wide corridor; habitat details for this portion are shown in ECL Drawing No. 467-04-06, Revision 01. Habitat details for the remaining portions are shown in ECL Drawing No. 467-02-08, Revision 01. The north-south portion is to be constructed with a corridor width of 25 metres. Wherever possible, existing trees and

shrubs are to be retained along the margins of the new watercourse. Where existing vegetation is disturbed it will be re-planted in accordance with the specifications on ECL Drawing No. 467-02-08, Rev 01, and as detailed further herein.

- Deflector logs, aeration logs and rootwads shall each be installed in the channel at 10 metre intervals. Boulder clusters, each comprised of a minimum of four boulders of a minimum diameter of 400mm, are to be installed at 5 metre intervals.
- A one metre wide strip on each side of the channel is to be live-staked with a combination of red-osier dogwood and willow at a density of 5 stakes per square metre. Densities for trees and shrubs shall be one per five square metres and one per one square metre, respectively. Salvaged plant material may be used as an alternative to nursery stock.
- View/ access points around the constructed wetland/ pond areas at the "golf course" will be constructed so that access into and around the watercourse is discouraged. If access is or becomes problematic (i.e. interferes with the success of any aspect of the constructed habitat), additional measures may be required to prevent human encroachment into such areas (i.e. low fencing).

Conditions that relate to the monitoring/ evaluation program:

32. For each component of the overall habitat compensation plan, Gloucester shall carry out a monitoring program (the "Monitoring Program") which will extend for five (5) years post-construction and will include the following:
- a) if a project only involves disturbance(s) to, or removal of, riparian revegetation, a brief report describing plant survivorship and including photos is required yearly to three (3) years post-planting.
 - b) an assessment of the physical stability (see details of b) below) of any newly constructed works must be conducted a minimum of two (2) times during the first winter, in November/ December and February/ March. Any non-compliance issues or other problems with any aspect of the functioning of newly constructed habitat or that may have a negative impact to fisheries resources (e.g. erosion, slope failures) must be reported to both DFO and MELP within five (5) working days post-inspection and remediation measures implemented immediately, as approved by DFO and/ or MELP;
 - c) an annual photographic (date stamped) assessment of the compensation habitat and physical stability of the works, noting any changes in the function of the habitat for five (5) years post-construction. The assessment should also include looking for any evidence of erosion, slumping, tension cracks, movement of instream structures, bed material changes, sediment or debris accumulation and sediment transport changes. If gravels have been placed instream, an estimation of gravel depth, noting any changes, should be conducted each time the site is visited;
 - d) an annual assessment of the planted riparian vegetation for three (3) years post planting. Plant survival must be at least 80% for ground cover, forbs and shrubs

and 100% for trees for the duration of the monitoring program. Should this survivorship not be achieved, additional planting is required to be undertaken immediately during the planting season of, or immediately following, the assessment;

- e) measurements of water temperature, pH, dissolved oxygen, and rough estimate of water flow should be recorded each time the site is visited for monitoring;
- f) for relocated and/ or constructed watercourses and ponds, fish sampling must be undertaken using baited minnow traps, or an acceptable alternative sampling method, a minimum of once annually during the time of year that will maximize potential to determine fish presence;
- g) for relocated and/ or constructed watercourses and ponds, assessment of in-stream aquatic invertebrate populations must be undertaken a minimum of once annually during the 2nd (second) and 5th (fifth) years of the five (5) year monitoring program and during the time of year that will yield maximum diversity and quantity of invertebrate species (usually during the late spring/ early summer). Sampling should be conducted in riffle-type habitats at a minimum of three (3) locations (upper, middle and lower stream reach) if the stream section is 15 meters in length or longer; at a minimum of one (1) location if the stream section is less than 15 meters in length. Invertebrates collected are to be counted and identified to the to the Family level. Data from the invertebrate assessment shall be submitted in the monitor's report.
- h) the Monitoring Program shall be conducted by a qualified biologist, or other professional who has experience in this area, and who is acceptable to DFO;
- i) the provision to DFO of the annual results of the Monitoring Program in a written report, including an as built plan (where applicable), and any other relevant documents and photographs, by the first of December of each year of the Monitoring Program;
- j) the fifth years monitoring report for any project shall provide the results of the final year's monitoring and shall summarize the findings of the five years of annual monitoring. The final report will provide a functional assessment of the performance of the compensatory habitat and will include photographs of the constructed compensatory works;
- k) should any deficiencies in the compensatory habitat be identified by Gloucester, the environmental monitor, any agents or contractors working on behalf of Gloucester, DFO and/ or MELP, the parties shall notify one another in a timely manner. Any identified deficiencies with regard to the form or functioning of the compensatory habitat must be addressed in a timely manner and communicated in writing to DFO and/ or MELP, and resolved as per their direction.
- l) should the clauses in 33 b) or c) be enacted, an additional annual and final monitoring report will be required in the two years following its enactment.

33. The compensatory habitat will be deemed to functioning as intended if, in the opinion of

DFO,

- the habitat is physically stable;
- it functions as designed,
- riparian vegetation has achieved the targeted survivorship;
- that there is sufficient aquatic invertebrate production to function to provide, in the opinion of DFO, sufficient food and nutrients to downstream habitats; and,
- where fish accessible habitat has been constructed, the site functions to provide accessible habitat for salmonids.

Following the initial monitoring period, and any extensions thereof, DFO will assess the success of the compensatory habitat and determine whether or not it is functioning as intended, and choose the appropriate course of action as outlined below:

- a) the compensatory habitat is functioning as intended and will be self-sustaining without further major remedial work. The Monitoring Program will be terminated; or
 - b) the compensatory habitat is not functioning as intended. Gloucester shall extend the Monitoring Program, including remedial work, for a minimum of an additional two years to allow more time for the habitat to become adequately established;
 - c) the compensatory habitat is not functioning as intended and further remedial work is not likely to rectify the situation. Gloucester shall then carry out alternative compensatory works of similar habitat value within the same watershed and requiring an additional monitoring period.
34. Gloucester shall ensure that the compensatory habitat is functioning as intended for the lifetime of Gloucester Industrial Estates. If at any time Gloucester becomes aware that the compensatory habitat is not functioning as intended Gloucester shall carry out any works which are necessary to enable the compensatory habitat to function as designed. If Gloucester transfers its interest in Gloucester Industrial Estates, and the transferee assumes the obligations of this Authorization in a form satisfactory to DFO, Gloucester shall thereafter be relieved of these obligations.
35. Gloucester has delivered to DFO two Letters of Credit totalling \$100,000. These Letters of Credit are to be reduced in accordance with the Letter of Credit Reduction Schedule (refer to Appendix G).
36. If the conditions of this Authorization are not met, DFO may draw upon the letters of credit to ensure that the agreed upon terms and conditions of this Authorization are duly carried out.

The holder of this authorization is hereby authorized under the authority of section 35(2) of the Fisheries Act, R.S.C., 1985, c.F.14, to carry out the work or undertaking described herein.

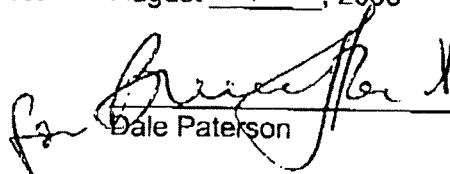
This authorization is valid only with respect to fish habitat and for no other purposes. It does not purport to release the applicant from any obligation to obtain permission form or to comply with the requirements of any other regulatory agencies.

Failure to comply with any condition of this authorization may result in charges under the Fisheries Act.

This authorization form should be held on site and work crews should be made familiar with the conditions attached.

Date of issuance: August 29, 2000

Approved by:


Dale Paterson


Title: Area Chief, Fraser River Division Habitat Unit
Habitat and Enhancement Branch

161884 Canada Inc. (Gloucester) acknowledges that Fisheries and Oceans Canada has consulted with it regarding the terms of this Authorization, and confirms that it has reviewed and understands the terms of this Authorization, and it will comply with them.

Executed by an authorized signatory of
161884 Canada Inc. on the 24th day
day of August, 2000 in the presence of:

161884 Canada Inc. (Gloucester)

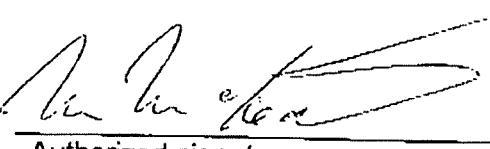
Witness (signature)


Ryan Beedle

Name (print):

Title (print):

Per:

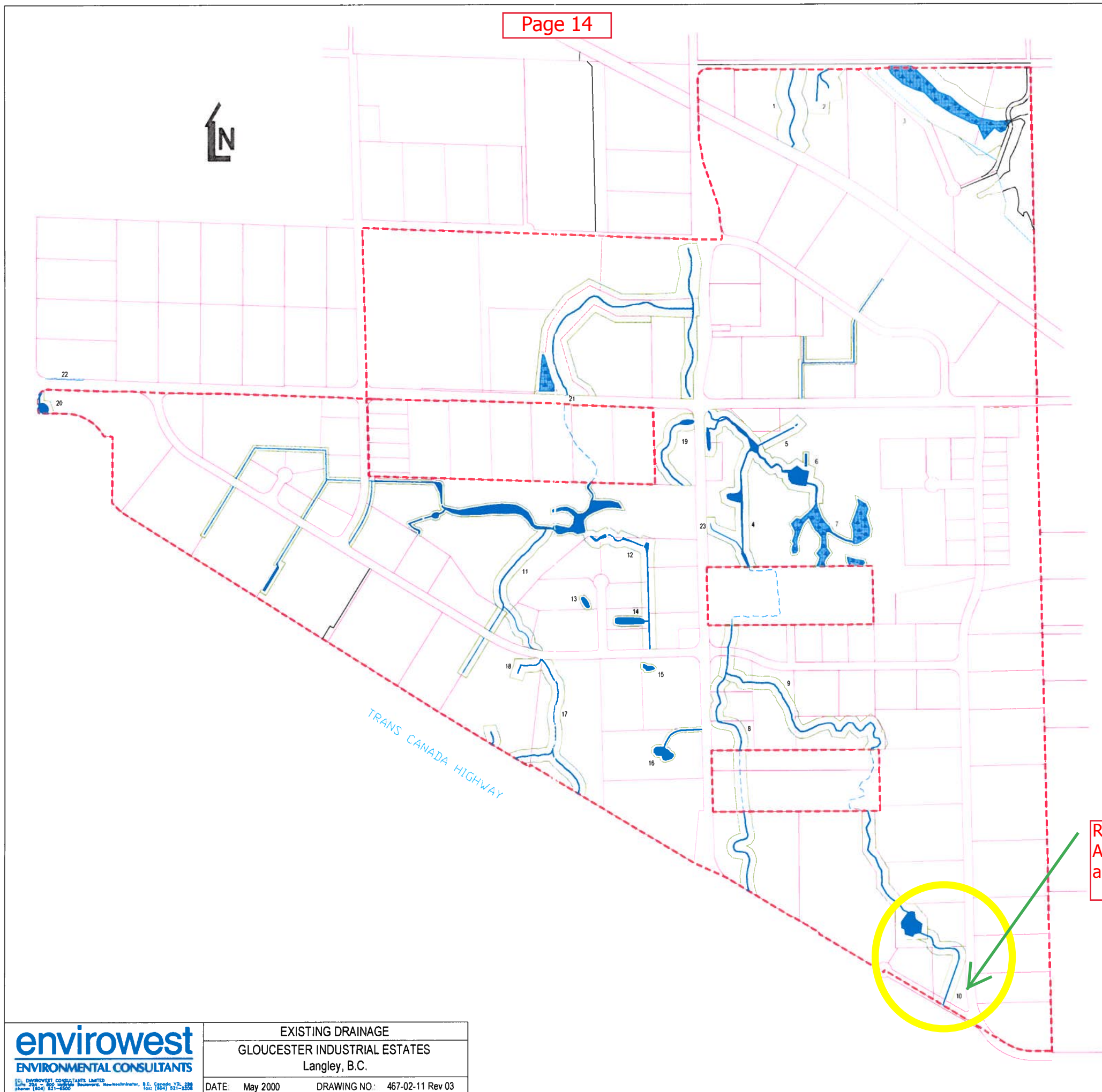

Authorized signatory

MATTHEW McKEETHNIE

Name (print)

PRESIDENT

Title (print)

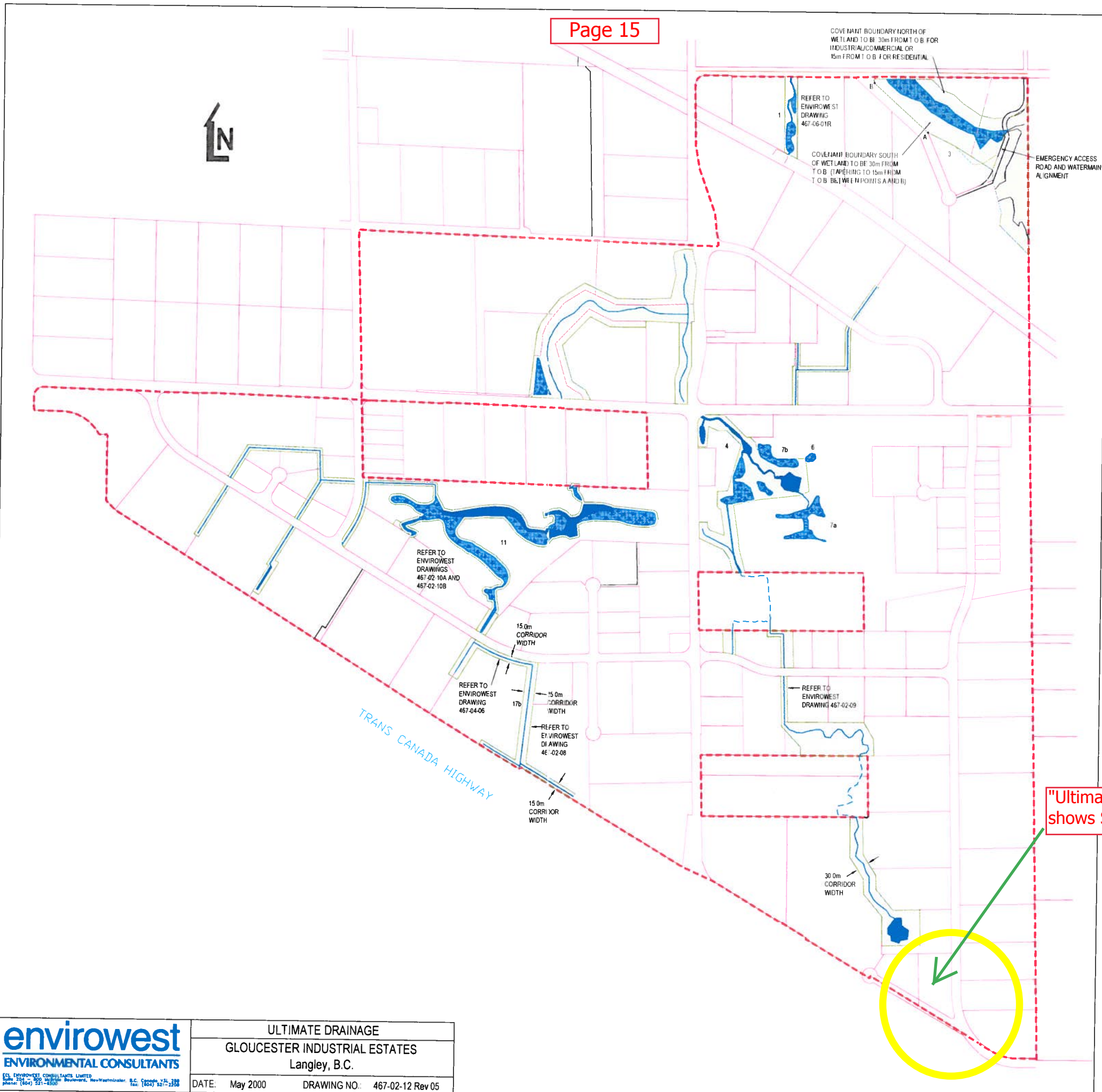


Referring to Page 2 of DFO Authorization this is "Site 10" authorized for elimination

envirowest
 ENVIRONMENTAL CONSULTANTS

101 ENVIRONMENTAL CONSULTANTS LIMITED
 Suite 201 - 800 102nd Street, New Westminster, B.C. Canada V3L 2B8
 Phone: (604) 551-2500 Fax: (604) 551-2358

EXISTING DRAINAGE	
GLOUCESTER INDUSTRIAL ESTATES	
Langley, B.C.	
DATE: May 2000	DRAWING NO: 467-02-11 Rev 03



"Ultimate Drainage" maps shows Site 10 eliminated

envirowest
ENVIRONMENTAL CONSULTANTS

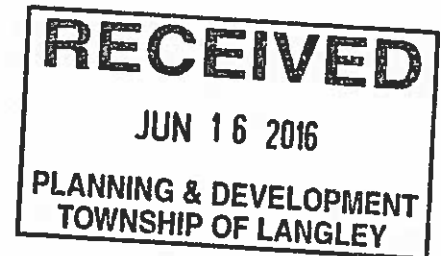
ENVIROWEST CONSULTANTS LIMITED
Suite 212 - 909 Westside Boulevard, New Westminster, B.C. Canada V3L 2H8
Phone: (604) 521-8300 Fax: (604) 521-2388

ULTIMATE DRAINAGE
GLOUCESTER INDUSTRIAL ESTATES
Langley, B.C.

DATE: May 2000 DRAWING NO.: 467-02-12 Rev 05

June 14, 2016

BEEDIE DEVELOPMENT GROUP
 3030 Gilmore Diversion
 Burnaby, BC
 V5G 3B4



Attention: Mr. Adan Donnelly
Manager, Land Development

Dear Mr. Donnelly,

**RE: GLOUCESTER INDUSTRIAL PARK, LANGLEY
 PROPOSED OCP AMENDMENT AND REZONING**

We understand that you are seeking an amendment to the Township of Langley Official Community Plan (OCP) and rezoning in support of proposed changes to development plans at Gloucester Industrial Estates (Gloucester). In support of your proposals the Township of Langley has requested information regarding the status of senior agency approvals for works that have been completed and works that remain outstanding.

Senior Agency Approvals – Previous

Prior to 2000 all proposed works at Gloucester that affected streams and/or fish habitat required senior agency approvals on a project-by-project basis. In August 2000, Fisheries and Oceans Canada (DFO) issued an Authorization and the Ministry of Environment (now the Ministry of Forests, Lands and Natural Resource Operations, MFLNRO) issued a Water Approval that addressed all remaining foreseen works in and about watercourses, as required under the *Fisheries Act* and the *Water Act*, respectively.

In March 2007 Envirowest submitted a final habitat monitoring report to DFO that confirmed that all compensatory works had been completed and were functioning as required a minimum of five years post-construction. The only outstanding work at the time of that report was the construction (to its ultimate configuration) of the community detention pond located at the southeast corner of the 56 Avenue – 272 Street intersection. The monitoring report was accepted by DFO.



image002.jpg

11 JAN 2008 10 11

BB184655

LAND TITLE ACT
FORM C

(Section 233)
Province of British Columbia

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office use)

Page 1 of 9 pages

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

Lynn Copeland, McCarthy Tétrault LLP
1300-777 Dunsmuir Street, Vancouver, BC V7Y 1K2
Phone: (604) 643-7100 Client No. 010452

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND: *
(PID) (LEGAL DESCRIPTION)

SEE SCHEDULE

3. NATURE OF INTEREST: *

DESCRIPTION	DOCUMENT REFERENCE (PAGE AND PARAGRAPH)	PERSON ENTITLED TO INTEREST
-------------	--	-----------------------------

SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only):

- (a) Filed Standard Charge Terms D.F. Number:
- (b) Express Charge Terms Annexed as Part 2
- (c) Release There is no Part 2 of this instrument.

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

NL	08/01/11 10:11:33 01 LM	819451
CHARGE		\$65.65

5. TRANSFEROR(S): *

161884 CANADA INC., Reg no. A28204

TRANSFeree(S): (including postal address(es) and postal code(s)):

HER MAJESTY THE QUEEN IN RIGHT OF THE GOVERNMENT OF CANADA, as represented by the Minister of Fisheries and Oceans or other designate, 100 Annacis Parkway, Delta, BC V3M 6A2

7. ADDITIONAL or MODIFIED TERMS: *

N/A

8. EXECUTION(S): **This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

USE BLACK INK ONLY

Officer Signature(s)

MARK P. TINDLE
Barrister & Solicitor
McCarthy Tétrault LLP
1300 - 777 DUNSMUIR STREET
VANCOUVER, B.C. V7Y 1K2
DIRECT 604-643-7168

Execution Date

Y M D

07	11	6
----	----	---

USE BLACK INK ONLY

Party(ies) Signature(s)

161884 CANADA INC.
by its authorized signatory:

MATTHEW MCKECHNIE

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

* If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.

** If space insufficient, continue executions on additional page(s) in Form D.

10/

LAND TITLE ACT
FORM D

EXECUTIONS CONTINUED

USE BLACK INK ONLY

Officer Signature(s)

Mrs. B. Joanne Isidro No. 2002-1086
COMMISSIONER FOR TAKING
AFFIDAVITS FOR BRITISH COLUMBIA

FISHERIES & OCEANS CANADA
100 Annacis Parkway, Unit 3
Delta, BC V3M 6A2

Execution Date

Y	M	D
07	11	27

USE BLACK INK ONLY

Party(ies) Signature(s)

HER MAJESTY THE QUEEN IN
RIGHT OF THE GOVERNMENT
OF CANADA, as represented by The
Minister of Fisheries and Oceans or
other designate by his designated
representative:

Print Name: GEORGE PATERSON

Area Chief
Habitat Enhancement Branch
Lower Fraser Area

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E

SCHEDULE

Page 3 of 9 pages

ENTER THE REQUIRED INFORMATION IN THE SAME ORDER AS THE INFORMATION MUST APPEAR ON THE FREEHOLD TRANSFER FORM,
MORTGAGE FORM OR GENERAL DOCUMENT FORM.

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:
(PID) (LEGAL DESCRIPTION)

N/A

Lot 3 Section 5 Township 14 NWD Plan BCP

34340

3. NATURE OF INTEREST:*
DESCRIPTION

DOCUMENT REFERENCE
(PAGE AND PARAGRAPH)

PERSON ENTITLED TO INTEREST

Section 219 Covenant

Pages 3 to 9

Transferee

Attachment E - Covenant BB184655.pdf

LAND TITLE ACT

TERMS OF INSTRUMENT – PART 2

Page 4 of 9 pages

**RESTRICTIVE COVENANT
(SECTION 219 LAND TITLE ACT)**

THIS AGREEMENT made the _____ day of _____, 2007,

BETWEEN:

161884 CANADA INC., Reg. no. A28204, of
300-1001 West Broadway, Vancouver, BC V6H 4B1

(the “Covenantor”)

OF THE FIRST PART

AND:

**HER MAJESTY THE QUEEN IN RIGHT OF THE
GOVERNMENT OF CANADA**, as represented by the Minister
of Fisheries and Oceans or other designate, 100 Annacis Parkway,
Delta, BC V3M 6A2

(the “Covenantee”)

OF THE SECOND PART

WHEREAS:

- A. The Covenantor is the registered owner of ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and more particularly known and described as follows:

PID:	Legal Description:	34340
N/A	Lot 3 Section 5 Township 14 NWD Plan BCP _____	

(hereinafter called the “said lands”).

- B. Section 219 of the *Land Title Act* provides, *inter alia*, that a covenant, whether of a negative or positive nature, may be registered as a charge against the title to land, in favour of a municipality or the Crown or any person designated by the Minister of Fisheries and Oceans subject to the covenant and that the covenant is enforceable against the Covenantor and the successors in title of the Covenantor.

Attachment E - Covenant BB184655.pdf

- C. A covenant registrable under Section 219 of the *Land Title Act* may include provisions in respect of the use of land, the use of a building on or to be erected on the lands; that land is to be built on in accordance with the covenant, is not to be built on except in accordance with that covenant or is not to be built on; that land is not to be subdivided unless in accordance with the covenant or is not to be subdivided; and that land or a specified amenity in relation to it be protected, preserved, conserved, maintained, enhanced, restored or kept in its natural or existing state in accordance with the covenant and to the extent provided by the covenant.
- D. The Covenantor agrees to the restrictions in the use on the use of a portion of the said lands adjacent to the watercourse on the terms and conditions herein provided for.

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT pursuant to Section 219 of the *Land Title Act*, and in consideration of the premises and the mutual covenants and agreements contained herein and other good and valuable consideration and the sum of One Dollar (\$1.00) now paid by the Covenantee to the Covenantor (the receipt and sufficiency whereof is hereby acknowledged) the parties hereto covenant and agree that the said lands shall not be used or built on except in accordance with this Covenant as follows:

1. **THE COVENANTOR COVENANTS AND AGREES** with the Covenantee that:
 - (a) the Covenantor shall not, without the prior written consent of the Covenantee which consent shall be in the Covenantee's sole discretion to consider, cut down, trim, prune, defoliate, alter, remove or in any way tamper with or work on any trees, shrubs, plants, bushes, ground cover, vegetation or any other form of plant life within that portion of the lands within the covenant boundary as outlined in bold lines on Reference Plan no. BCP 34344 prepared by A.M. Osman, B.C.L.S., a reduced copy of which is attached hereto as Schedule "A", so that the said trees, shrubs, plants, bushes, ground cover, vegetation and other forms of plant life remain in a naturally vegetated state of perpetuity;
 - (b) the Covenant shall not construct dwelling(s) or permanent structure(s) of any nature within the covenant boundary as outlined in bold lines on Schedule "A";
 - (c) the Covenantor shall ensure that any clearing and/or excavation done on the said lands shall be completed in such a manner to ensure that the release of silt, concrete, leachate or any other deleterious substances shall not fall into the said pond via ditches, storm sewers or overland flow; and shall further ensure that all construction and excavation wastes, overburden, soil or other substances deleterious to aquatic life shall be disposed of or placed in such a manner as to prevent their entry into any watercourse or storm sewer system;
 - (d) no building, structure, or any part thereof, including any fixed equipment, mobile home or modular home shall be constructed, reconstructed, moved or extended or located or shall take place within the covenant boundary as outlined in bold lines on Schedule "A".

- (e) The Covenantor shall, at its sole expense, construct a permanent fence at the covenant boundary between the development area and the covenant area prior to the start of any site development, and such fence shall be constructed of black chain link fencing 1.8 metres (6 feet) in height and posted with visible metal signs indicating that the area is protected by a Section 219 Covenant for the preservation of sensitive fish and wildlife habitat; notwithstanding that a pedestrian access gate will be permitted, provided that such gate shall be no more than 60 cm (24 inches) in width and shall be maintained in a good state of repair by the Covenantor.

2. **IT IS MUTUALLY UNDERSTOOD**, agreed and declared by and between the parties hereto that:

- (a) nothing contained or implied herein shall in any way restrict or abrogate and shall not be deemed to restrict or abrogate, the rights and powers of the Covenantee in the exercise of its functions under any public and private statutes, by-laws, orders and regulations, in its absolute discretion, and in accordance with its lawful powers and duties;
- (b) the burden of the covenants herein provided for shall run with the lands and will be personal and binding upon the Covenantor during the Covenantor's seisen of or ownership of any interest in the said lands;
- (c) except as agreed to by the Covenantee, this Agreement shall be a charge against the said lands and run with the said lands;
- (d) notwithstanding anything to the contrary, the Covenantor shall not be liable under any breach of any covenants and agreements contained herein after the Covenantor ceases to have any further interest in the said lands;
- (e) the Covenantor will deliver, after execution hereof, this Agreement to the Covenantee in a form acceptable as a Section 219 Covenant and concurrently such instruments of priority as may be necessary to give this Agreement priority over all charges and encumbrances which may have been registered against the title to the said lands at the time of submitting this Agreement for registration in the applicable Land Title Office, save and except those specifically approved in writing by the Covenantee or in favour of the Covenantee;
- (f) the fee simple estate in and to the said lands will not pass or vest in the Covenantee under or by virtue of these presents and the Covenantor may fully use and enjoy the said lands except only for the requirements provided for in this Agreement;
- (g) the Covenantor and its successors and assigns shall at all times indemnify and save harmless the Covenantee from and against all claims, demands, actions, suits, loss, costs, fines, penalties, charges, damages and expenses including legal fees and litigation expenses whatsoever which the Covenantee may incur, suffer

or be put to arising out of or in connection with any breach of any covenant or agreement on the part of the Covenantor contained in this Agreement;

- (h) the covenants and agreements on the part of the Covenantor and herein provided for have been made by the Covenantor as contractual obligations as well as having been made pursuant to Section 219 and as such will be binding on the Covenantor;
- (i) nothing herein provided for shall be deemed to constitute waivers of any lawful requirements with which the Covenantor would otherwise be obligated to comply with;
- (j) no amendment of, addition to, or discharge of this Agreement shall be binding upon the parties hereto unless it is in writing and executed by the parties hereto;
- (k) if any provision provided for in this Agreement is for any reason held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability will not affect any other provision of this Agreement which shall be construed as if such invalid, illegal, or unenforceable provisions had never been contained therein and such other provisions shall be enforceable to the fullest extent permitted by law;
- (l) the Covenantee, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies, including specific performance, injunction and/or declaratory relief to enforce its rights under this Agreement;
- (m) the Covenantor shall pay for the preparation and registration, if applicable, of this Agreement together with any concurrent instruments of priority as herein provided for and any amendment, addition or discharge thereof;
- (n) this Agreement shall be interpreted according to the laws of British Columbia;
- (o) whenever there is a reference to an enactment of the Province of British Columbia that reference shall include any subsequent enactment(s) of the Province of British Columbia of like effect;
- (p) any reference to the Minister of Fisheries and Oceans shall include the Minister of Fisheries and Oceans and the Deputy Minister of Fisheries and Oceans or any other person designated by either said party to act for or on their respective behalf;
- (q) whenever the singular, masculine or neuter is used herein, the same shall be construed as meaning the plural, feminine or the body corporate or politic according to the context in which it is used;
- (r) the parties hereto shall do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement.

- (s) this Agreement shall enure to the benefit of and be binding upon the Covenantor, the Covenantee and their respective successors and assigns.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written.

This is the instrument creating the condition of covenant entered into under Section 219 of the *Land Title Act* by the Covenantor referred to herein and shown on the print of the plan annexed hereto and initialled by me.

Approving Officer for the Municipality of Langley

REGISTERED NMB184655
 RCVD: 2008-01-11 ROST: 2012-05-18-11.13.10.675

REFERENCE PLAN OF A PORTION OF LOT 3
 SECTION 5, TOWNSHIP 14
 NEW WESTMINSTER DISTRICT
 PLAN BCP _____

TO ACCOMPANY A COVENANT PURSUANT
 TO SECTION 99 (1) (e) OF THE L.T.A.
 B.C.S. 926.018
 SCALE 1:1000

INTEGRATED SURVEY AREA No. 41
 TOWNSHIP OF LANGLEY, NA0B3 (CSRS)
 BEARS BEARING ARE DERIVED FROM OBSERVATION BETWEEN
 CONTROL POINTS SHOWN AND SHOWN THIS PLAN
 SHOWS HORIZONTAL GROUND-LEVEL MEASURED DISTANCES
 FROM THE COMPLETION OF U.T.M. CO-ORDINATES
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 UNLESS SHOWN OTHERWISE:
 ● DENOTES CONTROL POINT
 ○ DENOTES STANDARD IRON POST FOUND
 ○ DENOTES STANDARD IRON POST PLACED



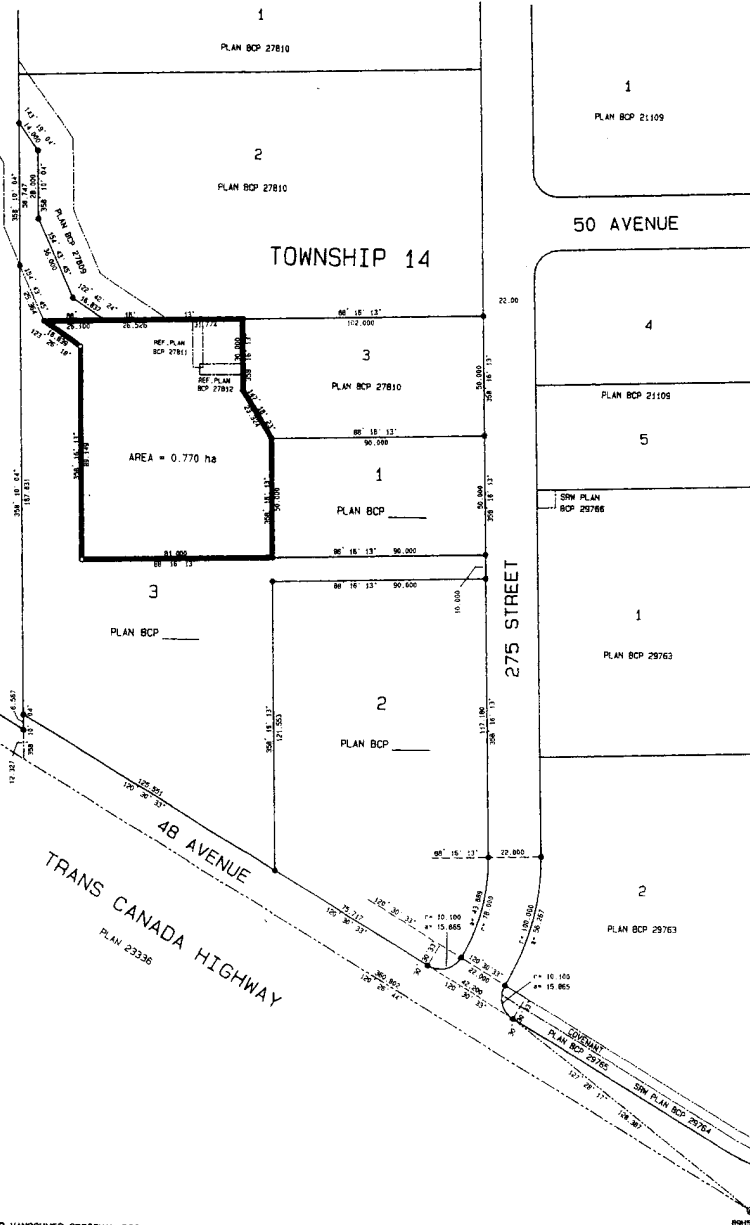
END OF DOCUMENT

PLAN BCP _____
 DEPOSITED IN THE LAND TITLE OFFICE
 AT NEW WESTMINSTER, B.C.
 THIS ____ DAY OF _____ 20__

 REGISTRAR

SECTION 5

TOWNSHIP 14



Iseak, Osman
 & Associates
 B.C. LAND SURVEYORS
 3060 150th Street
 Langley B.C. V3A 7K3
 TEL: 894-522-2411
 FILE: 2007-29.NEF

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

I, A. H. OSMAN, A BRITISH COLUMBIA LAND SURVEYOR
 OF LANGLEY, BRITISH COLUMBIA, CERTIFY THAT I
 WAS PRESENT AT AND PERSONALLY SUPERINTENDED
 THE SURVEY REPRESENTED BY THIS PLAN AND THAT
 THE SURVEY AND PLAN ARE CORRECT. THE SURVEY
 WAS COMPLETED ON THE 24th DAY OF JULY, 2007.
 THE PLAN WAS COMPLETED AND CHECKED, AND THE
 CHECKLIST FILED UNDER BCP-89627 ON THE
 28th DAY OF AUGUST, 2007.

[Signature]
 B.C.S.

Schedule 'A'

Page 9 of 9 Pages

From: Joel Nagtegaal
Sent time: 12/06/2017 01:18:33 PM
To: Rod Shead
Subject: FW: Draft NOM

FYI

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Ramin Seifi
Sent: Wednesday, December 06, 2017 1:16 PM
To: Stephen Richardson <srichardson@tol.ca>; Robert Knall <rknall@tol.ca>; Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: Fwd: Draft NOM

FYI - I will share with Beedie, once I know agenda has been finalized.

Thanks.

Begin forwarded message:

From: Mark Bakken <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>
Date: December 6, 2017 at 12:09:35 PM PST
To: Ramin Seifi <rseifi@tol.ca <<mailto:rseifi@tol.ca>>>
Subject: Fwd: Draft NOM

FYI

Begin forwarded message:

From: Petrina Arnason <parnason@tol.ca <<mailto:parnason@tol.ca>>>
Date: December 6, 2017 at 11:58:16 AM PST
To: Mark Bakken <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>
Cc: Wendy Bauer <wbauer@tol.ca <<mailto:wbauer@tol.ca>>>
Subject: Draft NOM

Dear Mark,

I hope that you are doing well this morning. I am forwarding a draft NOM for Mondays Council meeting:

Whereas Development Permit 100890 to permit construction of a building at 4825 - 275th Street in Gloucester Industrial Park with a variety of conditions attached was granted on November 6, 2017 to Beedie Corporation, and

Whereas the accompanying staff report contained information regarding the re-location of the existing Statutory Right of Way (SRW) within the overall development plan, which condition elicited a number of inquiries from Council with respect to West Creek and associated stormwater management for the site; and

Whereas Council subsequently requested further information based on the SRW re-location arising from correspondence from Langley Environmental Partners (LEPS) further to West Creek and its tributaries, and referred the matter to Staff with respect to a report which has now been forwarded for Council review; and

Whereas the information provided in the report is not dispositive regarding why the DFO should not be engaged in the application and associated processes given that Beedies VP of Land Development referenced the presence of fish in and around the area of Highway 1 and the subject property at the November 6, 2017 DP Hearing, and

Whereas the original DFO Authorization #99-HPAC-A2 000 000217 MELP File# A 20004880 cited in the staff report states:

The valid authorization period for the harmful alteration associated with various land development activities is from 10 May, 2000 through 15 September, 2005.. and ...If any phase of the project is not completed by that date, such that fish habitat may be affected, a new Authorization pursuant to Section 35(2) of the Fisheries Act may be required.; and

Whereas the subject development proposal will now potentially adversely affect new fish populations which have resulted from the enhancement works undertaken in and around the subject property, thereby triggering the involvement of the DFO in the proposed SRW relocation in order to ensure that the original conditions of Authorization are still applicable;

Therefore, be it resolved that a reconsideration of the matter on the grounds of new information proceed and that the following conditions be added to the original DP:

- 1) Beedie Corporation and/or its Qualified Professional confirms that the location and general design of the works are consistent with the information originally provided to the DFO and that any substantive deviations be forwarded to them for review prior to current Authorization; and
- 2) That the DFO conduct a site review in order to determine the number and species of fish potentially affected by the re-location of the SRW; and
- 3) That the DP conditions be subject to the current jurisdiction of the DFO with respect any harmful alteration of fish habitat and that all current applicable DFO and Township of Langley standards and policies be therefore applied; and
- 4) That the Ministry Environment be consulted further to the application in order to ascertain compliance with all related provincial policies further to fish and riparian guidelines and legislation; and
- 5) The issuance of a building permit for 4825 275th Street will not be completed until the preceding requirements have all substantively been met.

Thanks,
 Councillor Petrina Arnason
 Township of Langley

From: Ramin Seifi
Sent time: 12/08/2017 09:58:22 AM
To: Joel Nagtegaal; Robert Knall; Rod Shead; Stephen Richardson
Subject: Fwd: Notice of motion for December 11th evening council meeting

FYI and comments.

Begin forwarded message:

From: [REDACTED]
Date: December 8, 2017 at 9:45:04 AM PST
To: Jack Froese <jfroese@tol.ca <<mailto:jfroese@tol.ca>>>, Charlie Fox <cfox@tol.ca <<mailto:cfox@tol.ca>>>, Angie Quaale <aquaale@tol.ca <<mailto:aquaale@tol.ca>>>, "msharrow@tol.ca <<mailto:msharrow@tol.ca>>" <msharrow@tol.ca <<mailto:msharrow@tol.ca>>>, Petrina Arnason <parnason@tol.ca <<mailto:parnason@tol.ca>>>, Kim Richter <krichter@tol.ca <<mailto:krichter@tol.ca>>>, Bob Long <blong@tol.ca <<mailto:blong@tol.ca>>>, "ddavis@tol.ca <<mailto:ddavis@tol.ca>>" <ddavis@tol.ca <<mailto:ddavis@tol.ca>>>, Blair Whitmarsh <bwhitmarsh@tol.ca <<mailto:bwhitmarsh@tol.ca>>>
Cc: Mark Bakken <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>, Ramin Seifi <rseifi@tol.ca <<mailto:rseifi@tol.ca>>>
Subject: Notice of motion for December 11th evening council meeting

Dear Mayor and council,

I understand a notice of motion has been put on the agenda for the December 11th, 2017 evening meeting of council. I have sent two previous e-mails regarding the matter raised in this NOM. I would ask that the following questions be asked in your consideration of this NOM. I have supplied my own answers for reference.

#1. Does West Creek water flow from south of Highway 1 and through the ROW/pipe in question. YES

#2. Are there Salmonid present on the south side of Highway 1, ultimately travelling through this ROW. YES

#3. Are these Salmonid going to be able to traverse the relocated and extended ROW/Pipe? Not sure, experts in the matter need to be consulted, who are independent of the Developer. EQ 18-051

#4. Is the proposed ROW relocation going to have any negative impact to the Red Coded West Creek on the North side? Not sure, experts need to be consulted, who are independent of the Developer.

#5. Given that the TOL hold grantee status on the ROW is there any reason to NOT request that the DFO and MOE are formally made aware by the TOL of the ROW relocation? None that I can think of.

#6. Given the stated overall value of West Creek by all parties(LEPS, West Creek Awareness, TOL documents, Beedie Development, Envirowest,etc) why would all efforts not be made to ensure its value/health moving forward? None that I can think of.

Thank you for your consideration of this matter. I do not hold a degree in biology or have extensive knowledge of fish habitat or preservation, but I believe I have used some good common sense in looking at this matter, along with extensive research. I would be happy to discuss or answer any questions if I am able. I can be reached anytime at s.22(1)

Regards,

s.22(1)

From: Dave Anderson
Sent time: 09/08/2017 12:53:36 PM
To: Ramin Seifi
Cc: Joel Nagtegaal; Kathleen Churcher; Rod Shead; Bill Storie; Manny Natt
Subject: RE: Environmentally Sensitive Area
Attachments: Beedie Servicing 275 and 48 Plan.pdf Beedie Aerial 275 and 48.pdf

Good afternoon Ramin,

Background

ToL Project No. 14-05-0098

Beedie applied for a Development Permit (DP100890) on May 22/17 to construct an industrial strata building with accessory office space totaling 9,805.5 m². Existing zoning is General Industrial Zone (M-2A). Staff understands that the applicant is revising the development permit submission and will be submitting the revised development permit in the near future.

Summary

Staff have inspected the site and provide the following update on project status and activity currently underway at the n.w. corner of 275 Ave and 48 Ave:

- accepted civil works are to relocate a storm sewer from a common property line currently located in the middle of

- ESC Permit issued July 28/17;
- GIS authorized tree removal outside the 10m wide landscape buffer area along the north side of 48 Ave fronting the site on Sept. 8/17;
- DFO authorization was completed in 1999 for the original Gloucester Estates development that outlined environmental protection requirements and a Streamside Protection RC was placed on this specific environmentally sensitive lot in 2008; therefore no Streamside Development Permit was required;
- the no trespassing sign previously installed was to protect the northerly portion of the development lands; and
- current activity is an on-site cut/fill operation in preparation for building construction.

Please let me know if you need further information/clarification or if I can be of further assistance on this item.

Best regards,

Dave

From: Ramin Seifi

Sent: Thursday, September 07, 2017 4:38 PM

To: Dave Anderson <danderson@tol.ca>; Manny Natt <mnatt@tol.ca>

Cc: Joel Nagtegaal <jnagtegaal@tol.ca>; Kathleen Churcher <kchurcher@tol.ca>; Rod Shead <rshead@tol.ca>; Bill Storie <bstorie@tol.ca>

Subject: FW: Environmentally Sensitive Area

Can you please coordinate to have staff inspect to make sure there are no unauthorized activity or bylaw

Thanks.

From: Petrina Arnason

Sent: Thursday, September 07, 2017 11:21 AM

To: Ramin Seifi <rseifi@tol.ca <<mailto:rseifi@tol.ca>>>

Cc: Mark Bakken <mbakken@tol.ca <<mailto:mbakken@tol.ca>>>; Kevin Larsen <klarsen@tol.ca <<mailto:klarsen@tol.ca>>>

Subject: Environmentally Sensitive Area

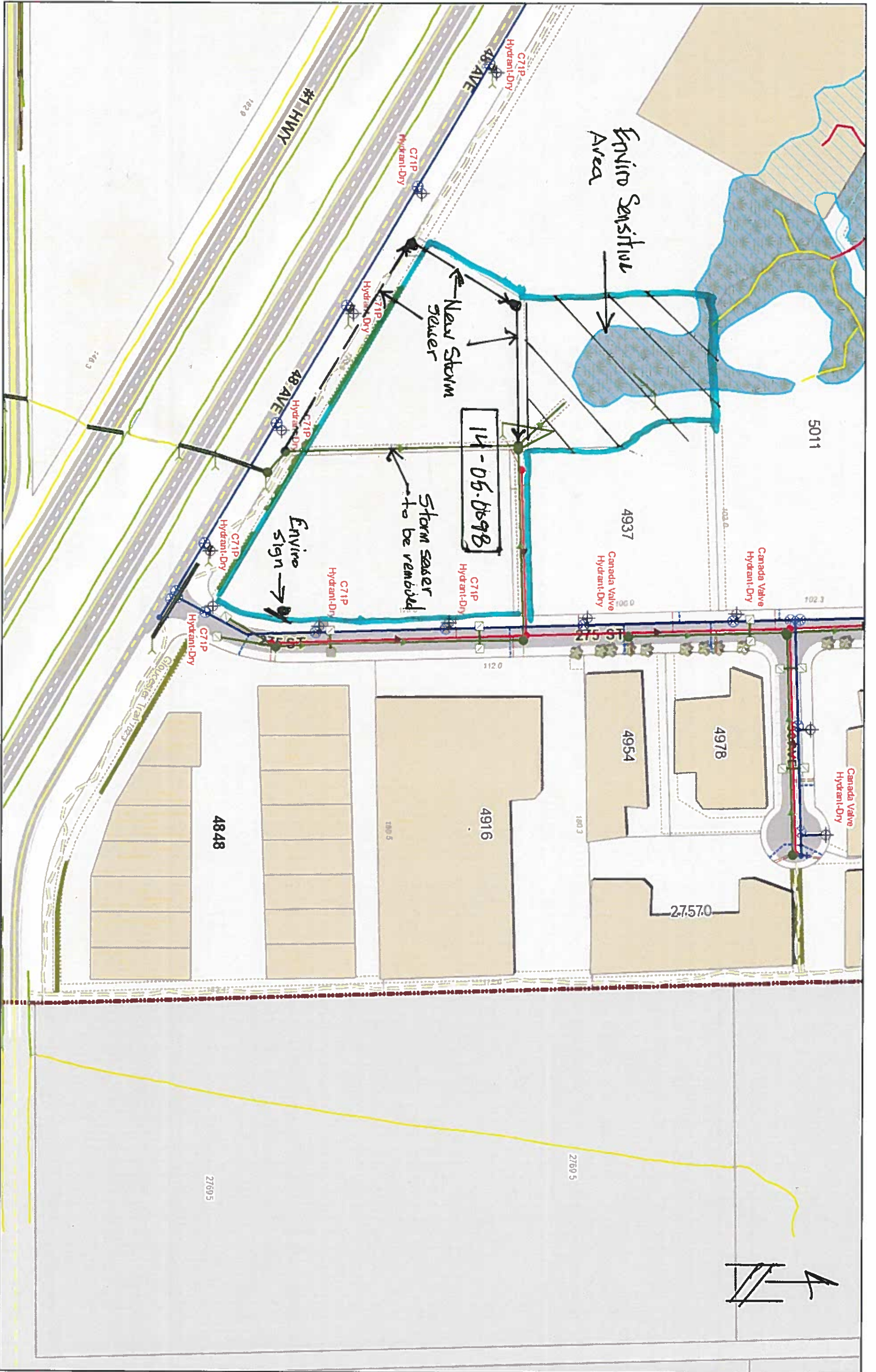
Dear Ramin,

I hope you're having a nice Thursday morning. I received this photo last week from a TOL resident regarding activities at 275 Street and 48th Avenue in the Gloucester Industrial Estates area. I am wondering if you could please advise regarding the activities on the property as the pre-existing sign indicates that somewhere on site there is an environmentally sensitive area. As there is a significant amount of fill deposited, I am wondering if you can please advise if an application has been received by the TOL for this site.

Thank you,

Councillor Petrina Arnason

Township of Langley





BB184649

11 JAN 2008 10 10

LAND TITLE ACT
FORM C

(Section 233)

Province of British Columbia

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office use)

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

Lynn Copeland, McCarthy Tétrault LLP
1300-777 Dunsmuir Street, Vancouver, BC V7Y 1K2
Phone: (604) 643-7100 Client No. 010452



2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:*

(PID) (LEGAL DESCRIPTION)

SEE SCHEDULE

3. NATURE OF INTEREST:*

DESCRIPTION	DOCUMENT REFERENCE (PAGE AND PARAGRAPH)	PERSON ENTITLED TO INTEREST
Section 219 Covenant	Entire Instrument Pages 4 to 8	Transferee

4. TERMS: Part 2 of this instrument consists of (select one only):

- (a) Filed Standard Charge Terms D.F. Number:
- (b) Express Charge Terms Annexed as Part 2
- (c) Release There is no Part 2 of this instrument.

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

5. TRANSFEROR(S):*

161884 CANADA INC., Reg. no. A28204

6. TRANSFEREE(S): (including postal address(es) and postal code(s)):

THE CORPORATION OF THE TOWNSHIP OF LANGLEY, a Municipality Corporation under the Local Government Act having its municipal offices at 20338 - 65th Avenue, Langley, BC, V2Y 3J1

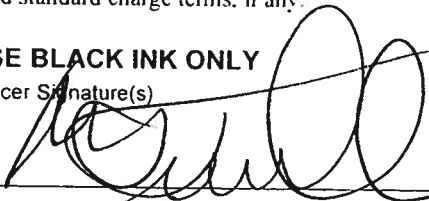
7. ADDITIONAL or MODIFIED TERMS:*

NIL

8. EXECUTION(S):** This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

USE BLACK INK ONLY

Officer Signature(s)



MARK P. TINDLE
Barrister & Solicitor
McCarthy Tétrault LLP
1300 - 777 DUNSMUIR STREET
VANCOUVER, B.C. V7Y 1K2
DIRECT 604-643-7168

Execution Date

Y M D

07	10	4
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USE BLACK INK ONLY

Party(ies) Signature(s)

161884 CANADA INC. by its authorized signatory:



MATTHEW MCKECHNIE

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

* If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.

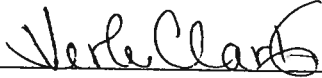
** If space insufficient, continue executions on additional page(s) in Form D.

LAND TITLE ACT
FORM D

EXECUTIONS CONTINUED

USE BLACK INK ONLY

Officer Signature(s)



VERLE CLARK
A Commissioner for
Taking Affidavits in the
Province of British Columbia
20338 85 Ave.
Langley, BC V2Y 3J1

Execution Date

Y M D

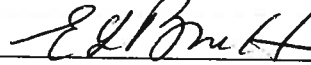
07	10	11
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USE BLACK INK ONLY

Party(ies) Signature(s)

**THE CORPORATION OF THE
TOWNSHIP OF LANGLEY**

by its authorized signatory:



ERIC BRITTON,
Township Clerk

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

**LAND TITLE ACT
FORM E**

SCHEDULE

ENTER THE REQUIRED INFORMATION IN THE SAME ORDER AS THE INFORMATION MUST APPEAR ON THE FREEHOLD TRANSFER FORM,
MORTGAGE FORM OR GENERAL DOCUMENT FORM.

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:
(PID) (LEGAL DESCRIPTION)

N/A

Lot 2 Section 5 Township 14 NWD Plan BCP 34340

N/A

Lot 3 Section 5 Township 14 NWD Plan BCP 34340

LAND TITLE ACT

TERMS OF INSTRUMENT – PART 2

Page 4 of 8 pages

This Agreement made the _____ day of _____, 2007,

BETWEEN:

161884 CANADA INC., Reg. no. A28204, of
300-1001 West Broadway, Vancouver, BC,
V6H 4B1

(the “Covenantor”)

OF THE FIRST PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY,
a Municipal Corporation under the *Local Government Act*, having
its municipal offices at 20338 – 65th Avenue, Langley, BC, V2Y
3J1

(the “Municipality”)

OF THE SECOND PART

WHEREAS:

A. The Covenantor is the registered owner of ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and more particularly known and described as follows:

PIDS: N/A

Lots 2 and 3 Section 5 Township 14 NWD Plan BCP 34340

(together, the “Lands”)

B. Section 219 of the *Land Title Act*, provides, inter alia, that a covenant, whether of a negative or positive nature, may be registered as a charge against the title to the land, in favour of the municipality or the Crown, and that the covenant is enforceable against the Covenantor and the successors in title of the Covenantor;

C. A Covenant registrable under Section 219 of the *Land Title Act* may include provisions in respect of the use of land, the use of a building on or to be erected on lands; that land is to be built on in accordance with the covenant, is not to be built on except in accordance

with that covenant or is not to be built on; that land is not to be subdivided unless in accordance with the covenant or is not to be subdivided;

NOW THEREFORE THIS AGREEMENT WITNESSES that pursuant to Section 219 of the *Land Title Act*, and in consideration of the premises, the mutual covenants and agreements contained herein and other good and valuable consideration and the sum of One Dollar (\$1.00) now paid to the Covenantor by the Municipality (the receipt and sufficiency of which is hereby acknowledged), the parties hereto covenant and agree each with the other that the Lands shall not be used or built on except in accordance with this Covenant as follows:

1. The Covenantor shall not, without the written consent of the Municipality (which consent shall be in the Municipality's sole discretion to consider), cut down, trim, prune, defoliate, alter, remove or in any way tamper with or work on any trees, shrubs, plants, bushes, ground cover, vegetation or any other form of plant life within that portion of the Lands shown outlined in bold on Reference Plan no. BCP 34341 prepared by A.M. Osman, B.C.L.S., a reduced copy of which is attached hereto as Schedule "A", so that the said trees, shrubs, plants, bushes, ground cover, vegetation and other forms of plant life remain in a naturally vegetated state except for lands developed for municipal trail purposes.
2. It is mutually understood, agreed and declared by and between the parties hereto that:
 - (a) nothing contained or implied herein shall in any way restrict or abrogate and shall not be deemed to restrict or abrogate, the rights and powers of the Municipality in the exercise of its functions under any public and private statutes, by-laws, orders and regulations, in its absolute discretion, and in accordance with its lawful powers and duties;
 - (b) the burden of the covenants herein provided for shall run with the Lands and will be personal and binding upon the Covenantor during the Covenantor's seisin of or ownership of any interest in the Lands;
 - (c) except as agreed to by the Municipality, this Agreement shall be a first charge against the Lands and run with the Lands;
 - (d) notwithstanding anything to the contrary, the Covenantor shall not be liable under any breach of any covenants and agreements contained herein after the Covenantor ceases to have any further interest in the Lands;
 - (e) the Covenantor will deliver, after execution hereof, this Agreement to the Municipality in a form acceptable as a Section 219 Covenant and concurrently such instruments of priority as may be necessary to give this Agreement priority over all financial charges and encumbrances which may have been registered against the title to the Lands at the time of submitting this Agreement for registration in the applicable Land Title Office, save and except those specifically approved in writing by the Municipality or in favour of the Municipality;

(p) this Agreement shall enure to the benefit of and be binding upon the Covenantor, the Municipality and their respective successors and assigns.

REFERENCE PLAN OF PORTIONS OF LOTS 2 AND 3
 SECTION 5, TOWNSHIP 14
 NEW WESTMINSTER DISTRICT
 PLAN BCP

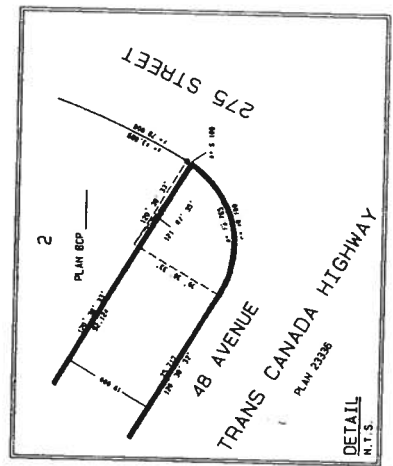
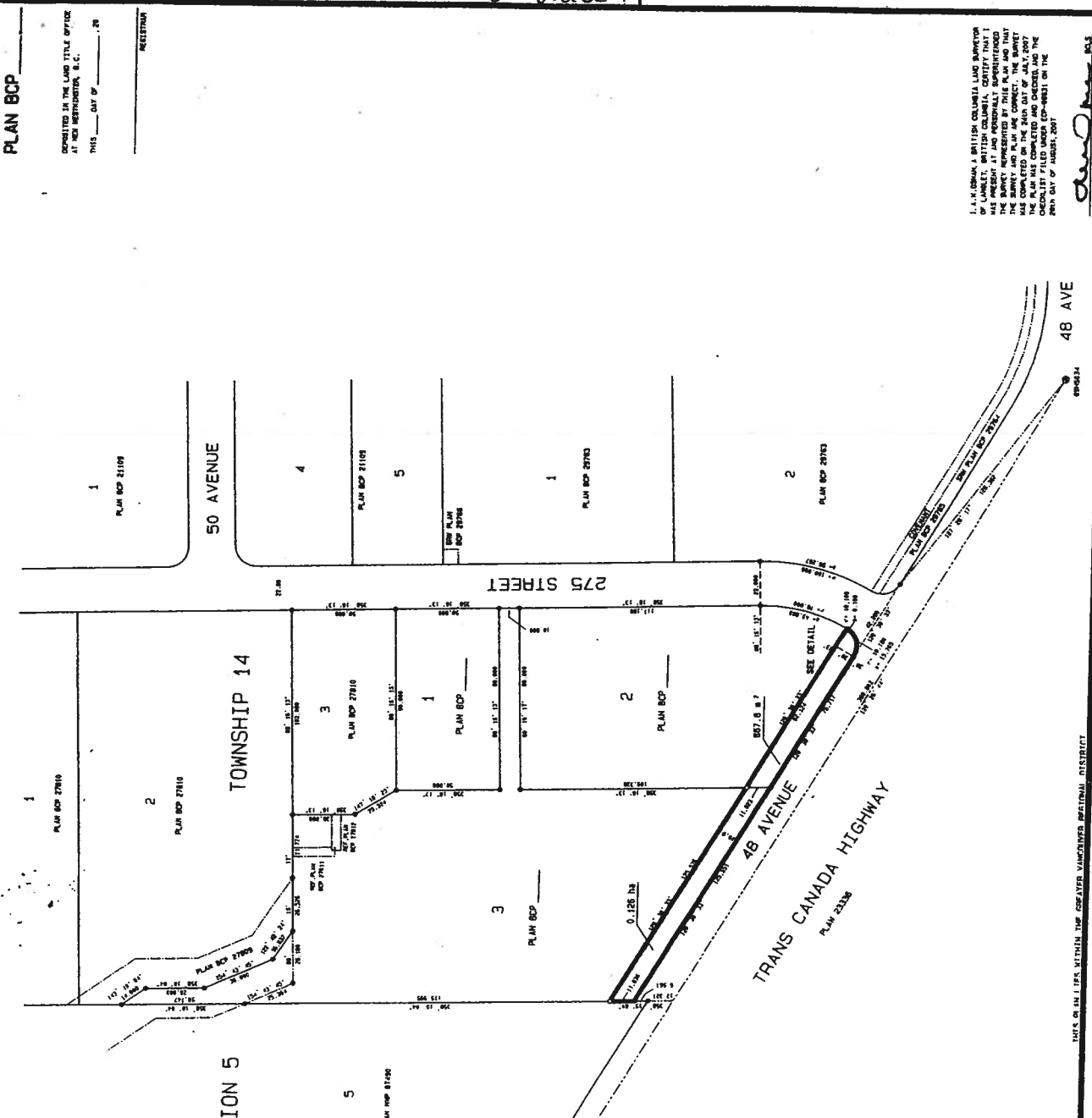
TO ACCOMPANY A COVENANT PURSUANT
 TO SECTION 99(1) OF THE L.T.A.
 B.C.G.S. 926-018
 SCALE 1:1000

INTEGRATED SURVEY AREA No. 41
 TOWNSHIP OF LANGLEY, MAJORS (SRS)
 WITH RELATIONS AND DIVISION FROM INFORMATION SECTION
 OF THE L.T.A. AND THE L.T.A. CO-ORDINATED
 PLAN IN CONNECTION WITH THE CO-ORDINATED
 DISTANCES AND THE ACTUALITY THEREOF
 UNDER SOME PROVISIONS

© ENGINEER CONSULTANT
 © OWNERS STAKEHOLDERS FROM THIS PLAN
 © CORRECTED THROUGH THIS PLAN



END OF DOCUMENT



PLAN BCP

DEPOSITED IN THE LAND TITLE OFFICE
 AT NEW WESTMINSTER, B.C.
 THIS _____ DAY OF _____, 2007

RECEIVED

I, J. K. OSAN, A BRITISH COLUMBIA LAND SURVEYOR
 AND LICENSED SURVEYOR, CERTIFY THAT I
 WAS PRESENT AT THE SURVEY AND THAT
 THE SURVEY AND PLAN ARE CORRECT, THE SURVEY
 WAS CONDUCTED IN ACCORDANCE WITH THE
 PLAN WAS COMPLETED ON THE 28th DAY OF JULY, 2007
 AND THE CHECKLIST FILLED UNDER L.T.A. SECTION 99(1) ON THE
 28th DAY OF AUGUST, 2007.

J. K. Osan
 J. K. OSAN
 LAND SURVEYOR
 2007-07-28
 FILE: 2007-018-018

SCALE 1:1000 IS TO BE WITHIN THE COVENANT UNLESS OTHERWISE SPECIFIED

J. K. Osan
 J. K. OSAN
 LAND SURVEYOR
 2007-07-28
 FILE: 2007-018-018

LAND TITLE ACT
FORM C

11 JAN 2008 10 10

BB184651

(Section 233)
Province of British Columbia

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office use)

Page 1 of 9 pages

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

Lynn Copeland, McCarthy Tétrault LLP
1300-777 Dunsmuir Street, Vancouver, BC V7Y 1K2
Phone: (604) 643-7100 Client No. 010452

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND: *
(PID) (LEGAL DESCRIPTION)

SEE SCHEDULE

3. NATURE OF INTEREST: *
DESCRIPTION

DOCUMENT REFERENCE
(PAGE AND PARAGRAPH)

PERSON ENTITLED TO INTEREST

Statutory right-of-way for public
access over part on Plan
BCP 34342

Entire Instrument
Pages 4 to 9

Transferee

4. TERMS: Part 2 of this instrument consists of (select one only):

- (a) Filed Standard Charge Terms D.F. Number:
- (b) Express Charge Terms Annexed as Part 2
- (c) Release There is no Part 2 of this instrument.

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

5. TRANSFEROR(S): *

161884 CANADA INC., Reg. no. A28204

6. TRANSFEREE(S): (including postal address(es) and postal code(s)):

THE CORPORATION OF THE TOWNSHIP OF LANGLEY, a Municipality Corporation under the
Local Government Act having its municipal offices at 20338 - 65th Avenue, Langley, BC, V2Y 3J1

7. ADDITIONAL or MODIFIED TERMS: *

NIL

8. EXECUTION(S): **This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

USE BLACK INK ONLY

Officer Signature(s)

MARK P. TINDLE
Barrister & Solicitor
McCarthy Tétrault LLP
1300 - 777 DUNSMUIR STREET
VANCOUVER, B.C. V7Y 1K2
DIRECT 604-643-7168

Execution Date

Y	M	D
07	10	4

USE BLACK INK ONLY

Party(ies) Signature(s)

161884 CANADA INC. by its
authorized signatory:

MATTHEW MCKECHNIE

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

- * If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.
- ** If space insufficient, continue executions on additional page(s) in Form D.

LAND TITLE ACT
FORM E

SCHEDULE

ENTER THE REQUIRED INFORMATION IN THE SAME ORDER AS THE INFORMATION MUST APPEAR ON THE FREEHOLD TRANSFER FORM,
MORTGAGE FORM OR GENERAL DOCUMENT FORM.

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:
(PID) (LEGAL DESCRIPTION)

N/A

Lot 2 Section 5 Township 14 NWD Plan BCP 34340

N/A

Lot 3 Section 5 Township 14 NWD Plan BCP ~~34340~~

LAND TITLE ACT

TERMS OF INSTRUMENT – PART 2

Page 4 of 9 pages

STATUTORY RIGHT OF WAY FOR PUBLIC ACCESS

THIS AGREEMENT made the _____ day of _____, 2007,

BETWEEN:

161884 CANADA INC., Reg. no. 28204A, of
300-1001 West Broadway, Vancouver, BC, V6H 4B1

(the "Grantor")

OF THE FIRST PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY,
a Municipal Corporation under the *Local Government Act* of the
Province of British Columbia, and having its Municipal Offices at
20338 – 65th Avenue, Langley, BC, V2Y 3J1

(the "Grantee")

OF THE SECOND PART

WHEREAS:

- A. The Grantor is the owner in fee simple of that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and being more particularly known and described as follows:

PIDS: N/A

Lots 2 and 3 Section 5 Township 14 NWD Plan BCP 34340

(together, the "Lands").

- B. To facilitate the construction, improvement, alteration, operation, repair and maintenance of a public trail and/or access road for the Grantee and the public with or without vehicles

SRW – 6m trail
181202-392397
VDO_DOCS #1642239 v 1

or machinery (the "Works") to and through the Lands, the Grantor has agreed to grant for those purposes the statutory right-of-way hereinafter mentioned.

- C. Section 218 of the *Land Title Act* allows a statutory right-of-way to be granted over land without a dominant or servient tenement, and the statutory right-of-way hereinafter provided for is essential to the operation and maintenance of the Grantee's undertaking.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the premises and the mutual covenants and agreements herein contained and the sum of One Dollar (\$1.00), now paid by the Grantee to the Grantor (the receipt and sufficiency whereof is hereby acknowledged), the Grantor and the Grantee hereby covenant and agree as follows.

1. THE GRANTOR, for himself, his heirs, executors, administrators, successors and assigns, DOES HEREBY GIVE AND GRANT unto the Grantee, its successors and assigns a statutory right-of-way and the full, free and unrestricted right and liberty for the Grantee, its licensees, servants, officials, workmen, machinery and vehicles, at any time and at their will and pleasure for the benefit of the Grantee, to:
 - (a) enter in, over and upon ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and being more particularly known and described as:

All that portion of Lots 2 and 3 Section 5 Township 14 NWD Plan BCP 34340 shown boldly outlined on Statutory Right-of-Way Plan no. BCP 34342 prepared by A.M. Osman, B.C.L.S., a reduced copy of which is attached hereto as Schedule "A" (the "statutory right-of-way");
 - (b) enter, labour, go, return, pass and repass upon the statutory right-of-way by the Grantee and the public as a public trail and access road as herein provided for;
 - (c) free and uninterrupted access upon the statutory right-of-way to construct, reconstruct, alter, improve, maintain, and inspect the Works, with or without vehicles or machinery, for the purposes aforesaid at the Grantee's sole expense;
 - (d) clear the statutory right-of-way or any part thereof of any or all trees, shrubs, plants, damaging growth, buildings, fences, or obstructions of any kind, now or hereafter; and
 - (e) generally do all acts reasonably necessary or incidental to the business of the Grantee in connection with the foregoing Works and the use of the statutory right-of-way for the aforesaid purposes,

TO HAVE AND TO HOLD unto the Grantee, its successors and assigns, from and after the date hereof, forever.

2. THE GRANTOR HEREBY COVENANTS AND AGREES with the Grantee that the Grantor:
- (a) will not erect, place or maintain any building, structure, concrete driveway, concrete patio, concrete foundation or footings or any other obstruction of a permanent nature, on or above any portion of the statutory right-of-way;
 - (b) will not do or knowingly permit to be done any actor thing which will interfere with the purpose of the statutory right-of-way or interfere or damage the Works and, in particular, will not carry out blasting or excavation work on the statutory right-of-way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
 - (c) will not diminish or increase the depth of the ground cover the statutory right-of-way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
 - (d) will from time to time and at all time upon every reasonable request and at the cost and charges of the Grantee, do and execute or cause to be made, done or executed all such further and other lawful acts, deeds, things, devices, conveyances and assurances in law whatsoever for the better assuring unto the Grantee of the statutory right-of-way hereby granted; and
 - (e) will allow the public and the Grantee, its agents and servants, to enter upon the statutory right-of-way as aforesaid and not to interfere with in any way nor prevent any such person coming on the statutory right-of-way for purposes provided herein.
3. In the event that the Grantor erects, places or maintains any building, structure, or obstruction of a permanent nature including any fencing, trees, shrubs, plants or damaging growth on, under or above any portion of the statutory right-of-way and such erection, placement or maintenance interferes with the purposes of the statutory right-of-way, the Grantee and its employees, agents or contractors may enter upon the statutory right-of-way at any time to undertake any work which it deems necessary to remove such building, structure, or obstruction, and any costs which the Grantee may incur in doing so including any administrative and interest costs, shall be due and payable by the Grantor on demand from the Grantee, or recoverable by the Grantee as part of any municipal tax payment, levies or any other fees in respect to the Lands. In carrying out such removal work, the Grantee shall, as far as reasonably necessary, carry out such work in a proper and workmanlike manner so as to do as little injury as possible.
4. THE GRANTEE COVENANTS AND AGREES with the Grantor that the Grantee:
- (a) subject to Clause 3 hereof, will, as far as reasonably necessary, carry out the construction, maintenance, repair and/or replacement and renewal of the Works in a proper and workmanlike manner so as to do as little injury as possible; and

- (b) will indemnify and save harmless the Grantor and its heirs, executors, administrators, successors and assigns from and against any and all actions, causes of actions, claims, suits, proceedings, costs and expenses of whatever kind, for any loss, damage, injury or death to any person or persons of any public or private property arising directly or indirectly out of the use by the Grantee, the public or any persons claiming through or under the Grantee arising from the statutory right-of-way, save and except to the extent that such loss, injury, damage or death is caused by the negligence of wilful act or omission of the Grantor or its servants and agents.
5. IT IS MUTUALLY UNDERSTOOD, agreed and declared by and between the parties hereto that:
- (a) this Agreement shall be construed as a covenant running with the Lands and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Grantor's seisin or ownership of any interest in the Lands and with respect only to that portion of the Lands of which the Grantor shall be seised or which he shall have an interest, but that the Lands shall, nevertheless, be and remain at all times charged therewith;
- (b) save as aforesaid, nothing in this Agreement shall be interpreted so as to restrict or prevent the Grantor from using the statutory right-of-way in any manner which does not interfere with the unobstructed access to and through the Lands by the Grantee and the public;
- (c) any and all chattels and fixtures installed by the Grantee on or over the statutory right-of-way shall be and shall remain chattels, any rule of law to the contrary notwithstanding and shall belong solely and exclusively to the Grantee;
- (d) notwithstanding anything contained in these presents, there are hereby reserved to the Grantee all its rights and powers of expropriation or other powers or privileges granted to the Grantee, or enjoyed by it, by or under any act or the legislature of the Province of British Columbia;
- (e) nothing herein contained shall be deemed to include or imply any covenant or agreement on the part of the Grantee with the Grantor or with any other person or persons as a condition hereof or otherwise to construct, install, or maintain the Works, or any of them, or any public works or utility whatsoever provided for in this statutory right-of-way or any portion thereof;
- (f) this Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns; and
- (g) wherever the singular or the masculine is used in this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic where the context or the parties hereto so require.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written.

SRW – 6m trail
181202-392397
VDO_DOCS #1642239 v. 1

**STATUTORY RIGHT OF WAY PLAN
OVER PORTIONS OF LOTS 2 AND 3
SECTION 5, TOWNSHIP 14
NEW WESTMINSTER DISTRICT
PLAN BCP**

PURSUANT TO SECTION 99(1)(1) OF THE C.T.A.
FOR PUBLIC ACCESS PURPOSES
B.C.S. 92C.018
SCALE 1:1000

INTEGRATED SURVEY AREA NO. 11
TOWNSHIP OF LANGLEY (AMNS) ICSP
GDA BEING THE DERIVED FROM OBSERVATION NETWORK
GDA 83 WITH THE ADJUSTED TO THE 1984 DATUM
IN ACCORDANCE WITH THE SURVEY ACT AND
REGULATIONS THEREUNDER AND THE SURVEY
ACT AND REGULATIONS THEREUNDER AND THE
SURVEY ACT AND REGULATIONS THEREUNDER
AND THE SURVEY ACT AND REGULATIONS
THEREUNDER.



PLAN BCP
COMPLETED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS DAY OF _____ 19__

REGISTERED



L.A.S. ENGINE & SURVEY CONSULTANTS LTD. DIRECTOR
OF LANDS, WITHIN HIS OFFICE, HAS REVIEWED THIS PLAN
AND IS SATISFIED THAT THE SURVEY REPRESENTED BY THIS PLAN AND THAT
THE SURVEY REPRESENTED BY THIS PLAN AND THAT
THE SURVEY REPRESENTED BY THIS PLAN AND THAT
THE SURVEY REPRESENTED BY THIS PLAN AND THAT
THE PLAN WAS COMPLETED AND CHECKED AND THE
CORRECTED BY L.A.S. ENGINE & SURVEY CONSULTANTS LTD.
ON THE
15 DAY OF AUGUST, 2001

**Teak, Oshan
& Associates**
Professional Engineers
10000 101st Avenue
Surrey, B.C. V3V 1K9
TEL: 273-27-506

THIS PLAN LIES WITHIN THE GREATER YANCOVER REGIONAL DISTRICT

TITLE SEARCH PRINT

2017-05-25, 13:59:50

File Reference:

Requestor: Chad Anderson

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under SECTION 98 LAND TITLE ACT

Land Title District NEW WESTMINSTER
Land Title Office NEW WESTMINSTER

Title Number CA3966278
From Title Number BB4051557

Application Received 2014-09-17

Application Entered 2014-09-26

Registered Owner in Fee Simple
Registered Owner/Mailing Address: 161884 CANADA INC., INC.NO. 28204A
3030 GILMORE DIVERSION
BURNABY, BC
V5G 3B4

Taxation Authority Langley, The Corporation of the Township of

Description of Land
Parcel Identifier: 029-399-211
Legal Description:
LOT 5 SECTION 8 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP38776

Legal Notations
NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932
FILED 2008-04-03

HERETO IS ANNEXED EASEMENT BT41502 OVER PART OF THE REMAINDER OF
PARCEL "A"(REF. PLAN 5080) S.W. 1/4 SEC.8 TP.14 NWD SHOWN ON
PLAN LMP52775

Charges, Liens and Interests
Nature: UNDERSURFACE RIGHTS
Registration Number: 271665C
Registration Date and Time: 1959-10-16 14:32
Registered Owner: WDPL HOLDINGS LIMITED
Transfer Number: BA181654
Remarks: SEE 447728E
INTER ALIA

2017-05-25, 13:59:50

Requestor: Chad Anderson

TITLE SEARCH PRINT

File Reference:

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271666C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181655
 Remarks: SEE 447728E
 INTER ALIA

Nature: COVENANT
 Registration Number: BH216659
 Registration Date and Time: 1994-06-08 12:13
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: LTA SECTION 215
 INTER ALIA

Nature: STATUTORY BUILDING SCHEME
 Registration Number: BP281646
 Registration Date and Time: 2000-11-24 09:33
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BT408963
 Registration Date and Time: 2002-11-06 09:46
 Remarks: INTER ALIA
 APPURTENANT TO PARCEL B PLAN LMP51701

Nature: COVENANT
 Registration Number: BB4050434
 Registration Date and Time: 2012-08-08 11:27
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050439
 Registration Date and Time: 2012-08-08 11:29
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050442
 Registration Date and Time: 2012-08-08 11:30
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA

2017-05-25, 13:59:50

Requestor: Chad Anderson

TITLE SEARCH PRINT

File Reference:

Nature: COVENANT
 Registration Number: BB4050444
 Registration Date and Time: 2012-08-08 11:30
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050445
 Registration Date and Time: 2012-08-08 11:31
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB3002413
 Registration Date and Time: 2012-10-29 14:28
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: CA3544503
 Registration Date and Time: 2014-01-13 15:34
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: CA3544516
 Registration Date and Time: 2014-01-13 15:40
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART SHOWN ON PLAN EPP36535

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

TITLE SEARCH PRINT

2017-05-25, 14:02:32

File Reference:

Requestor: Chad Anderson

CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN

Title Issued Under SECTION 98 LAND TITLE ACT

Land Title District NEW WESTMINSTER
Land Title Office NEW WESTMINSTER

Title Number CA3966279
From Title Number BB4051557

Application Received 2014-09-17

Application Entered 2014-09-26

Registered Owner in Fee Simple
Registered Owner/Mailing Address: 161884 CANADA INC., INC.NO. 28204A
3030 GILMORE DIVERSION
BURNABY, BC
V5G 3B4

Taxation Authority Langley, The Corporation of the Township of

Description of Land
Parcel Identifier: 029-399-220
Legal Description:
LOT 6 SECTION 8 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP38776

Legal Notations
NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932
FILED 2008-04-03

HERETO IS ANNEXED EASEMENT BT41502 OVER PART OF THE REMAINDER OF
PARCEL "A"(REF. PLAN 5080) S.W. 1/4 SEC.8 TP.14 NWD SHOWN ON
PLAN LMP52775

Charges, Liens and Interests
Nature: UNDERSURFACE RIGHTS
Registration Number: 271665C
Registration Date and Time: 1959-10-16 14:32
Registered Owner: WDPL HOLDINGS LIMITED
Transfer Number: BA181654
Remarks: SEE 447728E
INTER ALIA

2017-05-25, 14:02:32

Requestor: Chad Anderson

TITLE SEARCH PRINT

File Reference:

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271666C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181655
 Remarks: SEE 447728E
 INTER ALIA

Nature: COVENANT
 Registration Number: BH216659
 Registration Date and Time: 1994-06-08 12:13
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: LTA SECTION 215
 INTER ALIA

Nature: STATUTORY BUILDING SCHEME
 Registration Number: BP281646
 Registration Date and Time: 2000-11-24 09:33
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BT408963
 Registration Date and Time: 2002-11-06 09:46
 Remarks: INTER ALIA
 APPURTENANT TO PARCEL B PLAN LMP51701

Nature: COVENANT
 Registration Number: BB4050434
 Registration Date and Time: 2012-08-08 11:27
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050439
 Registration Date and Time: 2012-08-08 11:29
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050442
 Registration Date and Time: 2012-08-08 11:30
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA

2017-05-25, 14:02:32

Requestor: Chad Anderson

TITLE SEARCH PRINT

File Reference:

Nature: COVENANT
 Registration Number: BB4050444
 Registration Date and Time: 2012-08-08 11:30
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050445
 Registration Date and Time: 2012-08-08 11:31
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB3002413
 Registration Date and Time: 2012-10-29 14:28
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: CA3544503
 Registration Date and Time: 2014-01-13 15:34
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: CA3544516
 Registration Date and Time: 2014-01-13 15:40
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART SHOWN ON PLAN EPP36535

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

TITLE SEARCH PRINT

2017-05-25, 14:02:59

File Reference:

Requestor: Chad Anderson

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under SECTION 98 LAND TITLE ACT

Land Title District NEW WESTMINSTER
Land Title Office NEW WESTMINSTER

Title Number BB3002418
From Title Number BB1496683

Application Received 2012-10-29

Application Entered 2012-11-08

Registered Owner in Fee Simple
Registered Owner/Mailing Address: 161884 CANADA INC., INC.NO. 28204A
3030 GILMORE DIVERSION
BURNABY, BC
V5G 3B4

Taxation Authority Langley, The Corporation of the Township of

Description of Land
Parcel Identifier: 028-948-823
Legal Description:
LOT 5 SECTION 8 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP51594

Legal Notations
NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932
FILED 2008-04-03

HERETO IS ANNEXED EASEMENT BT41502 OVER PART OF THE REMAINDER OF
PARCEL "A"(REF. PLAN 5080) S.W. 1/4 SEC.8 TP.14 NWD SHOWN ON
PLAN LMP52775

Charges, Liens and Interests
Nature: UNDERSURFACE RIGHTS
Registration Number: 271665C
Registration Date and Time: 1959-10-16 14:32
Registered Owner: WDPL HOLDINGS LIMITED
Transfer Number: BA181654
Remarks: SEE 447728E
INTER ALIA

2017-05-25, 14:02:59

Requestor: Chad Anderson

TITLE SEARCH PRINT

File Reference:

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271666C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181655
 Remarks: SEE 447728E
 INTER ALIA

Nature: COVENANT
 Registration Number: BH216659
 Registration Date and Time: 1994-06-08 12:13
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: LTA SECTION 215
 INTER ALIA

Nature: STATUTORY BUILDING SCHEME
 Registration Number: BP281646
 Registration Date and Time: 2000-11-24 09:33
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BT408963
 Registration Date and Time: 2002-11-06 09:46
 Remarks: INTER ALIA
 APPURTENANT TO PARCEL B PLAN LMP51701

Nature: COVENANT
 Registration Number: BB4050434
 Registration Date and Time: 2012-08-08 11:27
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB4050437
 Registration Date and Time: 2012-08-08 11:28
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP51223

Nature: COVENANT
 Registration Number: BB4050439
 Registration Date and Time: 2012-08-08 11:29
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

2017-05-25, 14:02:59

Requestor: Chad Anderson

TITLE SEARCH PRINT

File Reference:

Nature: COVENANT
 Registration Number: BB4050442
 Registration Date and Time: 2012-08-08 11:30
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050444
 Registration Date and Time: 2012-08-08 11:30
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB4050445
 Registration Date and Time: 2012-08-08 11:31
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB3002413
 Registration Date and Time: 2012-10-29 14:28
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB3002421
 Registration Date and Time: 2012-10-29 14:29
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Duplicate Indefeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

Covenant BH216659.pdf

12 13 BH216659

94 JUN -8 12 13

BH216660

LAND TITLE ACT
ESTIMATE FORM C

LAND TITLE OFFICE
NEW WESTMINSTER

(Section 219.81)
Province of British Columbia

GENERAL INSTRUMENT - PART 1

PAGE 1 of 14 pages

1. APPLICATION: **Douglas, Symes & Brissenden**, Barristers and Solicitors,
2100 One Bentall Centre, 505 Burrard Street, Vancouver, B.C., V7X 1R4,
683-6911

Helen L. Thomas
Authorized Agent **HELEN L. THOMAS**

As
1000

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND: *
(PID) (LEGAL DESCRIPTION)
SEE SCHEDULE

3. NATURE OF INTEREST: *
DESCRIPTION DOCUMENT REFERENCE PERSON ENTITLED TO INTEREST
SEE SCHEDULE (Page & Paragraph) 06/08/94 E6741e CHARGE 100.00

4. TERMS: Part 2 of this instrument consists of (select one only)
(a) Filed Standard Charge Terms D.F. No.
(b) Express Charge Terms Annexed as Part 2
(c) Release There is no Part 2 of this instrument
A selection of (a) includes any additional or modified terms referred to in Item 7 or
in a schedule annexed to this instrument. If (c) is selected, the charge described in
Item 3 is released or discharged as a charge on the land described in item 2.

5. TRANSFEROR(S): *
161884 CANADA INC. (Registration No. 28204A) (Section 215 Covenant)
CANADIAN IMPERIAL BANK OF COMMERCE (Priority Agreement)

6. TRANSFEREE(S): *
THE CORPORATION OF THE TOWNSHIP OF LANGLEY, a Municipal Corporation
under the Municipal Act, of 4914 - 221st Street, Langley, British
Columbia, V3A 3Z8

7. ADDITIONAL OR MODIFIED TERMS: * NIL

8. EXECUTION(S): ** This instrument creates, assigns, modifies, enlarges, discharges
or governs the priority of the interest (s) described in Item 3 and the Transferor(s)
and every other signatory agree to be bound by this instrument, and acknowledge(s)
receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)
Mark P. Tindle

MARK P. TINDLE
Barrister & Solicitor
2100 ONE BENTALL CENTRE
505 - BURRARD STREET
VANCOUVER, B.C. V7X 1R4
(604) 683-2311

Execution Date		
Y	M	D
94	5	10

Party(ies) Signature(s)
161884 CANADA INC. by its
authorized signatories

Claudio J. Grubner
CLAUDIO J. GRUBNER

Mary P. Malek
MARY P. MALEK

[as to both signatures]

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1979, c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

Land Title Act
Form D

EXECUTIONS CONTINUED

Execution Date

Officer Signature(s)

Verle Clark

VERLE CLARK

4914 - 221 Street,
Langley, B.C.

A Commissioner for taking
Affidavits for British Columbia
as to the Authorized Signature
of The Township of Langley

Elizabeth A. Wingate

ELIZABETH A. WINGATE
6th FL., 400 BARRARD ST.
VANCOUVER, B.C.

BANK OFFICER

A Commissioner for Taking
Affidavits for British Columbia

[as to both signatures]

Y M D

94 6 2

94 5

31

Transferor/Borrower/Party
Signature(s)

**THE CORPORATION OF THE
TOWNSHIP OF LANGLEY** by
authorized signatory

Rod Edwards

ROD EDWARDS

**CANADIAN IMPERIAL BANK
OF COMMERCE** by its
authorized signatories

~~SENIOR INSPECTOR~~

Name:

ANTONIO C. LIANG

INSPECTOR

Name:

ERNEST F. MILLER

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act R.S.B.C. 1979, c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

17214047

Land Title Act
Form E
SCHEDULE

Enter the required information in the same order as the information must appear on the Freehold Transfer Form, Mortgage Form or General Document Form.

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:*

(PID)	(LEGAL DESCRIPTION)
012-972-622	Parcel "A", (Reference Plan 5080), SW 1/4, Sec 8, Tp 14, Except: Parcel "One" (Reference Plan 15620), NWD
000-525-961	Lot 6, Sec 5, Tp 14, NWD, Plan 42085
011-294-116	Lot 3, Except: Part Subdivided by Plan 84596; Sec 5, Tp 14, NWD, Plan 8152
016-818-369	Lot 3, Sec 6, Tp 14, NWD, Plan NWP87488
016-818-377	Lot 4, Sec 6, Tp 14, NWD, Plan NWP87488
016-818-385	Lot 5, Sec 6, Tp 14, NWD, Plan NWP87488
016-818-393	Lot 6, Sec 6, Tp 14, NWD, Plan NWP87488
016-833-201	Lot 2, Sec 5, Tp 14, NWD, Plan NWP87490
016-833-309	Lot 3, Sec 5, Tp 14, NWD, Plan NPW87490
016-833-368	Lot 4, Sec 5, Tp 14, NWD, Plan NPW87490
016-833-414	Lot 5, Sec 5, Tp 14, NWD, Plan NWP87490
016-818-407	Lot 7 Except: Part Subdivided by Plan NWP87490, Sec 6, Tp 14, NWD, Plan NWP87488
011-142-464	Lot 1 Except: Part Dedicated Road on Reference Plan 82578; Sec 6, Tp 14, NWD Plan 5223
017-265-517	Lot 1, Sec 8, Tp 14, NWD, Plan LMP127
017-776-821	Lot 3, Sec 6, Tp 14, NWD, Plan LMP4499
017-776-848	Lot 5, Sec 6, Tp 14, NWD, Plan LMP4499
017-776-856	Lot 6, Sec 6, Tp 14, NWD, Plan LMP4499
017-776-864	Lot 7, Sec 6, Tp 14, NWD, Plan LMP4499
016-833-074	Lot 1 Except: Part Dedicated Road on Plan LMP5680, Sec 5 and 6, Tp 14, NWD Plan NWP87490
010-270-094	Lot 1, Except: Part Shown on Highway Plan 23336, Sec 6, Tp 14, NWD, Plan 7681
017-768-624	Lot 1, Sec 6, Tp 14, NWD, Plan LMP4433
018-519-849	Lot 1, Sec 8, Tp 14, NWD, Plan LMP13712
015-313-735	Lot 1 Except Firstly: Parcel "C" (Bylaw Plan 83821); Secondly: Part Subdivided by Plan 83992; Thirdly: Part Subdivided by Plan 86930; Fourthly: Part Subdivided by Plan LMP127; Fifthly: Part Subdivided by Plan LMP13712; Sec 8, Tp 14, NWD, Plan 83566
015-718-875	Lot 1 Except: Firstly: Part Road on Plan LMP5685, Secondly: Part Road on Plan LMP9821, Thirdly: Part Subdivided by Plan LMP14840, Sec 7 and 8, Tp 14, NWD, Plan 83992
018 784 691	Lot 1, Sec 6, Tp 14, NWD, Plan LMP 17033
NO PID 704	Lot 2, Sec 6, Tp 14, NWD, Plan LMP 17033
NO PID 712	Lot 3, Sec 6, Tp 14, NWD, Plan LMP 17033
NO PID 721	Lot 4, Sec 6, Tp 14, NWD, Plan LMP 17033
NO PID	

Parent PID
017 716 805

Land Title Act
Form E

SCHEDULE

Page 4

Enter the required information in the same order as the information must appear on the Freehold Transfer Form, Mortgage Form or General Document Form.

3. NATURE OF INTEREST: *
DESCRIPTION

DOCUMENT REFERENCE
(Page & Paragraph)

PERSON ENTITLED TO INTEREST

Section 215 Covenant

Entire Instrument
Paragraphs 1 - 3
Pages 5 - 13

Transferee

Priority Agreement
granting Section 215
Covenant
priority over BE332393
and BE332394

Page 14

Transferee

Page 5 of 14 pages

TERMS OF INSTRUMENT - PART 2**COVENANT**
(SECTION 215 LAND TITLE ACT)

THIS AGREEMENT made as of the 3rd day of March, 1994,

BETWEEN:

161884 CANADA INC. (Registration No. 28204A)
of 300-1001 West Broadway, Vancouver, British
Columbia, V6H 4B1

("Covenantor")

OF THE SECOND PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY,
4914-221st Street, Langley, British Columbia,
V3A 3Z8

("Covenantee")

OF THE THIRD PART

WHEREAS:

A. The Covenantor is the registered owner of ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and more particularly described as:

Parcel Identifier: 012-972-622
Parcel "A", (Reference Plan 5080),
South West Quarter
Section 8
Township 14
Except: Parcel "One" (Reference Plan 15620)
New Westminster District

17214047

Parcel Identifier: 000-525-961
Lot 6
Section 5
Township 14
New Westminster District
Plan 42085

Parcel Identifier: 011-294-116
Lot 3
Except: Part Subdivided by Plan 84596;
Section 5
Township 14
New Westminster District
Plan 8152

Parcel Identifier: 016-818-369
Lot 3
Section 6
Township 14
New Westminster District
Plan NWP87488

Parcel Identifier: 016-818-377
Lot 4
Section 6
Township 14
New Westminster District
Plan NWP87488

Parcel Identifier: 016-818-385
Lot 5
Section 6
Township 14
New Westminster District
Plan NWP87488

Parcel Identifier: 016-818-393
Lot 6
Section 6
Township 14
New Westminster District
Plan NWP87488

Parcel Identifier: 016-833-201
Lot 2
Section 5
Township 14
New Westminster District
Plan NWP87490

Parcel Identifier: 016-833-309
Lot 3
Section 5
Township 14
New Westminster District
Plan NPW87490

Page 7 of 14 pages

Parcel Identifier: 016-833-368
Lot 4
Section 5
Township 14
New Westminster District
Plan NPW87490

Parcel Identifier: 016-833-414
Lot 5
Section 5
Township 14
New Westminster District
Plan NWP87490

Parcel Identifier: 016-818-407
Lot 7
Except: Part Subdivided by Plan NWP87490
Section 6
Township 14
New Westminster District
Plan NWP87488

Parcel Identifier: 011-142-464
Lot 1
Except: Part Dedicated Road on Reference Plan 82578;
Section 6
Township 14
New Westminster District
Plan 5223

Parcel Identifier: 017-265-517
Lot 1
Section 8
Township 14
New Westminster District
Plan LMP127

Parcel Identifier 017-776-821
Lot 3
Section 6
Township 14
New Westminster District
Plan LMP4499

Parcel Identifier: 017-776-848
Lot 5
Section 6
Township 14
New Westminster District
Plan LMP4499

Parcel Identifier: 017-776-856
Lot 6, Section 6
Township 14
New Westminster District
Plan LMP4499

Parcel Identifier: 017-776-864
Lot 7
Section 6
Township 14
New Westminster District
Plan LMP4499

Parcel Identifier: 016-833-074
Lot 1
Except: Part Dedicated Road on Plan LMP5680
Section 5 and 6
Township 14
New Westminster District
Plan NWP87490

Parcel Identifier: 010-270-094
Lot 1
Except: Part Shown on Highway Plan 23336
Section 6
Township 14
New Westminster District
Plan 7681

Parcel Identifier: 017-768-624
Lot 1
Section 6
Township 14
New Westminster District
Plan LMP4433

~~Parcel Identifier: 018-519-849~~
~~Lot 1~~
~~Section 8~~
~~Township 14~~
~~New Westminster District~~
~~Plan LMP13712~~

Parcel Identifier: 015-313-735
Lot 1
Except Firstly: Parcel "C" (Bylaw Plan 83821);
Secondly: Part Subdivided by Plan 83992;
Thirdly: Part Subdivided by Plan 86930;
Fourthly: Part Subdivided by Plan LMP127;
Fifthly: Part Subdivided by Plan LMP13712;
Section 8, Township 14, New Westminster District,
Plan 83566

Parcel Identifier: 015-718-875
Lot 1
Except: Firstly: Part Road on Plan LMP5685
Secondly: Part Road on Plan LMP9821
Thirdly: Part Subdivided by Plan LMP14840
Sections 7 and 8, Township 14
New Westminster District
Plan 83992

Parcel Identifier NO PID
Lot 1, Section 6, Township 14
New Westminster District
Plan LMP 17033

018784691

018784704 Parcel Identifier NO PID
Lot 2, Section 6, Township 14
New Westminster District
Plan LMP 17033

Parent PID
#017-776-805

018784712 Parcel Identifier NO PID
Lot 3, Section 6, Township 14
New Westminster District
Plan LMP 17033

018784721 Parcel Identifier NO PID
Lot 4, Section 6, Township 14
New Westminster District
Plan LMP 17033

(the "said lands"):

B. Section 215 of the Land Title Act provides, inter alia, that there may be registered as a charge against the title to land a covenant, whether of a negative or positive nature, in respect of the use of the land or the use of a building on or to be erected on land, in favour of a Municipality or the Crown:

C. The Covenantor has agreed to restrictions on the use of the said lands:

NOW THEREFORE THIS AGREEMENT WITNESSETH that pursuant to Section 215 of the Land Title Act, and in consideration of the sum of One Dollar (\$1.00) now paid to the Covenantor by the Covenantee (the receipt and sufficiency whereof is hereby

Covenant BH216659.pdf

Page 10 of 14 pages

acknowledged), the parties hereto hereby covenant and agree each with the other as follows:

1. THE COVENANTOR COVENANTS AND AGREES that the said lands shall not be used except in accordance with this Agreement.
2. THE COVENANTOR COVENANTS AND AGREES with the Covenantee:
 - (a) not to deal with the landscaping of drainage canals except in accordance with the requirements of the Ministry of Environment, Lands and Parks of the Province of British Columbia and Fisheries Branch at Fisheries and Oceans of the Government of Canada;
 - (b) not to prepare design submissions for drainage canals on each property that is adjacent to or that has a drainage canal within its boundaries except in accordance with standard landscape plans provided by the Covenantor;
 - (c) to erect a 1.8 metre, green, plastic-coated chain link fence on the outside boundary of require leave strip areas on all drainage canals where these canals are adjacent to any works yards or storage yard;
 - (d) to leave a 0.9 metre landscaped earth berm or to erect a 1.2 metre high cedar fence on the outside boundary of required leave strip areas on all drainage canals that are not adjacent to a works yard or storage yard;
 - (e) not to grade the site except in accordance with the requirements of the Engineering Department of the Covenantee. Where lots are adjacent to or have a

17214047

Page 11 of 14 pages

drainage canal within their property, the following conditions shall be included as part of the lot grading design:

- (i) if grade differential between the outside edge of the canal access road and the final grade of the property is 0.6m or less, then the maximum slope between the edge of road and final grade cannot exceed 2.1;
 - (ii) if grade differential between outside edge of the canal access road and the final grade of the property is greater than 0.6m, then the maximum slope between the edge of road and final grade cannot exceed 3.1.
- (f) the Covenantor shall, at the expense of the Covenantor, do or cause to be done all acts, reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the said lands in the New Westminster Land Title Office save and except those specifically approved in writing by the Covenantee or in favour of the Covenantee.

3. IT IS MUTUALLY UNDERSTOOD AND AGREED by and between the parties that:

- (a) nothing contained or implied herein shall prejudice or affect the rights and powers of the Covenantee in the exercise of its functions under any public and private statutes, by-laws, orders and regulations, all of which may be fully and effectively exercised in relation to

17214047

Page 12 of 14 pages

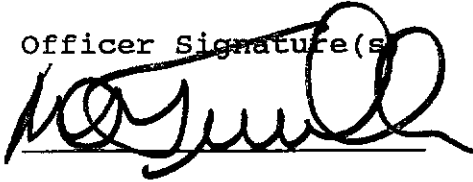
the said lands as if this Agreement had not been executed and delivered by the Covenantor;

- (b) the covenants set forth herein charge the said lands pursuant to Section 215 of the Land Title Act and shall be covenants the burden of which shall run with the said lands. It is further expressly agreed that the benefit of all covenants made by the Covenantor herein shall accrue solely to the Covenantee and that this Agreement may only be modified or discharged by agreement of the Covenantee, pursuant to the provisions of Section 215(5) of the Land Title Act;
- (c) notwithstanding anything contained herein, the Covenantor shall not be liable under any of the covenants and agreements contained herein where such liability arises by reason of an act or omission occurring after the Covenantor ceases to have any further interest in the said lands;
- (d) wherever the singular or masculine is used herein, the same shall be construed as meaning the plural, feminine or body corporate or politic where the context or the parties so require;
- (e) this Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective successors and assigns; and
- (f) the parties hereto shall do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement.

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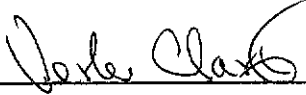
IN WITNESS WHEREOF the parties hereto have hereunto set their respective hands and seals on the day and year first above written.

Officer Signature(s)



MARK P. TINDLE
Barrister & Solicitor
2100 ONE BENTALL CENTRE
505 - BURRARD STREET
VANCOUVER, B.C. V7X 1R4
(604) 693-3911

[as to both signatures]



VERLE CLARK
4914 - 221 Street,
Langley, B.C.
A Commissioner for taking
Affidavits for British Columbia
as to the Authorized Signature
of The Township of Langley

Execution Date

Y	M	D
94	5	10
94	6	2

Party(ies) Signature(s)

161884 CANADA INC. by its authorized signatories


CLAUDIO J. GRUBNER


MARY P. MALEK

THE CORPORATION OF THE TOWNSHIP OF LANGLEY by its authorized signatory


ROD EDWARDS

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1979, c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.



MEMORANDUM AS TO ENCUMBRANCES, LIENS AND INTEREST

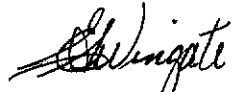
Holder of a Mortgage and Assignment of Rents in favour of the Canadian Imperial Bank of Commerce registered under numbers BG332393 and BG332394.

C O N S E N T

The undersigned, being the holder of the encumbrance or entitled to the lien or interest referred to in the memorandum above written, hereby approves of, joins in and consents to the registration of the within Agreement and covenants and agrees that the same shall be binding upon its interest in or charge upon the said lands and shall be an encumbrance upon the said lands prior to the above noted mortgage and assignment of rents, in the same manner and to the same effect as if it had been dated and registered prior to the said mortgage and assignment of rents.

EXECUTION DATE

Officer Signature(s)


ELIZABETH A. WINGATE
6th FL., 400 BURRARD ST.
VANCOUVER, B.C.
BANK OFFICER
A Commissioner for Taking
Affidavits for British Columbia

Y	M	D
94	5	31

Parties Signatures

CANADIAN IMPERIAL BANK
OF COMMERCE by its
authorized signatories

~~SENIOR INSPECTOR~~

Name: ANTONIO C. LIANG


INSPECTOR

Name: ERNEST F. MILLER

[as to both signatures]

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1979, c. 116, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

END OF DOCUMENT

Status: Registered

Doc #: CA3544503

RCVD: 2014-01-13 RQST: 2017-05-25 14.02.12

FORM_C_V19 (Charge)

NEW WESTMINSTER LAND TITLE OFFICE

CA3544503

LAND TITLE ACT Jan-13-2014 15:34:46.003
FORM C (Section 233) CHARGE
GENERAL INSTRUMENT - PART 1 Province of British Columbia

PAGE 1 OF 7 PAGES

Your electronic signature is a representation that you are a subscriber as defined by the Land Title Act, RSBC 1996 c.250, and that you have applied your electronic signature in accordance with Section 168.3, and a true copy, or a copy of that true copy, is in your possession.

Christina Jean-A Kim C9XCDA

Digitally signed by Christina Jean-A Kim C9XCDA
DN: c=CA, cn=Christina Jean-A Kim C9XCDA, o=Lawyer, ou=Verify ID at www.juricert.com/LKUP.cfm? id=C9XCDA
Date: 2014.01.13 10:14:54 -0800'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

ANNE KOBER
CLARK WILSON LLP, Barristers & Solicitors Telephone: 604-687-5700
900 - 885 West Georgia Street LTO Client No. 10153
Vancouver BC V6C 3H1 File No. 29497-0280/Doc No. 6590281
Document Fees: \$73.50 Deduct LTSA Fees? Yes [checked]

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:

[PID] [LEGAL DESCRIPTION]
012-972-622 PARCEL "A" (REFERENCE PLAN 5080) SOUTH WEST 1/4 SECTION 8
TOWNSHIP 14 NEW WESTMINSTER DISTRICT EXCEPT PARCEL ONE
STC? YES [] (REFERENCE PLAN 15620), PLANS LMP51701, BCP51227 AND BCP51594

3. NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

Covenant Section 219 Covenant

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) [] Filed Standard Charge Terms D.F. No. (b) [checked] Express Charge Terms Annexed as Part 2
A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument.

5. TRANSFEROR(S):

161884 CANADA INC. (INC. NO. 28204A)

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

THE CORPORATION OF THE TOWNSHIP OF LANGLEY
20338 - 65TH AVENUE
LANGLEY BRITISH COLUMBIA
V2Y 3J1 CANADA

7. ADDITIONAL OR MODIFIED TERMS:

N/A

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

KYLE M. WILSON
Barrister & Solicitor
3030 GILMORE DIVERSION
BURNABY, B.C. V5G 3B4
Telephone: (604) 909-8716

Table with 3 columns: Y, M, D. Values: 13, 10, 23

Transferor(s) Signature(s)

161884 CANADA INC., by its authorized signatory:

Print Name: Ryan K. Beedie

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

**LAND TITLE ACT
FORM D**

EXECUTIONS CONTINUED

Officer Signature(s)

Execution Date

Transferor / Borrower / Party Signature(s)

 DENISE HEICHERT

Y	M	D
13	11	7

THE CORPORATION OF THE
TOWNSHIP OF LANGLEY, by its
authorized signatory:

A COMMISSIONER FOR TAKING
AFFIDAVITS IN THE PROVINCE OF
BRITISH COLUMBIA
TOWNSHIP OF LANGLEY
Expiry Date: May 31, 2016
20338 - 65 Avenue
Langley, B.C. V2Y 3J1

Susan Palmer
Deputy Township Clerk

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

TERMS OF INSTRUMENT - PART 2**COVENANT - SECTION 219 OF THE LAND TITLE ACT
Landscape Buffer Zone**

THIS AGREEMENT made the 7th day of November, 2013.

BETWEEN:

161884 CANADA INC. (Inc. No. 28204A)
3030 Gilmore Diversion,
Burnaby, BC V5G 3B4

(the "**Covenantor**")

OF THE FIRST PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY,
20338 – 65th Avenue,
Langley, BC V2Y 3J1

(the "**Municipality**")

OF THE SECOND PART

WHEREAS:

- A. The Covenantor is the registered owner of ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and more particularly known and described as follows:

Parcel Identifier: 012-972-622
Parcel "A" (Reference Plan 5080) South West 1/4 Section 8 Township 14 New Westminster District Except Parcel One (Reference Plan 15620), Plans LMP51701, BCP 51227 and BCP51594

(the "**Lands**").

- B. Section 219 of the Land Title Act provides, inter alia, that a covenant, whether of a negative or positive nature, may be registered as a charge against the title to the land, in favour of the municipality or the Crown, and that the covenant is enforceable against the Covenantor and the successors in title of the Covenantor.
- C. A covenant under Section 219 of the Land Title Act may include provisions in respect of the use of land, the use of a building on or to be erected on lands; that land is to be built on in accordance with the covenant, is not to be built on except in accordance with that covenant or is not to be built on; that land is not to be subdivided unless in accordance with the covenant or is not to be subdivided.

- D. The Covenantor agrees to the restrictions in the use of the Lands on the terms and conditions herein provided for.

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT pursuant to Section 219 of the Land Title Act, and in consideration of the premises, the mutual covenants and agreements contained herein and other good and valuable consideration and the sum of One Dollar (\$1.00) now paid by the Municipality to the Covenantor (the receipt and sufficiency whereof is hereby acknowledged), the parties hereto covenant and agree that the Lands shall not be used or built on except in accordance with this Covenant as follows:

1. THE COVENANTOR COVENANTS AND AGREES with the Municipality that:
 - a) the Covenantor shall, at its sole expense and to the satisfaction of the Municipality, construct a landscaped buffer over those portions of the Lands as shown outlined in bold on the Reference Plan prepared by A.M. Osman, B.C.L.S. and registered in the New Westminster Land Title Office under number EPP34051, a reduced copy of which Reference Plan is attached hereto as Schedule "A" (the "**buffer zone**");
 - b) the Covenantor shall not, without the written consent of the Municipality (which consent shall be in the Municipality's sole discretion to consider), cut down, trim, prune, defoliate, alter, remove or in any way tamper with or work on any trees, shrubs, plants, bushes, ground cover, vegetation or any other forms of plant life within the buffer zone, so that the said trees, shrubs, plants, bushes, ground cover, vegetation and other forms of plant life remain in a naturally vegetated state unless permitted by a Development Permit that has been issued for the Lands by the Municipality;
 - c) any landscaping located in the buffer zone shall be maintained in a good state of repair at the Covenantor's sole expense and to the satisfaction of the Municipality to ensure that any such landscaping remains healthy, aesthetically pleasing and does not encroach upon adjacent lands or Municipal road allowances;
 - d) in the event that the Covenantor does not maintain and/or replace any landscaping in the buffer zone in the manner herein provided, the Municipality and its employees, agents or contractors may enter upon the Lands at any time to undertake any work which it deems necessary, and any costs which the Municipality may incur in doing so including any administrative and interest costs shall be due and payable by the Covenantor on demand from the Municipality, or recoverable by the Municipality as part of any Municipal taxes or levied against the Lands; and
 - e) The Covenantor shall not sell, transfer, convey, assign or lease any part of its interest in the Lands or any portion thereof until the Covenantor provides notice

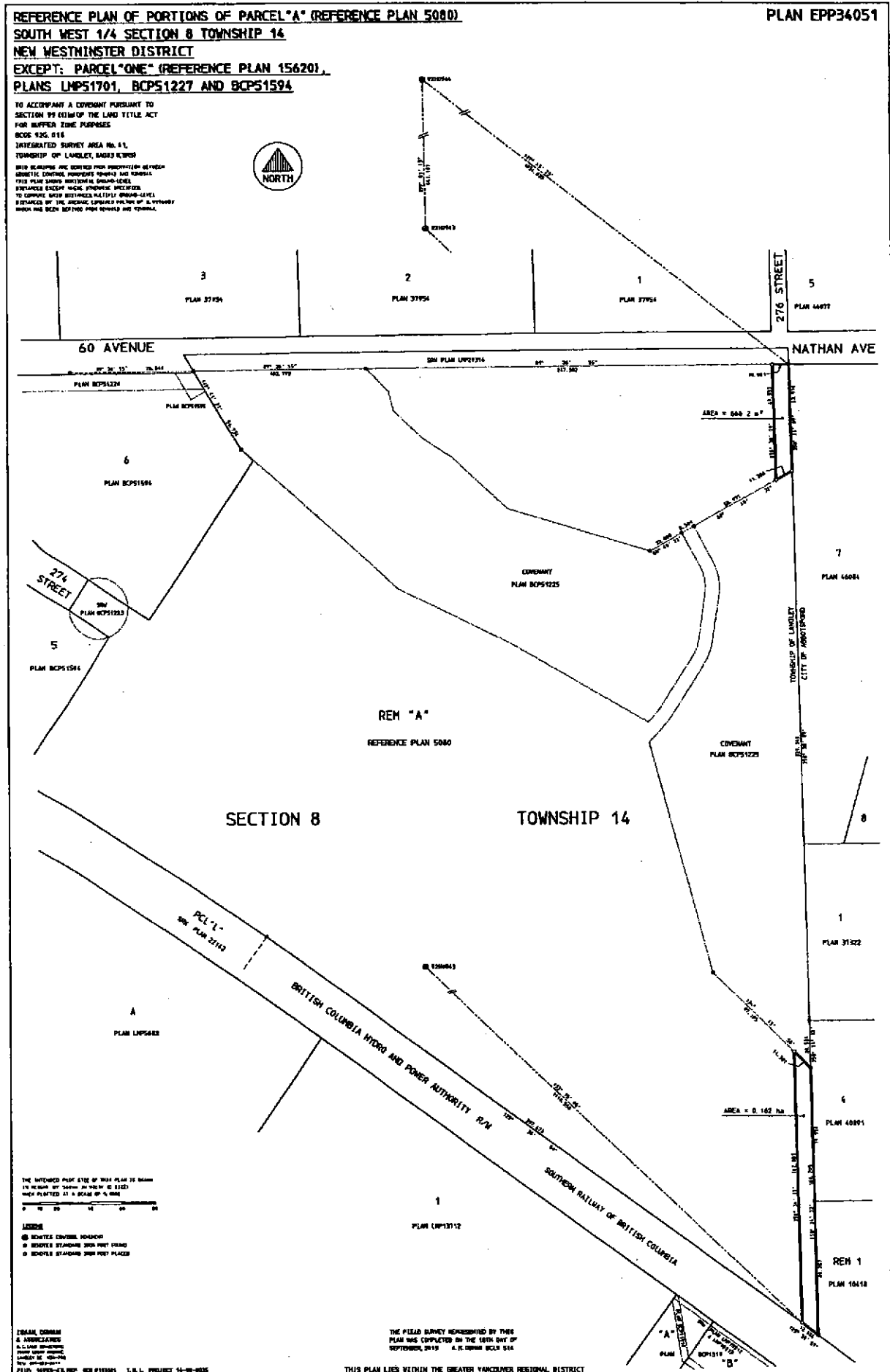
(whether written or otherwise) to each prospective purchaser, or lessee thereof, as the case may be, of the terms and conditions herein provided.

2. IT IS MUTUALLY UNDERSTOOD, agreed and declared by and between the parties hereto that:
- a) nothing contained or implied herein shall in any way restrict or abrogate and shall not be deemed to restrict or abrogate, the rights and powers of the Municipality in the exercise of its functions under any public and private statutes, by-laws, orders and regulations, in its absolute discretion, and in accordance with its lawful powers and duties;
 - b) the burden of the covenants herein provided for shall run with the Lands and will be personal and binding upon the Covenantor during the Covenantor's seisin of or ownership of any interest in the Lands;
 - c) notwithstanding anything to the contrary, the Covenantor shall not be liable under any breach of any covenants and agreements contained herein after the Covenantor ceases to have any further interest in the Lands;
 - d) the Covenantor will deliver, after execution hereof, this Agreement to the Municipality in a form acceptable as a Section 219 Covenant and concurrently such instruments of priority as may be necessary to give this Agreement priority over all financial charges and encumbrances which may have been registered against the title to the Lands at the time of submitting this Agreement for registration in the applicable Land Title Office, save and except those specifically approved in writing by the Municipality or in favour of the Municipality;
 - e) the fee simple estate in and to the Lands will not pass or vest in the Municipality under or by virtue of these presents and the Covenantor may fully use and enjoy the Lands except only for the requirements provided for in this Agreement;
 - f) the Covenantor and its successors and assigns shall at all times indemnify and save harmless the Municipality from and against all claims, demands, actions, suits, loss, costs, fines, penalties, charges, damages and expenses including legal fees and litigation expenses whatsoever which the Municipality may incur, suffer or be put to arising out of or in connection with any breach of any covenant or agreement on the part of the Covenantor contained in this Agreement;
 - g) the covenants and agreements on the part of the Covenantor and herein provided for have been made by the Covenantor as contractual obligations as well as having been made pursuant to Section 219 and as such will be binding on the Covenantor;
 - h) nothing herein provided for shall be deemed to constitute waivers of any lawful requirements with which the Covenantor would otherwise be obligated to comply with;

- i) no amendment of, addition to, or discharge of this Agreement shall be binding upon the parties hereto unless it is in writing and executed by the parties hereto;
- j) if any provision provided for in this Agreement is for any reason held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability will not affect any other provision of this Agreement which shall be construed as if such invalid, illegal, or unenforceable provisions had never been contained therein and such other provisions shall be enforceable to the fullest extent permitted by law;
- k) the Municipality, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies, including specific performance, injunction and/or declaratory relief, to enforce its rights under this Agreement;
- l) the Covenantor shall pay for the preparation and registration, if applicable, of this Agreement together with any concurrent instruments of priority as herein provided for and any amendment, addition or discharge thereof;
- m) wherever the singular, masculine or neuter is used herein, the same shall be construed as meaning the plural, feminine or the body corporate or politic according to the context in which it is used;
- n) the parties hereto shall do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement; and
- o) this Agreement shall enure to the benefit of and be binding upon the Covenantor, the Municipality and their respective successors and assigns.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written.

SCHEDULE "A"



Statutory Right of Way BB4050437.pdf

LAND TITLE ACT
FORM C

-8 AUG 2012 11 28

BB4050437

(Section 233)

Province of British Columbia

GENERAL INSTRUMENT – PART 1

(This area for Land Title Office use)

PAGE 1 of 8 pages

APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

Anne Kober, CLARK WILSON LLP, Barristers & Solicitors, 800 – 885 West Georgia Street, Vancouver, B.C., V6C 3H1, Phone: (604) 687-5700; LTO Client No. 10153

**POWELL RESEARCH
CLIENT NO. 010386**

signature of applicant, applicant's solicitor or agent

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:*

(PID)
012-972-622

(LEGAL DESCRIPTION)
Parcel "A" (Reference Plan 5080) Except Parcel One (Reference Plan 15620) and Part in Plan LMP51701 South West 1/4 Section 8 Township 14 New Westminster District

3. NATURE OF INTEREST:*

DESCRIPTION

DOCUMENT REFERENCE
(page and paragraph)

PERSON ENTITLED TO INTEREST

Statutory Right-of-Way over Part on Plan Entire Agreement
BCP 51223

Transferee

FR 08/08/2012 11:30:31 AM 3 2

4. TERMS: Part 2 of this instrument consists of (select only one)

Charge 1 \$74.00

- (a) Filed Standard Charge Terms
- (b) Express Charge Terms
- (c) Release

- D.F. No. ♦
- Annexed as Part 2
- There is no Part 2 of this instrument

A selection of (a) includes any additional or modified terms referred to in item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in item 3 is released or discharged as a charge on the land described in item 2.

5. TRANSFEROR(S):*

161884 CANADA INC. (INC. NO. 28204A)

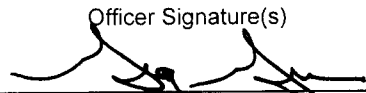
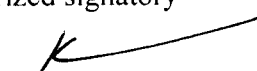
6. TRANSFEREE(S): (including postal address(es) and postal code(s))*

THE CORPORATION OF THE TOWNSHIP OF LANGLEY, 20338 – 65th Avenue, Langley B.C. V2Y 3J1

7. ADDITIONAL OR MODIFIED TERMS:*

n/a

8. EXECUTION(S):** This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

<p>Officer Signature(s)</p>  <p>Name: GREGORY J. GREINER</p> <p>Address:</p> <p>Occupation: Barrister & Solicitor Suite 202 - 5501 Kingway Burnaby, B.C. V5H 3G3</p>	<p>Execution Date</p> <table border="1"> <tr> <th>Y</th> <th>M</th> <th>D</th> </tr> <tr> <td>12</td> <td>6</td> <td>28</td> </tr> </table>	Y	M	D	12	6	28	<p>Party(ies) Signature(s)</p> <p>161884 CANADA INC. by its authorized signatory</p>  <p>Print Name: KEITH R. BEEDIE</p>
Y	M	D						
12	6	28						

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c. 124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

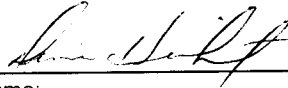
* If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.
** If space insufficient, continue executions on additional page(s) in Form D.

11

LAND TITLE ACT
FORM D

EXECUTIONS CONTINUED

Officer Signature(s)



Name:
Address: DENISE HEICHERT
A COMMISSIONER FOR TAKING AFFIDAVITS
IN THE PROVINCE OF BRITISH COLUMBIA
Occupation: TOWNSHIP OF LANGLEY
Expiry Date: May 31, 2013
20338 - 65 Avenue
Langley, BC V2Y 3J1

Execution Date

Y	M	D
12	07	27

Transferor/Borrower/Party
Signature(s)

THE CORPORATION OF THE
TOWNSHIP OF LANGLEY by its
authorized signatory


SUSAN PALMER, Deputy Township
Clerk

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c. 124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

TERMS OF INSTRUMENT - PART IISTATUTORY RIGHT OF WAY FOR TEMPORARY PUBLIC ACCESS CUL DE
SAC/TURNAROUND - SECTION 218 OF THE LAND TITLE ACT

THIS AGREEMENT made the 27 day of July, 2012.

BETWEEN:

161884 CANADA INC., Inc. No. 28204A,
3030 Gilmore Diversion,
Burnaby, BC V5G 3B4

(the "**Grantor**")

OF THE FIRST PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY,
20338 – 65th Avenue,
Langley, BC V2Y 3J1

(the "**Grantee**")

OF THE SECOND PART

WHEREAS:

- A. The Grantor is the owner in fee simple of that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and being more particularly known and described as follows:

Parcel Identifier: 012-972-622

Parcel "A" (Reference Plan 5080) Except Parcel One (Reference Plan 15620) and Part in Plan LMP51701 South West 1/4 Section 8 Township 14 New Westminster District

(the "**Lands**").

- B. To facilitate the construction, improvement, alteration, repair, maintenance, cleaning, protection, enlargement, reconstruction, inspection and otherwise operation and servicing of a public access road, road construction work and public utility services and any apparatus, piping, or connections thereto (the "**Works**") to and through the Lands, with or without vehicles, machinery or workmen, the Grantor has agreed to grant for those purposes the statutory right of way hereinafter mentioned.

- C. Section 218 of the Land Title Act allows a statutory right of way to be granted over land without a dominant or servient tenement, and the statutory right of way hereinafter provided for is essential to the operation and maintenance of the Grantee's undertaking.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the premises and the mutual covenants and agreements herein contained and the sum of One Dollar (\$1.00), now paid by the Grantee to the Grantor (the receipt and sufficiency whereof is hereby acknowledged), the Grantor and the Grantee hereby covenant and agree as follows:

- 1 THE GRANTOR, for himself, his heirs, executors, administrators, successors and assigns, DOES HEREBY GIVE AND GRANT unto the Grantee, its successors and assigns a statutory right of way and the full, free and unrestricted right and liberty for the Grantee, its licensees, servants, officials, workmen, machinery and vehicles, at any time and at their will and pleasure for the benefit of the Grantee, to:
 - a) enter in, over and upon that portion of the Lands shown boldly outlined on Statutory Right of Way Plan No. BCP 51 223 prepared by A.M. Osman, B.C.L.S. dated the 3rd day of July, 2012, a reduced copy of which is attached hereto as Schedule "A" (the "**Statutory Right of Way**");
 - b) enter, labour, go, return, pass and repass upon the Statutory Right of Way for the purposes of constructing, improving, altering, repairing, maintaining, cleaning, protecting, enlarging, inspecting, reconstructing and otherwise servicing and operating all or any part of the Works by the Grantee and the public as well as for a public access road;
 - c) have free and uninterrupted access upon the Statutory Right of Way by the Grantee and the public, with or without vehicles, machinery or workmen, for the purposes aforesaid and at the Grantee's sole expense;
 - d) make surveys, tests and examinations in and about and on the Statutory Right of Way and to excavate the soil thereof and to construct, install, lay down, place and maintain works related to carrying out and maintaining the Works;
 - e) clear the Statutory Right of Way or any part thereof of any or all trees, shrubs, plants, damaging growth, buildings, fences, or obstructions of any kind, now or hereafter;
 - f) generally do all acts reasonably necessary or incidental to the business of the Grantee in connection with the foregoing Works and the use of the Statutory Right of Way for the aforesaid purposes,

TO HAVE AND TO HOLD unto the Grantee, its successors and assigns, from and after the date hereof, forever.

- 2 THE GRANTOR HEREBY COVENANTS AND AGREES with the Grantee that the Grantor:
- a) will not erect, place or maintain any building, structure, concrete driveway, concrete patio, concrete foundation or footings or any other obstruction of a permanent nature, on, under or above any portion of the Statutory Right of Way;
 - b) will not do or knowingly permit to be done any act or thing which will interfere with the purpose of the Statutory Right of Way or interfere or damage the Works and, in particular, will not carry out blasting or excavation work on the Statutory Right of Way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
 - c) will not diminish or increase the depth of the ground cover on, under or about the Statutory Right of Way including any piping which may be installed over the Statutory Right of Way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
 - d) will from time to time and at all times upon every reasonable request and at the cost and charges of the Grantee, do and execute or cause to be made, done or executed all such further and other lawful acts, deeds, things, devices, conveyances and assurances in law whatsoever for the better assuring unto the Grantee of the Statutory Right of Way hereby granted;
 - e) will allow the public and the Grantee, its agents and servants, to enter upon the Statutory Right of Way as aforesaid and not to interfere with in any way nor prevent any such person coming on the Statutory Right of Way for purposes provided herein; and
 - f) does hereby release and forever discharge the Grantee from and against all manner of actions, causes of action, suits and demands, whatsoever at law or equity other than negligence which the Grantor may at any time have by reason of the laying, construction, repair, renewal, maintenance, inspection, operation, servicing or removal of the Works or any portions thereof on, under, and about the Statutory Right of Way.
- 3 In the event that the Grantor erects, places or maintains any building, structure, or obstruction of a permanent nature including any fencing, trees, shrubs, plants or damaging growth on, under or above any portion of the Statutory Right of Way and such erection, placement or maintenance interferes with the purposes of the Statutory Right of Way, the Grantee and its employees, agents or contractors may enter upon the Statutory Right of Way at any time to undertake any work which it deems necessary to remove such building, structure, or obstruction, and any costs which the Grantee may incur in doing so including any administrative and interest costs, shall be due and payable by the Grantor on demand from the Grantee, or recoverable by the Grantee as part of any municipal tax payment, levies or any other fees in respect to the Lands. In carrying out such removal work, the Grantee

shall, as far as reasonably necessary, carry out such work in a proper and workmanlike manner so as to do as little injury as possible.

- 4 THE GRANTEE COVENANTS AND AGREES with the Grantor that the Grantee:
- a) will not bury debris or rubbish of any kind in excavations or backfill, and will remove shoring and like temporary structures as backfilling proceeds during the course of the initial construction of the Works and the subsequent renewal, alteration, servicing, operation or removal thereof;
 - b) will thoroughly clean the Statutory Right of Way, raking up all rubbish and construction debris and leaving the Statutory Right of Way in a neat and tidy condition during the course of the initial construction of the Works and the subsequent renewal, alteration, servicing, operation or removal thereof;
 - c) subject to Clause 3 hereof, will, as far as reasonably necessary, carry out the construction, maintenance, repair, servicing and/or replacement and renewal of the Works in a proper and workmanlike manner so as to do as little injury as possible; and
 - d) will indemnify and save harmless the Grantor and its heirs, executors, administrators, successors and assigns from and against any and all actions, causes of actions, claims, suits, proceedings, costs and expenses of whatever kind, for any loss, damage, injury or death to any person or persons of any public or private property arising directly or indirectly out of the use by the Grantee and the public or any persons claiming through or under the Grantee arising from the Statutory Right of Way, save and except to the extent that such loss, injury, damage or death is caused by the negligence of willful act or omission of the Grantor or its servants and agents.
- 5 IT IS MUTUALLY UNDERSTOOD, agreed and declared by and between the parties hereto that:
- a) this Agreement shall be construed as a covenant running with the Lands and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Grantor's seisin or ownership of any interest in the Lands and with respect only to that portion of the Lands of which the Grantor shall be seised or which he shall have an interest, but that the Lands shall, nevertheless, be and remain at all times charged therewith;
 - b) save as aforesaid, nothing in this Agreement shall be interpreted so as to restrict or prevent the Grantor from using the Statutory Right of Way in any manner which does not interfere with the unobstructed access over the Statutory Right of Way by the Grantee and the public;

- c) all expenses incurred in the initial installation of the Works (including any preliminary soil studies, surveys, and related legal and design work) and the maintenance and repair thereof for a period of one (1) year from the date of completion of such Works, as certified as acceptable by or on behalf of authorized representatives of the Grantee, shall initially be carried out by the Grantor on behalf of the Grantee at the sole expense of the Grantor, and thereafter all expenses incurred in the maintenance, replacement, renewal and repair of the Works and the performance of any and all covenants herein provided for shall be at the sole expense of the Grantee;
- d) any and all chattels and fixtures installed by the Grantee on or over the Statutory Right of Way shall be and shall remain chattels, any rule of law to the contrary notwithstanding and shall belong solely and exclusively to the Grantee;
- e) notwithstanding anything contained in these presents, there are hereby reserved to the Grantee all its rights and powers of expropriation or other powers or privileges granted to the Grantee, or enjoyed by it, by or under any act or the legislature of the Province of British Columbia;
- f) nothing herein contained shall be deemed to include or imply any covenant or agreement on the part of the Grantee with the Grantor or with any other person or persons as a condition hereof or otherwise to construct, install, or maintain the Works, or any of them, or any public works or utility whatsoever provided for in this Statutory Right of Way or any portion thereof;
- g) this Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns; and
- h) wherever the singular or the masculine is used in this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic where the context or the parties hereto so require.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written.



Township of Langley



Township of
Langley
 BC

Est. 1873

Geosource Map

Map printed on: Thursday, June 8, 2017

Township of Langley



The data provided is a compilation of geographic information drawn together from a variety of sources, historic and current, and does not necessarily include everything and anything for a particular purpose; and the person utilizing this information does so entirely at their risk as the Township of Langley assumes no obligation or liability for the use of this information by any person and makes no representations or promises regarding the completeness or accuracy of the information or its fitness for a particular purpose.

Legend

Facilities

- Schools
- Parcels
- Schools
- Parcels

From: Rod Shead
Sent time: 04/28/2017 11:06:29 AM
To: Joel Nagtegaal
Subject: RE: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester
Attachments: image001.jpg Covenant BB184655.pdf

The subject property contains a streamside restrictive covenant (RC) that was registered with Fisheries and Oceans Canada as part of the DFO Authorization for the Gloucester area. A streamside RC applies to the land and use at the time the RC was established and subsequent development of the land (e.g building permit, development permit) must comply with the terms and conditions of the RC. If a parcel containing a streamside RC is redeveloped (e.g. rezoned, subdivided) the proposed redevelopment must comply with the most current streamside requirements.

In the case of this proposed lot consolidation (i.e. subdivision) the streamside area must be protected in accordance with Township streamside protection requirements outlined in Schedule 3 (Streamside Protection and Enhancement) of the Official Community Plan. Accordingly, the proponent will need to retain a Qualified Environmental Professional to assess the proposed development and confirm if protections outlined in the existing streamside RC meets minimum Township streamside protection requirements. If minimum Township streamside protection requirements are not met the applicant will need to revised the plan accordingly.

You are welcome to forward this to the applicant.

Rod Shead, RPBio, PAg

Development Planning

Environmental Coordinator

Township of Langley 20338-65 Avenue, Langley, BC V2Y 3J1

From: Joel Nagtegaal
Sent: Thursday, April 27, 2017 1:14 PM
To: Rod Shead <rshead@tol.ca>
Subject: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester

Hi Rod,

Further to our conversation, see attached site plan for a proposed industrial development at 275 Street and 48 Avenue in Gloucester.

As part of the development, the applicant is proposing to consolidate two lots.

It appears that there is a waterbody on the north portion of one of the western parcel. The application mentions this area was perhaps protected by an RC with a previous rezoning process (?).

Could you confirm what streamside requirements ToL would have for this development?

Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

[Web <http://www.tol.ca/>](http://www.tol.ca/) | [Facebook <http://www.facebook.com/LangleyTownship>](http://www.facebook.com/LangleyTownship) | [Twitter <http://www.twitter.com/LangleyTownship>](http://www.twitter.com/LangleyTownship) | [YouTube <http://www.youtube.com/langleytownship>](http://www.youtube.com/langleytownship)

11 JAN 2008 10 11

BB184655

LAND TITLE ACT
FORM C

(Section 233)
Province of British Columbia

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office use)

Page 1 of 9 pages

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

Lynn Copeland, McCarthy Tétrault LLP
1300-777 Dunsmuir Street, Vancouver, BC V7Y 1K2
Phone: (604) 643-7100 Client No. 010452

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:*

(PID) (LEGAL DESCRIPTION)

SEE SCHEDULE

3. NATURE OF INTEREST:*

DESCRIPTION DOCUMENT REFERENCE PERSON ENTITLED TO INTEREST
(PAGE AND PARAGRAPH)

SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only):

- (a) Filed Standard Charge Terms D.F. Number:
- (b) Express Charge Terms Annexed as Part 2
- (c) Release There is no Part 2 of this instrument.

NL 08/01/11 10:11:33 01 LM 819451
CHARGE \$65.65

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

5. TRANSFEROR(S):*

161884 CANADA INC., Reg no. A28204

TRANSFeree(S): (including postal address(es) and postal code(s)):

HER MAJESTY THE QUEEN IN RIGHT OF THE GOVERNMENT OF CANADA, as represented by the Minister of Fisheries and Oceans or other designate, 100 Annacis Parkway, Delta, BC V3M 6A2

7. ADDITIONAL or MODIFIED TERMS:*

N/A

8. EXECUTION(S):**This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

USE BLACK INK ONLY

Officer Signature(s)

MARK P. TINDLE
Barrister & Solicitor
McCarthy Tétrault LLP
1300 - 777 DUNSMUIR STREET
VANCOUVER, B.C. V7Y 1K2
DIRECT 604-643-7168

Execution Date

Y M D

07	11	6
----	----	---

USE BLACK INK ONLY

Party(ies) Signature(s)

161884 CANADA INC.
by its authorized signatory:

MATTHEW MCKECHNIE

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

* If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.

** If space insufficient, continue executions on additional page(s) in Form D.

10/

LAND TITLE ACT
FORM D

EXECUTIONS CONTINUED

USE BLACK INK ONLY

Officer Signature(s)

Mrs. B. Joanne Isidro No. 2002-1086
COMMISSIONER FOR TAKING
AFFIDAVITS FOR BRITISH COLUMBIA

FISHERIES & OCEANS CANADA
100 Annacis Parkway, Unit 3
Delta, BC V3M 6A2

Execution Date

Y	M	D
07	11	27

USE BLACK INK ONLY

Party(ies) Signature(s)

HER MAJESTY THE QUEEN IN
RIGHT OF THE GOVERNMENT
OF CANADA, as represented by The
Minister of Fisheries and Oceans or
other designate by his designated
representative:

Print Name: GEORGE PATERSON

Area Chief
Habitat Enhancement Branch
Lower Fraser Area

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E

SCHEDULE

Page 3 of 9 pages

ENTER THE REQUIRED INFORMATION IN THE SAME ORDER AS THE INFORMATION MUST APPEAR ON THE FREEHOLD TRANSFER FORM,
MORTGAGE FORM OR GENERAL DOCUMENT FORM.

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:
(PID) (LEGAL DESCRIPTION)

N/A

Lot 3 Section 5 Township 14 NWD Plan BCP

34340

3. NATURE OF INTEREST:*
DESCRIPTION

DOCUMENT REFERENCE
(PAGE AND PARAGRAPH)

PERSON ENTITLED TO INTEREST

Section 219 Covenant

Pages 3 to 9

Transferee

LAND TITLE ACT

TERMS OF INSTRUMENT – PART 2

Page 4 of 9 pages

**RESTRICTIVE COVENANT
(SECTION 219 LAND TITLE ACT)**

THIS AGREEMENT made the _____ day of _____, 2007,

BETWEEN:

161884 CANADA INC., Reg. no. A28204, of
300-1001 West Broadway, Vancouver, BC V6H 4B1

(the “Covenantor”)

OF THE FIRST PART

AND:

**HER MAJESTY THE QUEEN IN RIGHT OF THE
GOVERNMENT OF CANADA**, as represented by the Minister
of Fisheries and Oceans or other designate, 100 Annacis Parkway,
Delta, BC V3M 6A2

(the “Covenantee”)

OF THE SECOND PART

WHEREAS:

- A. The Covenantor is the registered owner of ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and more particularly known and described as follows:

PID:	Legal Description:	
N/A	Lot 3 Section 5 Township 14 NWD Plan BCP	34340

(hereinafter called the “said lands”).

- B. Section 219 of the *Land Title Act* provides, *inter alia*, that a covenant, whether of a negative or positive nature, may be registered as a charge against the title to land, in favour of a municipality or the Crown or any person designated by the Minister of Fisheries and Oceans subject to the covenant and that the covenant is enforceable against the Covenantor and the successors in title of the Covenantor.

Covenant BB184655.pdf

- C. A covenant registrable under Section 219 of the *Land Title Act* may include provisions in respect of the use of land, the use of a building on or to be erected on the lands; that land is to be built on in accordance with the covenant, is not to be built on except in accordance with that covenant or is not to be built on; that land is not to be subdivided unless in accordance with the covenant or is not to be subdivided; and that land or a specified amenity in relation to it be protected, preserved, conserved, maintained, enhanced, restored or kept in its natural or existing state in accordance with the covenant and to the extent provided by the covenant.
- D. The Covenantor agrees to the restrictions in the use on the use of a portion of the said lands adjacent to the watercourse on the terms and conditions herein provided for.

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT pursuant to Section 219 of the *Land Title Act*, and in consideration of the premises and the mutual covenants and agreements contained herein and other good and valuable consideration and the sum of One Dollar (\$1.00) now paid by the Covenantee to the Covenantor (the receipt and sufficiency whereof is hereby acknowledged) the parties hereto covenant and agree that the said lands shall not be used or built on except in accordance with this Covenant as follows:

1. **THE COVENANTOR COVENANTS AND AGREES** with the Covenantee that:
 - (a) the Covenantor shall not, without the prior written consent of the Covenantee which consent shall be in the Covenantee's sole discretion to consider, cut down, trim, prune, defoliate, alter, remove or in any way tamper with or work on any trees, shrubs, plants, bushes, ground cover, vegetation or any other form of plant life within that portion of the lands within the covenant boundary as outlined in bold lines on Reference Plan no. BCP 34344 prepared by A.M. Osman, B.C.L.S., a reduced copy of which is attached hereto as Schedule "A", so that the said trees, shrubs, plants, bushes, ground cover, vegetation and other forms of plant life remain in a naturally vegetated state of perpetuity;
 - (b) the Covenant shall not construct dwelling(s) or permanent structure(s) of any nature within the covenant boundary as outlined in bold lines on Schedule "A";
 - (c) the Covenantor shall ensure that any clearing and/or excavation done on the said lands shall be completed in such a manner to ensure that the release of silt, concrete, leachate or any other deleterious substances shall not fall into the said pond via ditches, storm sewers or overland flow; and shall further ensure that all construction and excavation wastes, overburden, soil or other substances deleterious to aquatic life shall be disposed of or placed in such a manner as to prevent their entry into any watercourse or storm sewer system;
 - (d) no building, structure, or any part thereof, including any fixed equipment, mobile home or modular home shall be constructed, reconstructed, moved or extended or located or shall take place within the covenant boundary as outlined in bold lines on Schedule "A".

- (e) The Covenantor shall, at its sole expense, construct a permanent fence at the covenant boundary between the development area and the covenant area prior to the start of any site development, and such fence shall be constructed of black chain link fencing 1.8 metres (6 feet) in height and posted with visible metal signs indicating that the area is protected by a Section 219 Covenant for the preservation of sensitive fish and wildlife habitat; notwithstanding that a pedestrian access gate will be permitted, provided that such gate shall be no more than 60 cm (24 inches) in width and shall be maintained in a good state of repair by the Covenantor.

2. **IT IS MUTUALLY UNDERSTOOD**, agreed and declared by and between the parties hereto that:

- (a) nothing contained or implied herein shall in any way restrict or abrogate and shall not be deemed to restrict or abrogate, the rights and powers of the Covenantee in the exercise of its functions under any public and private statutes, by-laws, orders and regulations, in its absolute discretion, and in accordance with its lawful powers and duties;
- (b) the burden of the covenants herein provided for shall run with the lands and will be personal and binding upon the Covenantor during the Covenantor's seisen of or ownership of any interest in the said lands;
- (c) except as agreed to by the Covenantee, this Agreement shall be a charge against the said lands and run with the said lands;
- (d) notwithstanding anything to the contrary, the Covenantor shall not be liable under any breach of any covenants and agreements contained herein after the Covenantor ceases to have any further interest in the said lands;
- (e) the Covenantor will deliver, after execution hereof, this Agreement to the Covenantee in a form acceptable as a Section 219 Covenant and concurrently such instruments of priority as may be necessary to give this Agreement priority over all charges and encumbrances which may have been registered against the title to the said lands at the time of submitting this Agreement for registration in the applicable Land Title Office, save and except those specifically approved in writing by the Covenantee or in favour of the Covenantee;
- (f) the fee simple estate in and to the said lands will not pass or vest in the Covenantee under or by virtue of these presents and the Covenantor may fully use and enjoy the said lands except only for the requirements provided for in this Agreement;
- (g) the Covenantor and its successors and assigns shall at all times indemnify and save harmless the Covenantee from and against all claims, demands, actions, suits, loss, costs, fines, penalties, charges, damages and expenses including legal fees and litigation expenses whatsoever which the Covenantee may incur, suffer

or be put to arising out of or in connection with any breach of any covenant or agreement on the part of the Covenantor contained in this Agreement;

- (h) the covenants and agreements on the part of the Covenantor and herein provided for have been made by the Covenantor as contractual obligations as well as having been made pursuant to Section 219 and as such will be binding on the Covenantor;
- (i) nothing herein provided for shall be deemed to constitute waivers of any lawful requirements with which the Covenantor would otherwise be obligated to comply with;
- (j) no amendment of, addition to, or discharge of this Agreement shall be binding upon the parties hereto unless it is in writing and executed by the parties hereto;
- (k) if any provision provided for in this Agreement is for any reason held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability will not affect any other provision of this Agreement which shall be construed as if such invalid, illegal, or unenforceable provisions had never been contained therein and such other provisions shall be enforceable to the fullest extent permitted by law;
- (l) the Covenantee, in addition to its rights under this Agreement or at law, will be entitled to all equitable remedies, including specific performance, injunction and/or declaratory relief to enforce its rights under this Agreement;
- (m) the Covenantor shall pay for the preparation and registration, if applicable, of this Agreement together with any concurrent instruments of priority as herein provided for and any amendment, addition or discharge thereof;
- (n) this Agreement shall be interpreted according to the laws of British Columbia;
- (o) whenever there is a reference to an enactment of the Province of British Columbia that reference shall include any subsequent enactment(s) of the Province of British Columbia of like effect;
- (p) any reference to the Minister of Fisheries and Oceans shall include the Minister of Fisheries and Oceans and the Deputy Minister of Fisheries and Oceans or any other person designated by either said party to act for or on their respective behalf;
- (q) whenever the singular, masculine or neuter is used herein, the same shall be construed as meaning the plural, feminine or the body corporate or politic according to the context in which it is used;
- (r) the parties hereto shall do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement.

- (s) this Agreement shall enure to the benefit of and be binding upon the Covenantor, the Covenantee and their respective successors and assigns.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written.

This is the instrument creating the condition of covenant entered into under Section 219 of the *Land Title Act* by the Covenantor referred to herein and shown on the print of the plan annexed hereto and initialled by me.

Approving Officer for the Municipality of Langley

REFERENCE PLAN OF A PORTION OF LOT 3
SECTION 5, TOWNSHIP 14
NEW WESTMINSTER DISTRICT
PLAN BCP _____

TO ACCOMPANY A COVENANT PURSUANT
TO SECTION 99 (1) (e) OF THE L.T.A.
B.C.S. 926/038
SCALE 1:1000

INTEGRATED SURVEY AREA No. 41
TOWNSHIP OF LANGLEY, NA0B3 (CSRS)
BENCH MARKS ARE DERIVED FROM OBSERVATION BETWEEN
CONTROL MONUMENTS SHOWN ON THIS PLAN
SHOWS HORIZONTAL GROUND-LEVEL MEASURED DISTANCES
PRIOR TO COMPUTATION OF U.T.M. CO-ORDINATES
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
UNLESS SHOWN OTHERWISE:

- ⊙ DENOTES CONTROL MONUMENT
- ⊙ DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD IRON POST PLACED



END OF DOCUMENT

PLAN BCP _____

DEPOSITED IN THE LAND TITLE OFFICE
AT NEW WESTMINSTER, B.C.
THIS ____ DAY OF _____ 20__

REGISTRAR

SECTION 5

TOWNSHIP 14

PLAN NWP 87490

AREA = 0.770 ha

50 AVENUE

275 STREET

48 AVENUE
TRANS CANADA HIGHWAY
PLAN 23336

48 AVE

Iseak, Osman
& Associates
B.C. LAND SURVEYORS
3060 150th STREET
LANGLEY B.C. V3A 7K3
TEL: 894-522-2411
FILE: 20217-29.NCF

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

I, A. H. OSMAN, A BRITISH COLUMBIA LAND SURVEYOR
OF LANGLEY, BRITISH COLUMBIA, CERTIFY THAT I
WAS PRESENT AT AND PERSONALLY SUPERINTENDED
THE SURVEY REPRESENTED BY THIS PLAN AND THAT
THE SURVEY AND PLAN ARE CORRECT. THE SURVEY
WAS COMPLETED ON THE 24th DAY OF JULY, 2007.
THE PLAN WAS COMPLETED AND CHECKED, AND THE
CHECKLIST FILED UNDER ECP-89627 ON THE
28th DAY OF AUGUST, 2007.

[Signature]
B.C.S.

REGISTERED NMB184655 RCD:2008-01-11 ROST:2012-05-18-11.13.10.675

Schedule 'A'

Page 9 of 9 Pages

TITLE SEARCH PRINT

2017-05-15, 19:22:59

File Reference: 34118-0001

Requestor: Winnie Wong

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under SECTION 98 LAND TITLE ACT

Land Title District NEW WESTMINSTER
Land Title Office NEW WESTMINSTER

Title Number CA5956010
From Title Number BB21275
BB773415

Application Received 2017-04-27

Application Entered 2017-05-10

Registered Owner in Fee Simple
Registered Owner/Mailing Address: 161884 CANADA INC., INC.NO. 28204A
3030 GILMORE DIVERSION
BURNABY, BC
V5G 3B4

Taxation Authority MUNICIPALITY OF LANGLEY

Description of Land
Parcel Identifier: 030-127-289
Legal Description:
LOT 1 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT
PLAN EPP70774

Legal Notations
NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932
FILED 2008-04-03

HERETO IS ANNEXED EASEMENT BE200470 OVER (PLAN LMP1416) LOT 2
PLAN NWP87490

TITLE SEARCH PRINT

File Reference: 34118-0001

2017-05-15, 19:22:59
Requestor: Winnie Wong**Charges, Liens and Interests**

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271665C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181654
 Remarks: INTER ALIA
 SEE 447728E
 AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST
 QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER
 DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193)
 EXCEPT: PART ON HIGHWAY PLAN 23336 AND PART
 LYING SOUTH AND WEST OF HIGHWAY PLAN 23336

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271666C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181655
 Remarks: INTER ALIA
 SEE 447728E
 AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST
 QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER
 DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193)
 EXCEPT: PART ON HIGHWAY PLAN 23336 AND PARTS LYING
 SOUTH AND WEST OF HIGHWAY PLAN 23336

Nature: STATUTORY BUILDING SCHEME
 Registration Number: BP281646
 Registration Date and Time: 2000-11-24 09:33
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BP285970
 Registration Date and Time: 2000-11-28 14:51
 Registered Owner: BRITISH COLUMBIA HYDRO AND POWER AUTHORITY
 Remarks: INTER ALIA
 PART FORMERLY LOT 5 PLAN NWP87490

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BP285971
 Registration Date and Time: 2000-11-28 14:51
 Registered Owner: TELUS COMMUNICATIONS (B.C.) INC.
 INCORPORATION NO. A51167
 Remarks: INTER ALIA
 PART FORMERLY LOT 5 PLAN NWP87490

TITLE SEARCH PRINT

2017-05-15, 19:22:59

File Reference: 34118-0001

Requestor: Winnie Wong

Nature: EASEMENT
 Registration Number: BA602677
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27811
 APPURTENANT TO LOT 2 PLAN BCP27810

Nature: EASEMENT
 Registration Number: BA602679
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27812
 APPURTENANT TO LOT 3 PLAN BCP27810

Nature: COVENANT
 Registration Number: BB129084
 Registration Date and Time: 2007-10-17 14:52
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB184649
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184651
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34342

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184653
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34343

Nature: COVENANT
 Registration Number: BB184655
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA
 PART FORMERLY LOT 3 PLAN BCP34340

TITLE SEARCH PRINT

2017-05-15, 19:22:59

File Reference: 34118-0001

Requestor: Winnie Wong

Nature: COVENANT
 Registration Number: BB184656
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB184657
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BB184659
 Registration Date and Time: 2008-01-11 10:11
 Remarks: PART ON PLAN BCP34345
 APPURTENANT TO LOTS 1 AND 2 PLAN BCP34340
 PARTIAL RELEASE CA5956009 REC'D ON 04-26-2017 AS
 TO LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB773417
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40898

Nature: COVENANT
 Registration Number: BB773418
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART FORMERLY LOT 4 PLAN BCP40897

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB773420
 Registration Date and Time: 2009-05-13 14:08
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40899

Nature: COVENANT
 Registration Number: BB773425
 Registration Date and Time: 2009-05-13 14:09
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 4 PLAN BCP40897

2017-05-15, 19:22:59
Requestor: Winnie Wong

TITLE SEARCH PRINT

File Reference: 34118-0001

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

From: Joel Nagtegaal
Sent time: 05/17/2017 02:50:11 PM
To: Rod Shead
Cc: Paul Albrecht; Ana Velazquez
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Attachments: image001.png image002.png image003.jpg LTO Search - PID-030-127-289 (May 15, 2017).pdf MR17-732REF Form9 signed 1.pdf

Hi Rod,

As per discussion, Beedie says they have consolidate the two lots which are part of the subject application.

See attached title search and subdivision plan.

Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Andrew Peterson [mailto:Andrew.Peterson@beediegroupp.ca]
Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson
Development Manager, Industrial

andrew.peterson@beediigroup.ca

p.604.435.3321 | f.604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

www.beediigroup.ca <<http://www.beediigroup.ca/>>

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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Tuesday, May 09, 2017 11:57 AM
To: Andrew Peterson <Andrew.Peterson@beediegroupp.ca <mailto:Andrew.Peterson@beediegroupp.ca>>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

Staffs review of the DP application is progressing. Once we have received comments from external agencies and internal departments, we will incorporate their comments with comments from Planning and compile them in a file review letter.

Staff will be in touch if we require any clarification or have questions.

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca <mailto:jnagtegaal@tol.ca>>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.

All the best,

Andrew

Andrew Peterson
Development Manager, Industrial

andrew.peterson@beediigroup.ca

p.604.435.3321 | f.604.432.7349

d. 604.909.8714 | c.778.939.7754

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From: Andrew Peterson
Sent: Monday, May 01, 2017 9:18 AM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca <mailto:jnagtegaal@tol.ca>>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson
Development Manager, Industrial

andrew.peterson@beediigroup.ca

p.604.435.3321 | f.604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Monday, May 01, 2017 9:14 AM
To: Andrew Peterson <Andrew.Peterson@beediegroupp.ca <mailto:Andrew.Peterson@beediegroupp.ca>>
Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

I am the Planner who has been assigned to the subject development application.

Could you please send me digital drawings (PDF) of the site plan and elevations?

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

Web <<http://www.tol.ca/>> | Facebook <<http://www.facebook.com/LangleyTownship>> | Twitter
<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

image001.png



LAND TITLE ACT
FORM C (Section 233) CHARGE

Jan-10-2018 11:51:29.002

CA6557782

GENERAL INSTRUMENT - PART 1 Province of British Columbia

PAGE 1 OF 9 PAGES

Your electronic signature is a representation that you are a subscriber as defined by the Land Title Act, RSBC 1996 c.250, and that you have applied your electronic signature in accordance with Section 168.3, and a true copy, or a copy of that true copy, is in your possession.

Shauna Kathleen
Haynes Towriss
M9LAKS

Digitally signed by Shauna Kathleen Haynes Towriss
M9LAKS
Date: 2018.01.10 11:19:05 -08'00'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

Shauna Towriss, Barrister and Solicitor

Clark Wilson LLP

Suite 900 - 885 West Georgia Street

Vancouver

BC V6C 3H1

Telephone: (604) 687-5700

File No. 29497-0334

CW Doc No. 11691428

Document Fees: \$71.58

Deduct LTSA Fees? Yes

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:

[PID]

[LEGAL DESCRIPTION]

030-127-289

LOT 1 SECTION 5 TOWNSHIP 14 NWD PLAN EPP70774

STC? YES

3. NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) Filed Standard Charge Terms D.F. No.

(b) Express Charge Terms Annexed as Part 2

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument.

5. TRANSFEROR(S):

161884 CANADA INC. (INC. NO. 28204A)

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

A MUNICIPAL CORPORATION UNDER THE LOCAL GOVERNMENT ACT

20338 - 65TH AVENUE

LANGLEY

BRITISH COLUMBIA

V2Y 3J1

CANADA

7. ADDITIONAL OR MODIFIED TERMS:

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

Execution Date

Transferor(s) Signature(s)

KYLE M. WILSON

Barrister & Solicitor

3030 GILMORE DIVERSION

BURNABY, B.C. V5G 3B4

Telephone: (604) 909-8716

Y	M	D
17	12	08

161884 CANADA INC., by its
authorized signatory(ies)

Print Name: Ryan K. Beedie

Print Name:

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

**LAND TITLE ACT
FORM D**

EXECUTIONS CONTINUED

Officer Signature(s)

Execution Date

Transferor / Borrower / Party Signature(s)

Laura M Kennelly-Mohr

Commissioner for Taking Affidavits in British Columbia

Township of Langley
20338 - 65 Avenue
Langley BC V2Y 3J1
Expiry Date: April 30, 2018

Y **M** **D**

17 12 18

THE CORPORATION OF THE
TOWNSHIP OF LANGLEY, by its
authorized sigantory(ies)

Print Name:
SUZANNE LITTLE
Deputy Township Clerk

Print Name:

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E

SCHEDULE

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
Statutory Right of Way		Over part outlined in bold on Plan EPP76011

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
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NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
--------------------	------------	------------------------

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
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NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
--------------------	------------	------------------------

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
--------------------	------------	------------------------

TERMS OF INSTRUMENT - PART II
STATUTORY RIGHT OF WAY FOR PUBLIC UTILITIES

THIS AGREEMENT made the ____ day of _____, 2017

BETWEEN:

161884 CANADA INC.
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
 (the “Grantor”)

OF THE FIRST PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 20338 – 65th Avenue, Langley, BC V2Y 3J1
 (the “Grantee”)

OF THE SECOND PART

WHEREAS:

- A. The Grantor is the owner in fee simple of that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and being more particularly known and described as follows:

Parcel Identifier: 030-127-289
 Lot 1 Section 5 Township 14 New Westminster District Plan EPP70774
 (the “Lands”)

- B. To facilitate the construction, improvement, alteration, repair, maintenance, cleaning, protection, enlargement, reconstruction, inspection and otherwise operation and servicing of storm sewer works including any apparatus, piping, or connections thereto (the “Works”) to and through the Lands, with or without vehicles, machinery or workmen, the Grantor has agreed to grant for those purposes the statutory right of way hereinafter mentioned.
- C. Section 218 of the *Land Title Act* allows a statutory right of way to be granted over land without a dominant or servient tenement, and the statutory right of way hereinafter provided for is essential to the operation and maintenance of the Grantee’s undertaking.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the premises and the mutual covenants and agreements herein contained and the sum of One Dollar (\$1.00), now paid by the Grantee to the Grantor (the receipt and sufficiency whereof is hereby acknowledged), the Grantor and the Grantee hereby covenant and agree as follows:

1. THE GRANTOR, for itself and its successors and assigns, DOES HEREBY GIVE AND GRANT unto the Grantee, its successors and assigns a statutory right of way and the full, free and unrestricted right, license, liberty and right of way for the Grantee, its licensees, servants, officials, workmen, machinery and vehicles, at any time and at their will and pleasure for the benefit of the Grantee, to:
 - (a) enter in, over and upon that portion of the Lands shown boldly outlined on Statutory Right of Way Plan No. EPP76011 prepared by Mike Bernemann, B.C.L.S. dated the 11th day of September, 2017 a reduced copy of which is attached hereto as Schedule "A" (the "**Statutory Right of Way**");
 - (b) enter, labour, go, return, pass and repass upon the Statutory Right of Way for the purposes of constructing, improving, altering, repairing, maintaining, cleaning, protecting, enlarging, inspecting, reconstructing and otherwise servicing and operating all or any part of the Works;
 - (c) make surveys, tests and examinations in and about and on the Statutory Right of Way and to excavate the soil thereof and to construct, install, lay down, place and maintain works related to carrying out and maintaining the Works;
 - (d) clear the Statutory Right of Way or any part thereof of any or all trees, shrubs, plants, damaging growth, buildings, fences, or obstructions of any kind, now or hereafter;
 - (e) generally do all acts reasonably necessary or incidental to the business of the Grantee in connection with the foregoing Works and the use of the Statutory Right of Way for the aforesaid purposes,

TO HAVE AND TO HOLD unto the Grantee, its successors and assigns, from and after the date hereof, forever.

2. THE GRANTOR HEREBY COVENANTS AND AGREES with the Grantee that the Grantor:
 - (a) will not erect, place or maintain any building, structure, concrete driveway, concrete patio, concrete foundation or footings or any other obstruction of a permanent nature, on, under or above any portion of the Statutory Right of Way;
 - (b) will not do or knowingly permit to be done any act or thing which will interfere with the purpose of the Statutory Right of Way or interfere or damage the Works and, in particular, will not carry out blasting or excavation work on the Statutory Right of Way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
 - (c) will be permitted to install and maintain fencing including any crossing gates in and about the perimeter boundaries of the Statutory Right of Way, provided that such fencing does not limit, prevent or restrict access to the Statutory Right of Way or the Works in any way and such fencing is of such a standard, condition and state of repair approved in writing by the Grantee, acting reasonably;
 - (d) will not diminish or increase the depth of the ground cover on, under or about the Statutory Right of Way including any piping which may be installed over the Statutory

Right of Way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;

- (e) will from time to time and at all times upon every reasonable request and at the cost and charges of the Grantee, do and execute or cause to be made, done or executed all such further and other lawful acts, deeds, things, devices, conveyances and assurances in law whatsoever for the better assuring unto the Grantee of the Statutory Right of Way hereby granted;
 - (f) will allow the Grantee, its agents and servants, to enter upon the Statutory Right of Way as aforesaid and not to interfere with in any way nor prevent any such person coming on the Statutory Right of Way for purposes provided herein; and
 - (g) does hereby release and forever discharge the Grantee from and against all manner of actions, causes of action, suits and demands, whatsoever at law or equity other than negligence which the Grantor may at any time have by reason of the laying, construction, repair, renewal, maintenance, inspection, operation, servicing or removal of the Works or any portions thereof on, under, and about the Statutory Right of Way.
3. In the event that the Grantor erects, places or maintains any building, structure, or obstruction of a permanent nature including any fencing, trees, shrubs, plants or damaging growth on, under or above any portion of the Statutory Right of Way and such erection, placement or maintenance interferes with the purposes of the Statutory Right of Way, the Grantee and its employees, agents or contractors may enter upon the Statutory Right of Way at any time to undertake any work which it deems reasonably necessary to remove such building, structure, or obstruction, and any reasonable costs which the Grantee may incur in doing so including any administrative and interest costs, shall be due and payable by the Grantor on demand from the Grantee, or recoverable by the Grantee as part of any municipal tax payment, levies or any other fees in respect to the Lands. In carrying out such removal work, the Grantee shall, as far as reasonably necessary, carry out such work in a proper and workmanlike manner so as to do as little injury as possible.
4. THE GRANTEE COVENANTS AND AGREES with the Grantor that the Grantee:
- (a) will not bury debris or rubbish of any kind in excavations or backfill, and will remove shoring and like temporary structures as backfilling proceeds during the course of the initial construction of the Works and the subsequent renewal, alteration, servicing, operation or removal thereof;
 - (b) will thoroughly clean the Statutory Right of Way, raking up all rubbish and construction debris and leaving the Statutory Right of Way in a neat and tidy condition during the course of the initial construction of the Works and during the execution of its rights hereunder, including the subsequent renewal, alteration, servicing, operation or removal thereof;
 - (c) subject to Clause 3 hereof, will, as far as reasonably necessary, carry out the construction, maintenance, repair, servicing and/or replacement and renewal of the Works in a proper and workmanlike manner so as to do as little injury as possible to the Lands; and

- (d) will indemnify and save harmless the Grantor and its heirs, executors, administrators, successors and assigns from and against any and all actions, causes of actions, claims, suits, proceedings, costs and expenses of whatever kind, for any loss, damage, injury or death to any person or persons of any public or private property arising directly or indirectly out of the use by the Grantee or any persons claiming through or under the Grantee arising from the Statutory Right of Way, save and except to the extent that such loss, injury, damage or death is caused by the negligence or wilful act or omission of the Grantor or its servants and agents.

5. IT IS MUTUALLY UNDERSTOOD, agreed and declared by and between the parties hereto that:

- (a) this Agreement shall be construed as a covenant running with the Lands and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Grantor's seisin or ownership of any interest in the Lands and with respect only to that portion of the Lands of which the Grantor shall be seised or which he shall have an interest, but that the Lands shall, nevertheless, be and remain at all times charged therewith;
- (b) notwithstanding anything contained herein, the Grantor will not be liable under any of the covenants and agreements contained herein which such liability arises after the Grantor ceases to be the owner in fee simple of the Lands;
- (c) save as aforesaid, nothing in this Agreement shall be interpreted so as to restrict or prevent the Grantor from using the Statutory Right of Way in any manner which does not interfere with the unobstructed access over the Statutory Right of Way by the Grantee;
- (d) all expenses incurred in the initial installation of the Works (including any preliminary soil studies, surveys, and related legal and design work) and the maintenance and repair thereof for a period of one (1) year from the date of completion of such Works, as certified as acceptable by or on behalf of authorized representatives of the Grantee, shall initially be carried out on behalf of the Grantee at the sole expense of the Grantor, and thereafter all expenses incurred in the maintenance, replacement, renewal and repair of the Works and the performance of any and all covenants herein provided for shall be at the sole expense of the Grantee;
- (e) any and all chattels and fixtures installed by the Grantee on or over the Statutory Right of Way shall be and shall remain chattels, any rule of law to the contrary notwithstanding and shall belong solely and exclusively to the Grantee;
- (f) notwithstanding anything contained in these presents, there are hereby reserved to the Grantee all its rights and powers of expropriation or other powers or privileges granted to the Grantee, or enjoyed by it, by or under any act or the legislature of the Province of British Columbia;
- (g) nothing herein contained shall be deemed to include or imply any covenant or agreement on the part of the Grantee with the Grantor or with any other person or persons as a condition hereof or otherwise to construct, install, or maintain the Works, or any of them, or any public works or utility whatsoever provided for in this Statutory Right of Way or any portion thereof;

- (h) this Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns; and
- (i) wherever the singular or the masculine is used in this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic where the context or the parties hereto so require.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written.

LAND TITLE ACT
FORM C (Section 233) RELEASE
GENERAL INSTRUMENT - PART 1 Province of British Columbia

Jan-10-2018 11:51:29.001

CA6557781

PAGE 1 OF 1 PAGES

Your electronic signature is a representation that you are a subscriber as defined by the Land Title Act, RSBC 1996 c.250, and that you have applied your electronic signature in accordance with Section 168.3, and a true copy, or a copy of that true copy, is in your possession.

Shauna Kathleen Haynes Towriss M9LAKS	Digitally signed by Shauna Kathleen Haynes Towriss M9LAKS Date: 2018.01.10 11:18:32 -08'00'
---	---

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

Shauna Towriss, Barrister and Solicitor

Clark Wilson LLP

Suite 900 - 885 West Georgia Street

Vancouver

BC V6C 3H1

Telephone: (604) 687-5700

File No. 29497-0334

CW Doc No. 11691400

Document Fees: \$28.63

Deduct LTSA Fees? Yes

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:

[PID]

[LEGAL DESCRIPTION]

030-127-289

LOT 1 SECTION 5 TOWNSHIP 14 NWD PLAN EPP70774

STC? YES

3. NATURE OF INTEREST BEING RELEASED

Statutory Right Of Way

CHARGE NO.

BB184653

ADDITIONAL INFORMATION

4. TERMS

The charge described in item 3 is released or discharged as a charge on the land described in item 2.

5. TRANSFEROR(S):

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

Registered owner

7. ADDITIONAL OR MODIFIED TERMS:

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

Execution Date

Y	M	D
17	12	18

Transferor(s) Signature(s)

THE CORPORATION OF THE
TOWNSHIP OF LANGLEY, by its
authorized signatories

Print Name:

SUZANNE LITTLE

Deputy Township Clerk

Print Name:

Laura M Kennelly-Mohr

Commissioner for Taking Affidavits in British Columbia

Township of Langley

20338 - 65 Avenue

Langley BC V2Y 3J1

Expiry Date: April 30, 2018

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

From: [Ana Velazquez](#)
To: ["Andrew Peterson"](#); ["Jennifer.Clow@beedie.ca"](mailto:Jennifer.Clow@beedie.ca)
Cc: ["LandSpace"](#)
Subject: 14-05-0098 275 Multi
Date: Monday, October 23, 2017 3:33:00 PM
Attachments: [image001.png](#)
[image002.png](#)

Hello,

We received the reduced copies of the DP landscape plan for this application. Thank you.

I am in the process of consolidating all the documents for the acceptance of the DP tree information. Can you please email me a copy of the Off site cost estimate to include with the tree management plan?

Because we had submissions for the Tree management Plan from both LandSpace and Mike Fadum and Associates I want to make sure that every package contains an accepted copy of all documents and, the quality of the hard copy on my file is not ideal for this purpose.

Regards

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#); [Paul Albrecht](#)
Subject: 14-05-0098 | Beedie - 4800 block of 275 Street
Date: Wednesday, October 04, 2017 12:56:32 PM
Attachments: [image001.png](#)
[image002.png](#)

Hi Ana and Paul,

I have received a revised DP drawing set for the subject application. Depending on the quality of the resubmission, I am targeting having a report to Council on the November 6 Council agenda. This means the report needs to be complete by October 23.

Could you please confirm the status of GIS and Dev. Eng. requirements?

Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Ana Velazquez](#)
To: [Travis Bartlett](#)
Subject: 14-05-0098 Beedie
Date: Friday, August 17, 2018 10:04:00 AM
Attachments: [image001.png](#)
[image002.png](#)

Hi Travis,

Will there be a pre-con meeting for this application?

Thanks

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Ana Velazquez](#)
To: ["Andrew Peterson"; "LandSpace"](#)
Subject: 14-05-0098. 275th and 48th Ave
Date: Wednesday, December 13, 2017 11:35:00 AM
Attachments: [image001.png](#)
[image005.png](#)

Hello, Good morning

In the process of writing the BP landscape acceptance letter for this application I noticed that the most recent plans received on December 11, 2017 are not signed or stamped. Please submit new sign and stamped plans or come by and sign and stamped the copies you submitted earlier this week. In addition, please submit an updated on-site cost estimate.

Thank you.

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Mike Fadum
To: ["Andrew Peterson"; Ana Velazquez](#)
Cc: office@fadum.ca
Subject: 275 and 48 Ave - Tree Plan
Date: Thursday, September 28, 2017 11:17:58 AM
Attachments: [2017 SEP 28 - Gloucester 275 St & 48 Ave Tree Plan T1 - TREE REM AND PRES \(1\).pdf](#)
[275 Street and 48 Avenue Gloucester Industrial Estates- Tree Report.pdf](#)

I am resending with full tree report attached.

Regards,

Mike

Mike Fadum and Associates Ltd
Vegetation Consultants
#105, 8277-129 St
Surrey, BC, V3W 0A6
Ph 778-593-0300 Fax 778-593-0302
Mobile 604-240-0309

From: Mike Fadum
To: ["Andrew Peterson"; Ana Velazquez](#)
Cc: office@fadum.ca
Subject: 275 and 48 Ave - Tree Plan
Date: Thursday, September 28, 2017 9:59:12 AM
Attachments: [2017 SEP 28 - Gloucester 275 St & 48 Ave Tree Plan T1 - TREE REM AND PRES \(1\).pdf](#)

Please find attached the tree plan for the Beedie project.

Regards,

Mike

Mike Fadum and Associates Ltd
Vegetation Consultants
#105, 8277-129 St
Surrey, BC, V3W 0A6
Ph 778-593-0300 Fax 778-593-0302
Mobile 604-240-0309

**Tree Evaluation Report for:
275 Street and 48 Avenue
Gloucester Industrial Estates
The Township of Langley, BC**

**Prepared for:
Beedie Development Group**

**Prepared by:
Mike Fadum and Associates Ltd.
#105, 8277-129 Street
Surrey, BC
Phone 778-593-0300
Fax 778-593-0302**



September 28, 2017

Date: September 28, 2017

Page 1 of 4

Tree Evaluation: 275 Street and 48 Avenue, Gloucester Industrial Estates, The Township of Langley, BC

1.0 INTRODUCTION

We attended the site during August and September of 2017 for the purpose of inventorying the tree resource and determining the quantity and type of trees that require removal for the development application outside (north of) the 10m buffer. We returned to the site on September 19, 2017 to review trees along the north edge of the Landscape Buffer.

The site is located at the northwest corner of 275 Street and 48 Avenue in the Township of Langley, BC. The application proposes the construction of a new industrial type warehouse building along with multiple parking stalls and truck access. The site consists of one approximate 6.0 acre (0.40 ha) lot that is flanked by a 10m wide landscape buffer with pedestrian walking trail to the south.



Figure 1. Aerial photograph of the subject site (GeoSource 2016).



Date: September 28, 2017

Page 2 of 4

Tree Evaluation: 275 Street and 48 Avenue, Gloucester Industrial Estates, The Township of Langley, BC

The September 28, 2017 report reflects the findings from our return visit on September 19, 2017. Excavation for the development extends to the north edge of the 10m landscape buffer which will impact trees along its edge. The edge was indentified in field by others. We reviewed the trees along the buffer edge and inventoried those requiring removal and others for retention. Only trees along the north edge were reviewed. Other trees inside the landscape buffer were not assessed at this time.

2.0 FINDINGS

The area was field staked by others and we determined the quantity and type of trees to be removed based on these field makings. The tree resource includes a strip of native broadleaf and coniferous species remnant from past clearing activities. *They are located at the north edge of the 10m landscape buffer which is dominated by a few mature black cottonwoods (*Populus balsamifera ssp. trichocarpa*), western redcedars (*Thuja plicata*) and bigleaf maples (*Acer macrophyllum*).* Tree health and structure are typically moderate and many trees in the area display signs of drought stress. Photographs are provided in Appendix A.

Table 1 provides individual tree data for trees along the 10m landscape buffer edge. Specific information includes tree type, diameter at breast height (DBH), structure and health rating (poor (P), moderate (M), good (G) or a combination of two), live crown ratio (LCR) and structural observations. Health refers to the tree's overall health and vigor, while structure is a qualitative rating of a tree's shape and structure when compared to ideal trees of the same species and age class.

3.0 TREE PROTECTION

Tree protection fencing is to be installed as per municipal standards along the north edge of the landscape buffer prior to construction with no excavation, grade alterations or materials storage within the buffer zone unless pre-approved by the Project Arborist. Failure to comply with these recommendations may result in delays, stop work orders or fines imposed by the Township.



Date: September 28, 2017

Page 3 of 4

Tree Evaluation: 275 Street and 48 Avenue, Gloucester Industrial Estates, The Township of Langley, BC

4.0 TREE PRESERVATION SUMMARY

It is expected that all consultants and contractors ensure there is no conflict with retained trees and their TPZ's. Mechanical injuries caused to trees below or above ground cannot be repaired. All parties must be aware that long-term success in tree preservation efforts depends greatly on minimizing the impact caused during and post construction. Best efforts must be made to ensure that soils remain undisturbed within the tree protection zones. Ongoing monitoring and implementation of mitigating works, such as watering, mulching, etc., is essential for success.

5.0 EDGE TREE ASSESSMENT

We recommend all edge trees undergo a Tree Risk Assessment to determine if they are at an increased risk of partial or complete failure when the surrounding trees are removed and the exposure to wind is increased. Trees considered to be of poor structure and / or condition, of species types prone to failure within striking distance of future targets of value should be removed or undergo crown modification treatments. We recommend that any trees to be removed are cut to grade and their stumps left intact in order to prevent disturbance to the stability and negative impacts on the health of the adjacent trees. Crown modification treatments may include large limb removal and or retopping.

6.0 LIMITATIONS

This Arboricultural field review report is based on site observations on the dates noted. Effort has been made to ensure that the opinions expressed are a reasonable and accurate representation of the condition of the trees reviewed. All trees or groups of trees have the potential to fail. No guarantees are offered or implied by Mike Fadum and Associates Ltd. or its employees that the trees are safe given all conditions. The inspection is limited to visual examination of accessible items without dissection, excavation, probing, coring or climbing. Trees can be managed, but they cannot be controlled. To live, work or play near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

The findings and opinions expressed in this report are representative of the conditions found on the day of the review only. Any trees retained should be reviewed on a regular basis. The root crowns, and overall structure, of all of the trees to be retained must be reviewed immediately following land clearing, grade disturbance, significant weather events and prior to site usage changes.



Date: September 28, 2017

Page 4 of 4

*Tree Evaluation: 275 Street and 48 Avenue, Gloucester Industrial Estates, The
Township of Langley, BC*

Please contact the undersigned if you have any questions or concerns regarding this report.

Mike Fadum and Associates Ltd.



Peter Mennel, BSc
ISA Certified Arborist #PN-5611A
TRAQ

Mike Fadum
ISA Certified Arborist
TRAQ



Date: September 28, 2017

Page 1 of 2

Table 1 - Tree Evaluation: Gloucester Industrial Estates - 275 Street and 48 Avenue, The Township of Langley, BC

Tree #	Type	DBH (cm)	Structure	Health	LCR (%)	Observations	Recommendation / Tree Protection Zone Radii
2901	Black Cottonwood (<i>Populus trichocarpa</i>)	28	M	MG	NA	Limited trunk taper.	Remove.
2902	Black Cottonwood (<i>Populus trichocarpa</i>)	22	M	MG	NA	Limited trunk taper.	Remove.
2903	Black Cottonwood (<i>Populus trichocarpa</i>)	69	MG	MG	NA	Typical. ~3.9m from edge of buffer.	Retain. Reassess with final excavation plans.
6197	Black Cottonwood (<i>Populus trichocarpa</i>)	60	MP	MP	NA	Down on a poorly drained micro site. Tree is in decline. Dieback throughout the canopy. Lean to the east. ~2m below path grade.	Remove.
6207	Western Redcedar (<i>Thuja plicata</i>)	72	MG	MG	95	Within 1.5m from edge of buffer.	Remove.
6138	Paper Birch (<i>Betula papyrifera</i>)	25	P	DEAD	NA	Failed at 3m.	Remove by cutting $\frac{3}{4}$ distance to nearest target.
2904	Western Redcedar (<i>Thuja plicata</i>)	38	M	MG	100	Secondary subordinate leader at 1m. Asymmetrical canopy weighted to the south.	Remove.
2905	Paper Birch (<i>Betula papyrifera</i>)	25	P	DEAD	NA	Dead snag. Conks across the main stem.	Remove by cutting $\frac{3}{4}$ distance to nearest target.
2906	Trembling Aspen (<i>Populus tremuloides</i>)	48	MG	MG	NA	High canopy. Within 2m of edge of buffer.	Remove.



Date: September 28, 2017

Page 2 of 2

Table 1 - Tree Evaluation: Gloucester Industrial Estates - 275 Street and 48 Avenue, The Township of Langley, BC

Tree #	Type	DBH (cm)	Structure	Health	LCR (%)	Observations	Recommendation / Tree Protection Zone Radii
2907	Western Redcedar (<i>Thuja plicata</i>)	30/30/ 45	MG	M	100	Stems fused at the base. Appears to straddle edge of buffer.	Remove.
2908	Bigleaf Maple (<i>Acer macrophyllum</i>)	45/40	M	MG	NA	Straddling the north edge of buffer line. Two stems fused at the lower 1m.	Remove.
ADDITIONAL RECOMMENDATIONS							
<ul style="list-style-type: none"> Stumps of all trees removed from inside the buffer are to remain intact. 							



Date: September 28, 2017

Page 1 of 2

Appendix A: Gloucester Industrial Estates - 275 Street and 48 Avenue, The Township of Langley, BC



Figure 1. Trees 2901 and 2902.



Figure 2. Tree 6197.



Figure 3. Clump of 6207, 2905, 6175, 2904 and 6138.



Figure 4. 2906.



Date: September 28, 2017

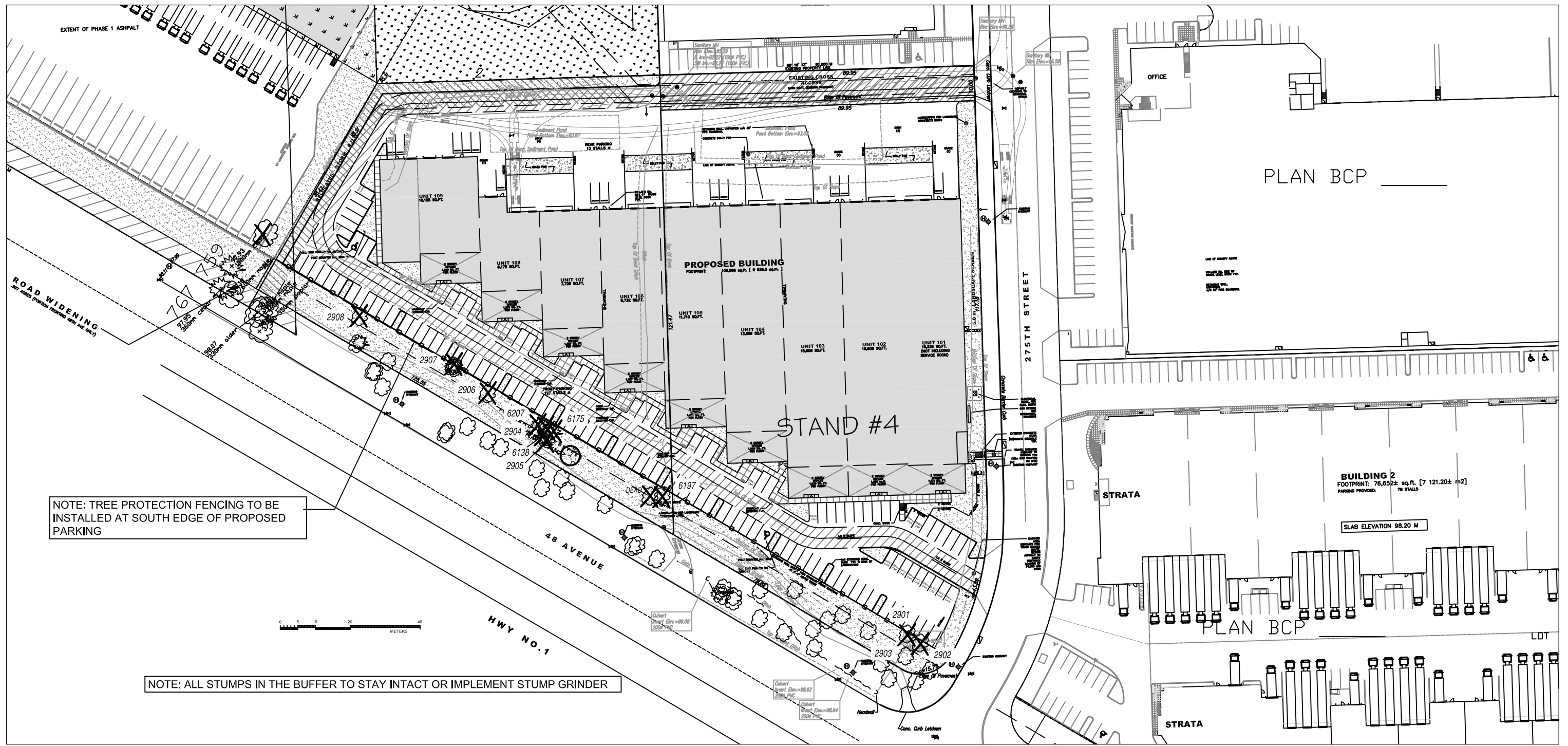
Page 2 of 2

Appendix A: Gloucester Industrial Estates - 275 Street and 48 Avenue, The Township of Langley, BC



Figure 5. 2908





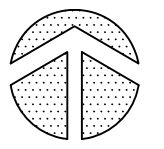
NOTE: TREE PROTECTION FENCING TO BE INSTALLED AT SOUTH EDGE OF PROPOSED PARKING

NOTE: ALL STUMPS IN THE BUFFER TO STAY INTACT OR IMPLEMENT STUMP GRINDER

NOTE: ALL TREES RETAINED IN THE LANDSCAPE BUFFER SHOULD BE REASSESSED IN CONJUNCTION WITH FINAL CONSTRUCTION, GRADE AND EXCAVATION PLANS.

LEGEND

X TREES TO BE REMOVED



STAMP	NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

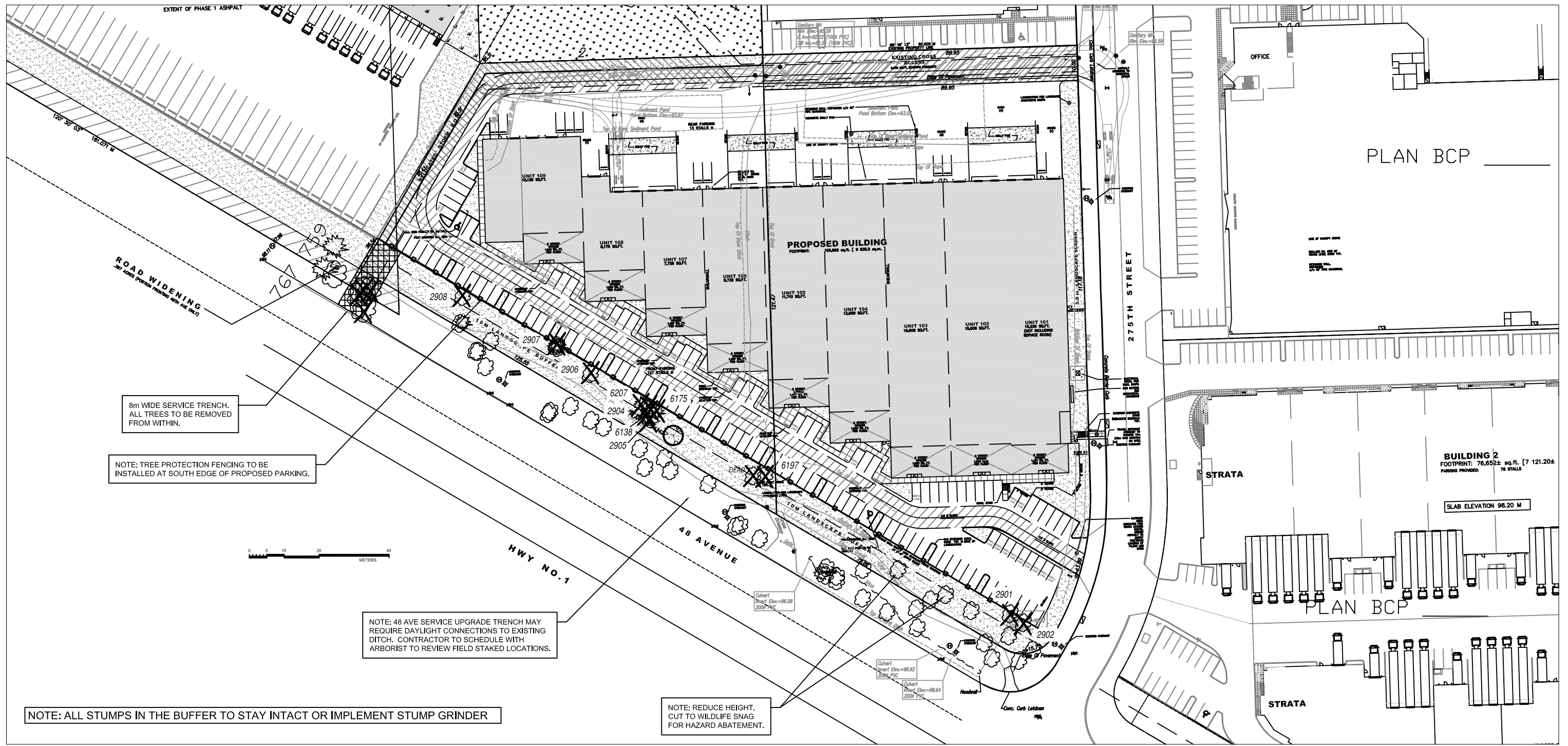
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PROJECT TITLE
 Gloucester Industrial Estates
 East of 272 Street and
 North of 48 Ave.
 LANGLEY, B.C.

SHEET TITLE
 T1 - TREE REMOVAL AND
 PRESERVATION PLAN
 CLIENT
 DATE
 SEPTEMBER 5, 2017

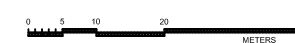
DRAWN
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 SCALE
 AS SHOWN
 DATE
 SEPTEMBER 5, 2017

T-1
 SHEET 1 OF 2



8m WIDE SERVICE TRENCH. ALL TREES TO BE REMOVED FROM WITHIN.

NOTE: TREE PROTECTION FENCING TO BE INSTALLED AT SOUTH EDGE OF PROPOSED PARKING.



NOTE: 48 AVE SERVICE UPGRADE TRENCH MAY REQUIRE DAYLIGHT CONNECTIONS TO EXISTING DITCH. CONTRACTOR TO SCHEDULE WITH ARBORIST TO REVIEW FIELD STAKED LOCATIONS.

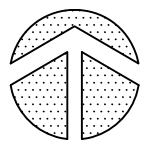
NOTE: ALL STUMPS IN THE BUFFER TO STAY INTACT OR IMPLEMENT STUMP GRINDER

NOTE: REDUCE HEIGHT. CUT TO WILDLIFE SNAG FOR HAZARD ABATEMENT.

NOTE: ALL TREES RETAINED IN THE LANDSCAPE BUFFER SHOULD BE REASSESSED IN CONJUNCTION WITH FINAL CONSTRUCTION, GRADE AND EXCAVATION PLANS.

LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE PROTECTION FENCING



STAMP	NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

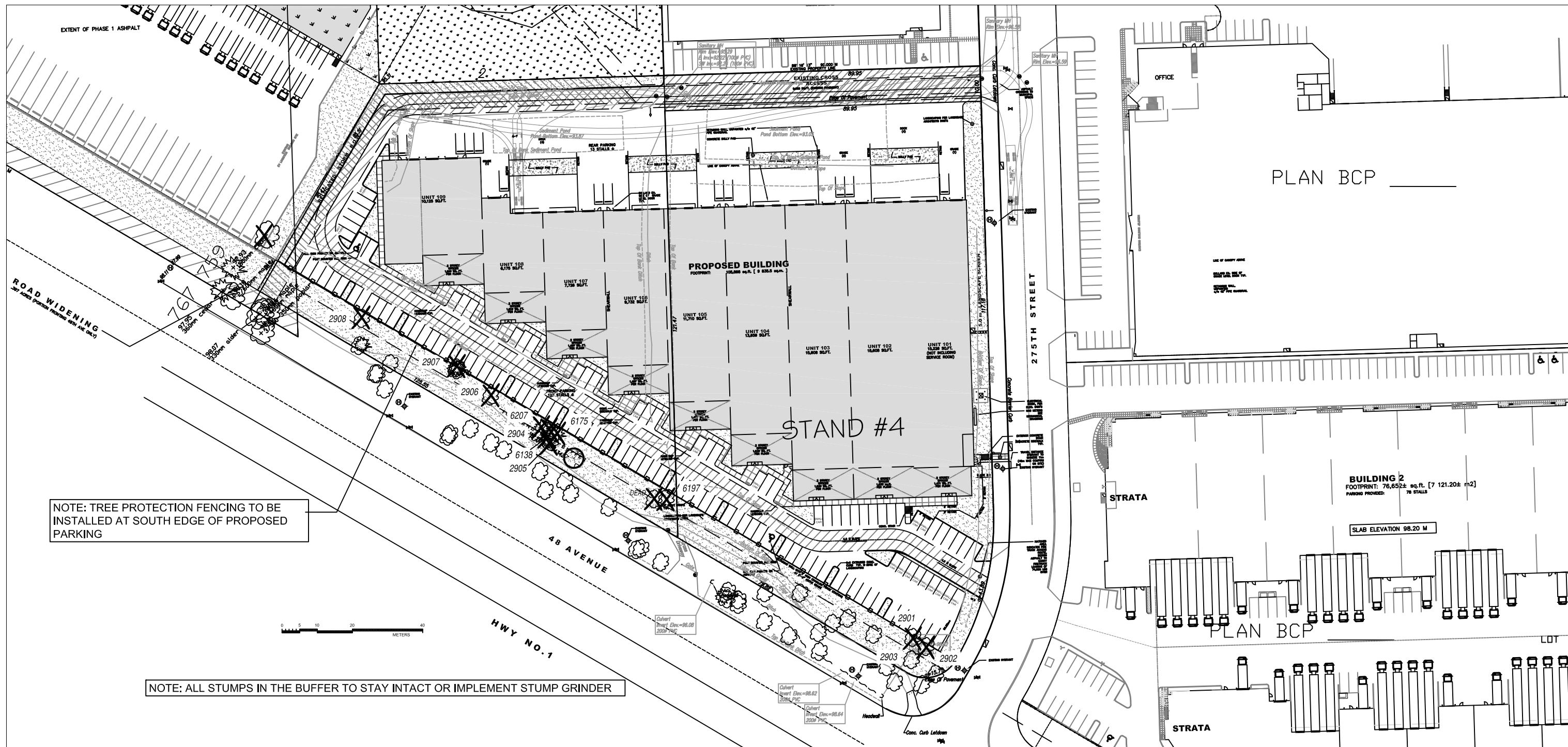
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DRAWN
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 SCALE
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 SEPTEMBER 5, 2017

T-1
 SHEET 1 OF 2



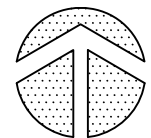
NOTE: TREE PROTECTION FENCING TO BE INSTALLED AT SOUTH EDGE OF PROPOSED PARKING

NOTE: ALL STUMPS IN THE BUFFER TO STAY INTACT OR IMPLEMENT STUMP GRINDER

NOTE: ALL TREES RETAINED IN THE LANDSCAPE BUFFER SHOULD BE REASSESSED IN CONJUNCTION WITH FINAL CONSTRUCTION, GRADE AND EXCAVATION PLANS.

LEGEND

X TREES TO BE REMOVED



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 DATE
 SEPTEMBER 5, 2017

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 SEPTEMBER 5, 2017

T-1
 SHEET 1 OF 2

From: Andrew Peterson
To: [Ana Velazquez](#)
Subject: 4825 275th Street
Date: Friday, December 01, 2017 4:20:24 PM
Attachments: [image004.png](#)
[BDG-275Multi-bpNov29"17.pdf](#)
[Landscape Acceptance Response 275th and 48th.pdf](#)

Hello Ana,

Thank you for the conversation and clarification earlier this week. Please find the revised Landscape Plan attached. I am going to print three copies and submit to ToL ASAP but wanted to send you a digital copy as well. Please let me know if you would like to discuss further.

Thank you,

Andrew

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349

D604.909.8714 C778.939.7754

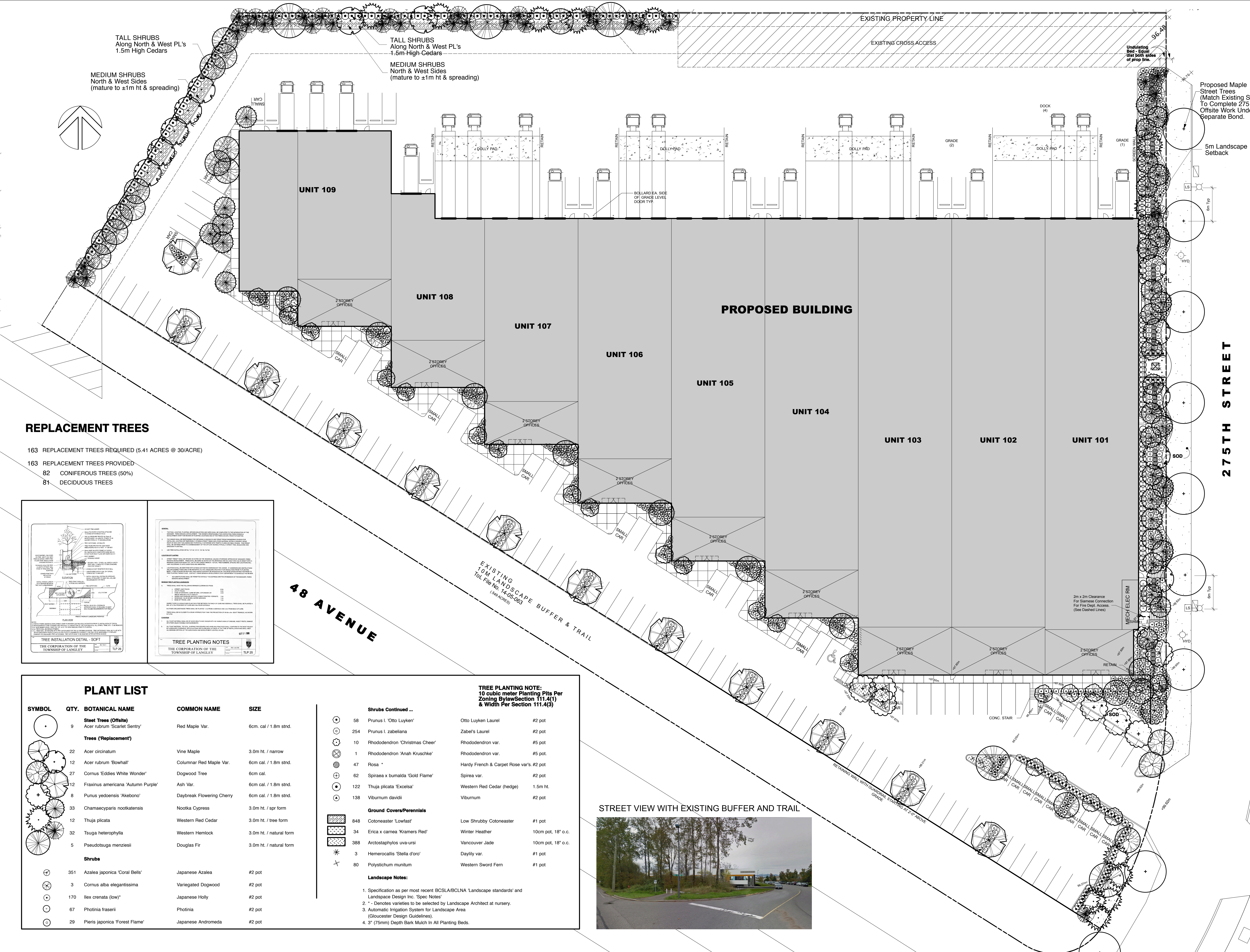
3030 Gilmore Diversion, Burnaby, BC V5G 3B4

andrew.peterson@beedie.ca

www.beedie.ca



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REPLACEMENT TREES

163 REPLACEMENT TREES REQUIRED (5.41 ACRES @ 30/ACRE)
 163 REPLACEMENT TREES PROVIDED
 82 CONIFEROUS TREES (50%)
 81 DECIDUOUS TREES

TREE INSTALLATION DETAIL - SOFT
 THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

TREE PLANTING NOTES
 THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Street Trees (Offsite)				
•	9	Acer rubrum 'Scarlet Sentry'	Red Maple Var.	6cm cal. / 1.8m std.
Trees ('Replacement')				
○	22	Acer circinatum	Vine Maple	3.0m ht. / narrow
○	12	Acer rubrum 'Bowhall'	Columnar Red Maple Var.	6cm cal. / 1.8m std.
○	27	Cornus 'Eddies White Wonder'	Dogwood Tree	6cm cal.
○	12	Fraxinus americana 'Autumn Purple'	Ash Var.	6cm cal. / 1.8m std.
○	8	Punus yedoensis 'Akebono'	Daybreak Flowering Cherry	6cm cal. / 1.8m std.
○	33	Chamaecyparis nootkatensis	Nootka Cypress	3.0m ht. / spr form
○	12	Thuja plicata	Western Red Cedar	3.0m ht. / tree form
○	32	Tsuga heterophylla	Western Hemlock	3.0m ht. / natural form
○	5	Pseudotsuga menziesii	Douglas Fir	3.0m ht. / natural form
Shrubs				
⊕	351	Azalea japonica 'Coral Bells'	Japanese Azalea	#2 pot
⊗	3	Cornus alba elegantissima	Variiegated Dogwood	#2 pot
○	170	Ilex crenata (low)'	Japanese Holly	#2 pot
○	67	Photinia fraseri	Photinia	#2 pot
○	29	Pieris japonica 'Forest Flame'	Japanese Andromeda	#2 pot

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Shrubs Continued ...				
○	58	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	#2 pot
○	254	Prunus l. zabeliana	Zabel's Laurel	#2 pot
○	10	Rhododendron 'Christmas Cheer'	Rhododendron var.	#5 pot
○	1	Rhododendron 'Anah Kruschke'	Rhododendron var.	#5 pot
○	47	Rosa *	Hardy French & Carpet Rose var's.	#2 pot
○	62	Spiraea x bumalda 'Gold Flame'	Spiraea var.	#2 pot
○	122	Thuja plicata 'Excelsa'	Western Red Cedar (hedge)	1.5m ht.
○	138	Viburnum davidii	Viburnum	#2 pot
Ground Covers/Perennials				
■	848	Cotoneaster 'Lowfast'	Low Shrubby Cotoneaster	#1 pot
■	34	Erica x carnea 'Kramers Red'	Winter Heather	10cm pot, 18" o.c.
■	388	Arctostaphylos uva-ursi	Vancouver Jade	10cm pot, 18" o.c.
✱	3	Hemerocallis 'Stella d'oro'	Daylily var.	#1 pot
✱	80	Polystichum munitum	Western Sword Fern	#1 pot
Landscape Notes:				
1. Specification as per most recent BC/SLA/BCLNA 'Landscape standards' and Landscape Design Inc. 'Spec Notes'				
2. * - Denotes varieties to be selected by Landscape Architect at nursery.				
3. Automatic Irrigation System for Landscape Area (Gloucester Design Guidelines).				
4. 3" (75mm) Depth Bark Mulch in All Planting Beds.				

STREET VIEW WITH EXISTING BUFFER AND TRAIL



Beedie | Development Group
 3030 GILMORE DYSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7349

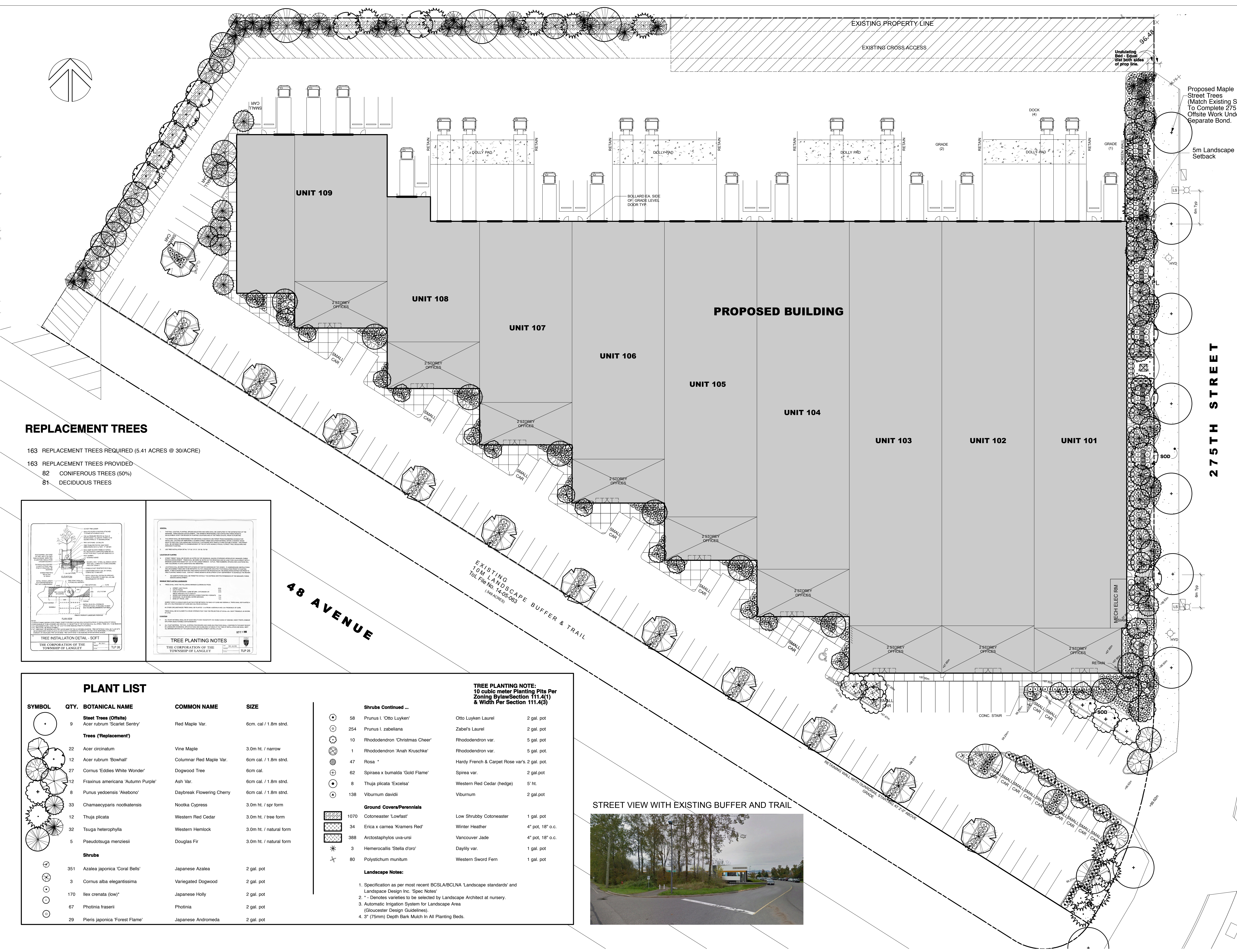


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5	NOV 29/17 REISSUE FOR BP (wall & meet shrubs rd/wr gr)	
4	OCT 20/17 REISSUE FOR BP (screen wall confiers)	
3	SEP 01/17 ISSUE FOR BUILDING PERMIT	
2	AUG 16/17 REISSUE FOR DEVELOPMENT PERMIT	
1	MAR 14/17 ISSUE FOR DEVELOPMENT PERMIT	
NO.	DATE	DESCRIPTION

PROJECT PROPOSED:
275TH MULTI
 ADDRESS: 275th & 48th Ave., Langley, B.C.
 LEGAL: Lot 1 Section 5 Township 14 NVD Plan EPP70774
 DRAWING
LANDSCAPE PLAN
 TOL FILE # 14-05-0098

DRAWN	ACT
DESIGNED	
SCALE:	1"=20'-0"
PLOT DATE	FEB 17/17

PROJECT - DRAWING NUMBER
L-1



REPLACEMENT TREES

163 REPLACEMENT TREES REQUIRED (5.41 ACRES @ 30/ACRE)
 163 REPLACEMENT TREES PROVIDED
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○	12	Acer rubrum 'Bowhall'	Columnar Red Maple Var.	6cm cal. / 1.8m std.
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○	12	Fraxinus americana 'Autumn Purple'	Ash Var.	6cm cal. / 1.8m std.
○	8	Punus yedoensis 'Akebono'	Daybreak Flowering Cherry	6cm cal. / 1.8m std.
○	33	Chamaecyparis nooklatensis	Nootka Cypress	3.0m ht. / spr form
○	12	Thuja plicata	Western Red Cedar	3.0m ht. / tree form
○	32	Tsuga heterophylla	Western Hemlock	3.0m ht. / natural form
○	5	Pseudotsuga menziesii	Douglas Fir	3.0m ht. / natural form
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⊗	170	Ilex crenata (low)	Japanese Holly	2 gal. pot
⊗	67	Photinia fraserii	Photinia	2 gal. pot
⊗	29	Pieris japonica 'Forest Flame'	Japanese Andromeda	2 gal. pot

Shrubs Continued ...				
⊗	58	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	2 gal. pot
⊗	254	Prunus l. zabeliana	Zabel's Laurel	2 gal. pot
⊗	10	Rhododendron 'Christmas Cheer'	Rhododendron var.	5 gal. pot
⊗	1	Rhododendron 'Anah Kruschke'	Rhododendron var.	5 gal. pot
⊗	47	Rosa *	Hardy French & Carpet Rose var's	2 gal. pot
⊗	62	Spiraea x bumalda 'Gold Flame'	Spiraea var.	2 gal. pot
⊗	8	Thuja plicata 'Excelsa'	Western Red Cedar (hedge)	5' ht.
⊗	138	Viburnum davidii	Viburnum	2 gal. pot

Ground Covers/Perennials				
■	1070	Cotoneaster 'Lowfast'	Low Shrubby Cotoneaster	1 gal. pot
■	34	Erica x carnea 'Kramers Red'	Winter Heather	4" pot, 18" o.c.
■	388	Arctostaphylos uva-ursi	Vancouver Jade	4" pot, 18" o.c.
✱	3	Hemerocallis 'Stella d'oro'	Daylily var.	1 gal. pot
✱	80	Polystichum munium	Western Sword Fern	1 gal. pot

TREE PLANTING NOTE:
 10 cubic meter Planting Pits Per Zoning Bylaw Section 111.4(1) & Width Per Section 111.4(3)

Landscape Notes:

- Specification as per most recent BC SLA/BCLNA 'Landscape standards' and Landscape Design Inc. 'Spec Notes'
- * - Denotes varieties to be selected by Landscape Architect at nursery.
- Automatic Irrigation System for Landscape Area (Gloucester Design Guidelines).
- 3" (75mm) Depth Bark Mulch in All Planting Beds.

STREET VIEW WITH EXISTING BUFFER AND TRAIL



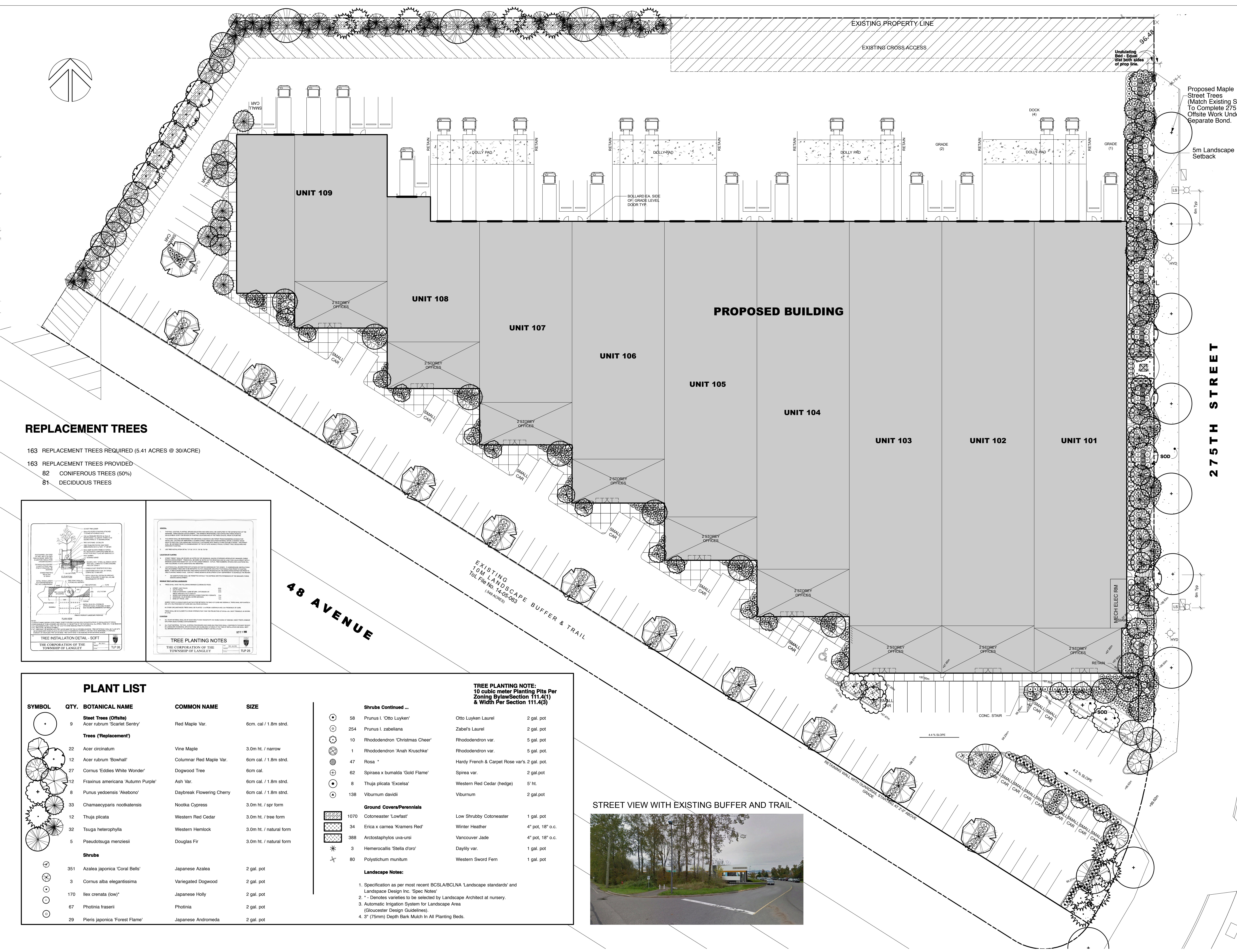
Beedie | Development Group
 3030 GILMORE DYSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7349



NO.	DATE	DESCRIPTION
1	MAR 14 '17	ISSUE FOR DEVELOPMENT PERMIT
2	AUG 16 '17	ISSUE FOR DEVELOPMENT PERMIT
3	SEP 01 '17	ISSUE FOR BUILDING PERMIT
4	OCT 20 '17	REISSUE FOR BP (screen wall conflict)

PROJECT PROPOSED:
275TH MULTI
 ADDRESS: 275th & 48th Ave., Langley, B.C.
 LEGAL: Lot 1 Section 5 Township 14 NVD Plan EPP70774
 DRAWING
LANDSCAPE PLAN
 TOL FILE # 14-05-0098

PROJECT - DRAWING NUMBER
L-1



REPLACEMENT TREES

163 REPLACEMENT TREES REQUIRED (5.41 ACRES @ 30/ACRE)
 163 REPLACEMENT TREES PROVIDED
 82 CONIFEROUS TREES (50%)
 81 DECIDUOUS TREES

TREE INSTALLATION DETAIL - SOFT
 THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 20

TREE PLANTING NOTES
 THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
•	9	Street Trees (Offsite) Acer rubrum 'Scarlet Sentry'	Red Maple Var.	6cm cal. / 1.8m std.
•	22	Trees ('Replacement') Acer circinatum	Vine Maple	3.0m ht. / narrow
•	12	Acer rubrum 'Bowhall'	Columnar Red Maple Var.	6cm cal. / 1.8m std.
•	27	Cornus 'Eddies White Wonder'	Dogwood Tree	6cm cal.
•	12	Fraxinus americana 'Autumn Purple'	Ash Var.	6cm cal. / 1.8m std.
•	8	Punus yedoensis 'Akebono'	Daybreak Flowering Cherry	6cm cal. / 1.8m std.
•	33	Chamaecyparis nooklatensis	Nootka Cypress	3.0m ht. / spr form
•	12	Thuja plicata	Western Red Cedar	3.0m ht. / tree form
•	32	Tsuga heterophylla	Western Hemlock	3.0m ht. / natural form
•	5	Pseudotsuga menziesii	Douglas Fir	3.0m ht. / natural form
•	351	Shrubs Azalea japonica 'Coral Bells'	Japanese Azalea	2 gal. pot
•	3	Cornus alba elegantissima	Variiegated Dogwood	2 gal. pot
•	170	Ilex crenata (low)	Japanese Holly	2 gal. pot
•	67	Photinia fraserii	Photinia	2 gal. pot
•	29	Pieris japonica 'Forest Flame'	Japanese Andromeda	2 gal. pot

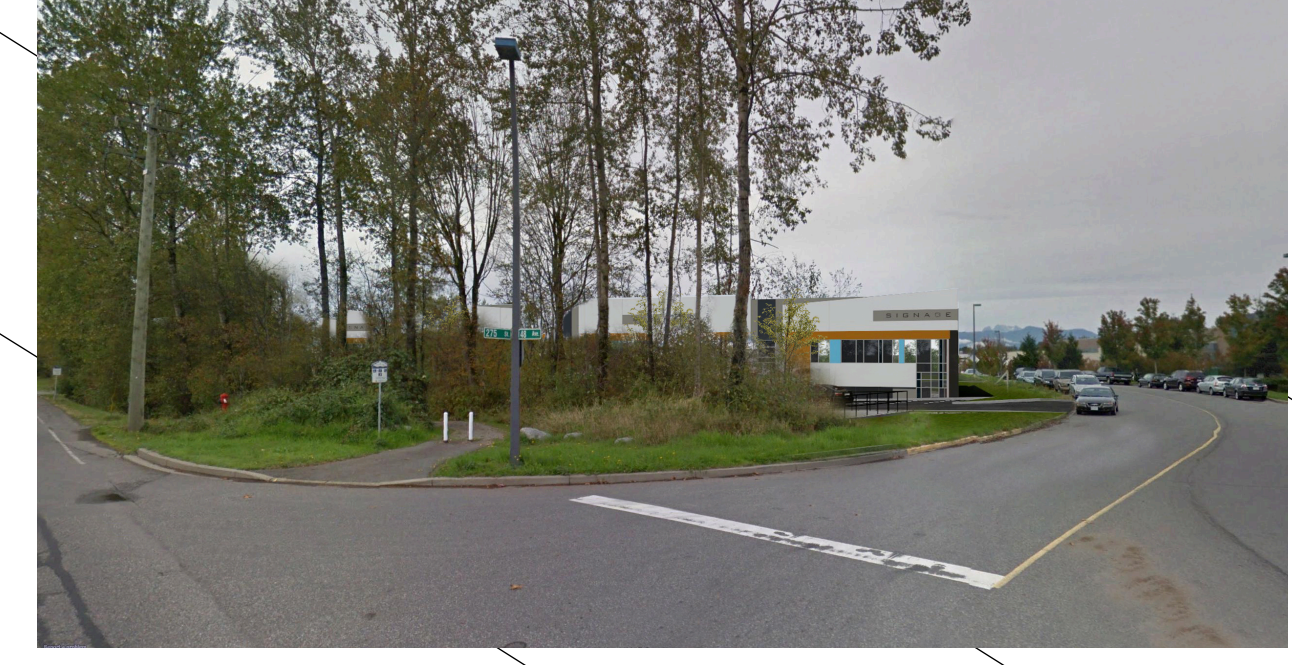
Shrubs Continued ...

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Landscape Notes:

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- * - Denotes varieties to be selected by Landscape Architect at nursery.
- Automatic Irrigation System for Landscape Area (Gloucester Design Guidelines).
- 3" (75mm) Depth Bark Mulch in All Planting Beds.

STREET VIEW WITH EXISTING BUFFER AND TRAIL



Beedie | Development Group
 3030 GILMORE DYSN, BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7349



NO.	DATE	DESCRIPTION
1	MAR 14 '17	ISSUE FOR DEVELOPMENT PERMIT
2	AUG 16 '17	REISSUE FOR DEVELOPMENT PERMIT
3	SEP 01 '17	ISSUE FOR BUILDING PERMIT

PROJECT PROPOSED:
275TH MULTI
 ADDRESS: 275th & 48th Ave, Langley, B.C.
 LEGAL: Lot 1 Section 5 Township 14 NWD Plan EPP70774
 DRAWING
LANDSCAPE PLAN
 TOL FILE #:
 DRAWN ACT
 DESIGNED
 SCALE: 1"=20'-0"
 PLOT DATE FEB 17/17
 PROJECT - DRAWING NUMBER
L-1

From: Andrew Peterson
To: [Ana Velazquez](#)
Cc: [John Szarapka](#); [Scott Spencer](#)
Subject: BP 137038 - 275th and 48th
Date: Thursday, July 19, 2018 12:02:12 PM
Attachments: [image002.png](#)
[image004.png](#)
[BG-275Multi-bpSept1"17.pdf](#)

Hello Ana,

Following up on our chat yesterday, we need to relocate the PMT from what has been shown on previous plans. This is for the project at the NW corner of 275th and 48th. Following our call and verbal approval, I wanted to follow-up with an email.

We will ensure that the planted around the PMT matches what was previously approved and there will be no deletion or change in landscaping, other than location, as a result of this change.

Please see the attached plan.

Thank you,

Andrew Peterson
Senior Development Manager

Beedie/

P604.435.3321 F604.432.7349

D604.909.8714 C778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

andrew.peterson@beedie.ca

www.beedie.ca



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From: Andrew Peterson
To: [Ana Velazquez](#)
Subject: DP100890 - 275th and 48th
Date: Thursday, September 07, 2017 3:03:24 PM
Attachments: [image004.png](#)
[275 Street and 48 Avenue Gloucester Industrial Estates- Tree Report.pdf](#)

Hello Ana,

Further to our discussion, please find the report prepared by Mike Fadum and Associates attached to this email.

As the report states, the only trees remaining on site, outside of the riparian areas and landscape buffer area, are on the south portion of the property, immediately beside the 10m landscape buffer. This area was previously authorized to be cleared but for whatever reason, the trees outlined in the attached report were missed.

As you are aware, we have are well into the Development Permit Application process and have recently applied for Building Permit on this property. We have an active ESC permit on site and are endeavoring to complete site preparation and grading works before the wet weather hits to avoid any unnecessary disturbance to the soils. At present we have protected the area where the trees remain.

We are seeking permission to remove the trees in the report. We appreciate your review of this request. Please let me know if any additional information is helpful.

Thank you,

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
D604.909.8714 C778.939.7754
3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
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From: [Ana Velazquez](#)
To: ["Andrew Peterson"; "Mike Fadum"](#)
Subject: FW: 275 and 48 Ave - Tree Plan
Date: Tuesday, October 10, 2017 9:19:00 AM
Attachments: [Scanned from a Xerox Multifunction Printer.pdf](#)
[image001.png](#)
[image002.png](#)
[image007.png](#)

Good morning,

Just checking on the status of the tree information submission.
Please see highlighted items below.

Regards

Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Ana Velazquez
Sent: Thursday, September 28, 2017 2:48 PM
To: 'Mike Fadum' <mfadum@fadum.ca>; 'Andrew Peterson' <Andrew.Peterson@beedie.ca>
Cc: office@fadum.ca
Subject: RE: 275 and 48 Ave - Tree Plan

Hi Mike and Andrew

Thanks for the information.
Having had the opportunity to review the plan and the report together, I have the following comments:

1. At this stage of the process, we have to focus first on determining if any existing tree will have to be removed to accommodate the new piping along the North and West lot lines and into the street. Please provide a plan zooming in that area and provide a tree protection/ tree removal proposal that I can review and share with Travis.
2. The area of buffer on private property along the south property line has an RC and a SRW on title.
3. This RC restricts the removal of vegetation without Township consent. I understand that some trees are dead or in decay but some trees are proposed to be removed because they will be in conflict with the future development on the site. This will be addressed as part of the DP application. However, if you recall, on the file review letter that was sent for this project on June 2, 2017. Under the Green Infrastructure comments, item 15, subsection b) landscape screening, the second bullet comment, indicates that a 3m depth landscape screen is required along all lot lines. Along the South lot line, this buffer is required in addition of the existing 10-meter buffer, which provides opportunity for trees retention.
4. There is a tree off site proposed to be removed. The tree is not tagged and it's

outside the property line. It also looks like its planted on the parking lot. Is this a typo?

Please let me know if you have any questions.

Regards

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Mike Fadum [<mailto:mfadum@fadum.ca>]
Sent: Thursday, September 28, 2017 11:18 AM
To: 'Andrew Peterson' <Andrew.Peterson@beedie.ca>; Ana Velazquez <avelazquez@tol.ca>
Cc: office@fadum.ca
Subject: 275 and 48 Ave - Tree Plan

I am resending with full tree report attached.

Regards,

Mike

Mike Fadum and Associates Ltd
Vegetation Consultants
#105, 8277-129 St
Surrey, BC, V3W 0A6
Ph 778-593-0300 Fax 778-593-0302
Mobile 604-240-0309

Beedie | Development Group

December 1st, 2017

Township of Langley
20338 – 65 Avenue
Langley, BC
V2Y 3J1

Project: 14-05-0098 / Folder DP100890

Attention: Anna Velazquez

Re: Landscape Plan Acceptance Project No. 14-05-0098

Dear Ms. Vasquez;

In response to the Staff review and comments provided in your email dated October 26, 2017 we thank you for this review and approval and offer the following responses to your letter.

The below comments are listed in the order in which they were received. All comments received from staff are in *italics*, all responses are immediately following and reference applicable drawings as required.

1. *As per file review letter comments dated June 2, 2017 please review the proposed planting along the Rear lot line and the West interior side lot lines to include additional levels of planning to achieve a substantial landscape screen at time of planting.*
 - Thank you for this comment. Please refer to the attached plan where this request has been addressed. In this specific instance, the legal lot extends well beyond this area and contains significant existing and mature planting. We have complied with the request, however we would like to review this requirement on a case by case basis going forward. While we understand the requirement and its universal applicability, I would like to further review this requirement where the developable area of the lot abuts natural habitat, a restrictive covenant area or another landscaped area which is protected from future development.

2. *As per file review letter comments dated June 2, 2017, please confirm that the proposed plant sizes, spacing, location and quantities are sufficient to provide fully covered planted areas within three growing seasons.*
 - Thank you for this comment. This has been reviewed and we confirm that the landscaping has been designed to comply with the above request.

Beedie | Development Group

3. *As per file review letter comments dated June 2, 2017, please note that the fire department expects all Siamese connection locations to have an immediate access area of 2m x 2m cleared of planting and topped with soil or gravel to be raked smooth and compact for firm footing. Please adjust planting accordingly.*
 - Thank you for this comment. The attached plan has been modified to include this area.

4. *As per Landscape letter received on October 16, 2017, please include proposed quantities, and planting notes for replacement tree planting along the existing Buffer and Trail.*
 - Thank you for this comment. As per the letter submitted by Landspace and dated October 16, 2017, and the plan submitted by Mike Fadum Drawing T-1, dated September 5, 2017, once construction is complete, there will be a site visit to determine appropriate species and location of replacement tree planting along the buffer. Beedie has retained the services of a landscape architect and arborist to provide instruction on the appropriate replanting required in this area.

Thank you for your time and consideration of this application. Should you have any questions, please do not hesitate to contact the undersigned. We look forward to your review of this resubmission and collaborating to move this project forward.

Sincerely yours,



Andrew Peterson
Development Manager



#1 - 20010 - 100A Avenue, Langley, BC V1M 3G4
Tel: 604.882.0068 - Fax: 604.882.0063

NOTIFICATION OF CONSTRUCTION

DATE: September 29th 2017

TO: Whom it May Concern

RE: Municipal Project #: **14-05-0098**

Address: **4800 Block of 275th Street, Langley**

This letter is being distributed to inform you that the construction for this section of the project is scheduled to start on October 2nd, 2017 and will be completed by approximately November 30th, 2017.

The hours of construction on 48th Avenue are from 7:00 am to 5:00 pm.

We are committed to the safe and expedient completion of this project with as little inconvenience to you as possible. Tybo thanks you in advance for your co-operation. Should any questions or concerns arise please contact Geordie Smyth, Project Superintendent at 604-861-4118 or gsmyth@tybo.ca

Regards

Tybo Contracting Ltd.
Prime Contractor



WORKING TO MAKE A DIFFERENCE

Notice of Project

NOP Confirmation number: **E757038**

<p>Owner information</p> <p>Account #:</p> <p>Name: Beedie Construction</p> <p>Country: Canada</p> <p>Address: 8080 N Fraser Way</p> <p>City: Burnaby</p> <p>Province: British Columbia</p> <p>Postal code: V5J 3J8</p>	<p>Prime contractor or employer information</p> <p>Account #:</p> <p>Name: Tybo Contracting Ltd.</p> <p>Country: Canada</p> <p>Address: 20010 100A Ave</p> <p>City: Langley</p> <p>Province: British Columbia</p> <p>Postal code:</p>
<p>Person in charge of project</p> <p>Name: Geordie Smyth</p> <p>Job title: Superintendent</p> <p>Email: gsmyth@tybo.ca</p> <p>Phone number: (604) 861-4118 Ext:</p>	<p>Person completing this form</p> <p>Name: Deanne Roufousse</p> <p>Email: droufousse@tybo.ca</p> <p>Phone number: (604) 836-1707 Ext:</p>

Has a prime contractor agreed in writing with the owner to be the prime contractor?

Yes

Required documents and additional information to be submitted

Additional documents:

Delivery method:

Sent date:

NOP Confirmation number: **E757038**

Construction Project (OH&S Regulation 20.2) - At least 24 hours notice required.

<p>General construction</p> <p>Commercial: Yes</p> <p>Institutional:</p> <p>Residential</p> <p> Single family:</p> <p> Multi-family wood:</p> <p> Multi-family concrete:</p> <p>Industrial:</p> <p>Recreational:</p> <p>Number of floors:</p> <p>Floor area:</p> <p>Recreational explanation:</p> <p>Industrial explanation:</p>	<p>Site preparation</p> <p>Pile driving:</p> <p>Remediation:</p> <p>Ground preparation: Yes</p>	<p>Road construction</p> <p>Length (kilometers): 1</p> <p>New: Yes</p> <p>Resurfacing: Yes</p> <p>Alignment: Yes</p>
	<p>Service construction</p> <p>New: Yes</p> <p>Repair:</p> <p>Sewer line: Yes</p> <p>Water line: Yes</p> <p>Gas line:</p> <p>Power line:</p>	<p>Heavy construction</p> <p>Bridge:</p> <p>Bridge length (meters):</p> <p>Bridge height (meters):</p> <p>Pier, wharf, or dry-dock:</p> <p>Dam, dyke, or reservoir:</p>

Other type of general construction (explain)

Explanation:

This is the installation of underground utility's including concrete storm and sewer

Project Information

Project cost greater than \$100,000: **Yes**

Designed by a professional engineer: **Yes**

Work in cofferdam or in a compressed air environment other than an underground working:

Ground support drawings available: **Yes**

Work in an excavation over 1.2 m (4 ft) deep: **Yes**
 Work in a trench over 30 m (100 ft) long: **Yes**
 A building more than 2 storeys or 6 m (20 ft) high:
 Bridge:
 Earth or water retaining structure more than 3 m (10 ft) high:
 Silo, chimney or other similar structure more than 6 m (20 ft) high:

Estimated project cost

Cost:

Person responsible for co-ordinating health and safety activities

Name: **Deanne Roufousse**

Electrical declaration

With respect to electrical safety for portable electrical equipment at this location, it is declared

The project will use GFCI protection of installed receptacles in accordance with the requirements of the *BC Electrical Code*: **Yes**

Where GFCI protection indicated above is not intended to be provided, the electrical contractor(s) will make application(s) to the applicable electrical authority for variance(s) to the BC Electrical Code requirements for the referenced GFCI protection based on a declaration by the prime contractor that an assured grounding program is implemented at the work site. Where the variance(s) is granted, it is the responsibility of the prime contractor to ensure that the assured grounding program at the site is used in accordance with WorkSafeBC published guidelines and practices set out in *OHS Guideline 19.15(1) Ground fault circuit interrupters and other acceptable means*:

Not applicable. No portable electrical equipment, including temporary lighting, will be used on this site:

NOP Confirmation number: **E757038**

Project site locations

Site Location	Start date	Project city	Duration	Unit	Project site location
1	2017/10/04	Langley	2	Months	4800 Block of 275th Street Langley

Please note that if the information on the NOP significantly changes, the new information must be submitted to WorkSafeBC as soon as possible and posted at the project site.

To send required documents, additional information or changes to the NOP information to WorkSafeBC, along with your NOP confirmation number E757038 and a brief project site description:

Email: prevnop@WorkSafeBC.com
 (if your attachments are over 10 MB, send multiple emails or email us for further instructions)

Fax: 604.276.3247

Mailing address: WorkSafeBC, Prevention Division
 PO Box 5350 Stn Terminal, Vancouver BC V6B 5L5

Questions?

If you have any questions or issues with the NOP form, please contact Prevention Support Services at:

Telephone: 604.276.3100 in the Lower Mainland, or 1.888.621.7233 Toll Free in BC

Email: prevnop@WorkSafeBC.com

From: Andrew Peterson
To: [Travis Bartlett](#); [Scott Spencer](#); [Jason Tonin](#)
Cc: [Paul Albrecht](#); [Ana Velazquez](#); [Desmond Southwell](#); [Ryan Gloag](#)
Subject: Pre-Construction Meeting - Servicing Agreement No. 14-05-0098
Date: Friday, September 22, 2017 2:50:02 PM
Attachments: [image004.png](#)

Hello Travis,

Further to our conversation on the phone, here is an email requesting a pre-construction meeting for works at 275th and 48th (No. 14-05-0098).

I have spoked to Paul Albrecht on the matter and am told we are approved to proceed with the works. As we discussed, we are meeting our team and contractor on-site Wednesday morning. We would like to schedule the pre-construction meeting ASAP in order to facilitate the commencement of construction.

As we understand it, the outstanding items before proceeding with construction are as follows:

1. Pre-construction meeting with ToL
 - o Can you please suggest a time. We are hoping to have this meeting in advance of our on-site meeting on Wednesday.
2. As per Section 7 in the Servicing Agreement "The Owner covenants and agrees not to commence work until the Municipal Engineer provides the Owner with written Permission to construct."
 - o Can you please confirm that this requirement has been formally met.

Please let us know if anything further is required on our end. We look forward to the pre-construction meeting.

Andrew

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



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From: Andrew Peterson
To: [Ana Velazquez](#); [Jennifer Clow](#)
Cc: [LandSpace](#)
Subject: RE: 14-05-0098 275 Multi
Date: Tuesday, October 24, 2017 10:31:05 AM
Attachments: [image005.png](#)
[image007.png](#)
[image008.png](#)
[BG-275Multi-costMar14"17replacement.pdf](#)

Hello Ana,
 Please see attached.
 Thank you,
 Andrew

Andrew Peterson
 Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
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From: Ana Velazquez [mailto:avelazquez@tol.ca]
Sent: Monday, October 23, 2017 3:34 PM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>; Jennifer Clow <Jennifer.Clow@beedie.ca>
Cc: LandSpace <landspace@telus.net>
Subject: 14-05-0098 275 Multi

Hello,

We received the reduced copies of the DP landscape plan for this application. Thank you.

I am in the process of consolidating all the documents for the acceptance of the DP tree information. Can you please email me a copy of the Off site cost estimate to include with the tree management plan?

Because we had submissions for the Tree management Plan from both Landspace and Mike Fadum and Associates I want to make sure that every package contains an accepted

copy of all documents and, the quality of the hard copy on my file is not ideal for this purpose.

Regards

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: LandSpace
To: [Ana Velazquez](#)
Cc: [David Cocking](#)
Subject: Re: 14-05-0098. 275th and 48th Ave - Signed/Sealed Landscape Plans - On the Way!
Date: Wednesday, December 13, 2017 4:56:52 PM
Attachments: [BG-275Multi-onsiteNov29"17cost.pdf](#)

Ana, I thought you might already have received the updated Onsite Cost Estimate ..
 But I was going to include with the signed/sealed drawings ..
 For some reason the photocopier won't bluetooth it (we had some external server issues today perhaps the cause) ..

But just in case I'm sending it attached as well (as a backup)..
 I'll try to copy it again to include with the drawings.

Thanks,
 Al

On Dec 13, 2017, at 3:19 PM, Ana Velazquez <avelazquez@tol.ca> wrote:

Thanks Al,

Happy holidays to you too.

Ana

From: LandSpace [<mailto:landspace@telus.net>]
Sent: Wednesday, December 13, 2017 3:17 PM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: Re: 14-05-0098. 275th and 48th Ave - Signed/Sealed Landscape Plans - On the Way!

Okay Ana, I just received the copies back from the printing company ...
 And I will contact the courier now for delivery to your office!

Have a good holiday!
 Regards
 Al

On Dec 13, 2017, at 3:13 PM, Ana Velazquez <avelazquez@tol.ca> wrote:

Al, please send the plans to my attention.
 I have a meeting this afternoon with Dave and I will make sure to let him know the plans are coming in the event that he decides to send the acceptance letter in my absence.

Thanks

Ana

From: LandSpace [<mailto:landspace@telus.net>]
Sent: Wednesday, December 13, 2017 1:42 PM
To: Ana Velazquez <avelazquez@tol.ca>
Cc: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: Re: 14-05-0098. 275th and 48th Ave

Ana, would you like to send the copies directly to Dave?

Al

On Dec 13, 2017, at 12:31 PM, Ana Velazquez
 <avelazquez@tol.ca> wrote:

Thanks Al.
 I will be away Dec14- Jan 2 inclusive.
 If you require immediate assistance with this application
 please contact Dave Cocking.

Ana

From: LandSpace [<mailto:landspace@telus.net>]
Sent: Wednesday, December 13, 2017 12:05 PM
To: Ana Velazquez <avelazquez@tol.ca>
Cc: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: Re: 14-05-0098. 275th and 48th Ave

Okay Ana,
 With Printing and Courier probably arrive by end of
 tomorrow ..
 Regards,
 Al

On Dec 13, 2017, at 11:53 AM, Ana
 Velazquez <avelazquez@tol.ca> wrote:

Hi Al,

For BP we require 3 copies.

Thanks

Ana

From: LandSpace [<mailto:landspace@telus.net>]
Sent: Wednesday, December 13, 2017 11:52 AM

To: Ana Velazquez <avelazquez@tol.ca>
Cc: Andrew Peterson
<Andrew.Peterson@beedie.ca>
Subject: Re: 14-05-0098. 275th and 48th Ave

Good Morning Ana,

I'll send out for printing .. how many copies would you like?

I can send them directly to your office by courier!

Thanks,
Al

On Dec 13, 2017, at 11:35 AM,
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Hello, Good morning

In the process of writing the BP landscape acceptance letter for this application I noticed that the most recent plans received on December 11, 2017 are not signed or stamped.

Please submit new sign and stamped plans or come by and sign and stamped the copies you submitted earlier this week. In addition, please submit an updated on-site cost estimate.

Thank you.

<image005.png> **Ana Velazquez Martin | Landscape Design Technician**
Green Infrastructure Services | Community Development
Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#) <image006.jpg>

From: [David Cocking](#)
To: [LandSpace](#)
Cc: [Ana Velazquez](#)
Subject: RE: 14-05-0098. 275th and 48th Ave - Signed/Sealed Landscape Plans - On the Way!
Date: Thursday, December 14, 2017 8:44:10 AM

Al,

The cost estimate PDF is attached to your e-mail. I have printed it out and will include it with the drawings/file when they arrive.

I will review the file for what needs to be dealt with in Ana's absence.

Regards,

David Cocking | Manager

Green Infrastructure Services Department, Development Services Section
 Community Development Division, Township of Langley
 20338 – 65 Avenue, Langley, BC V2Y 3J1

T: 604-533-6153
 F: 604-533-6110
 E: dcocking@tol.ca

.... Committed to the creative and innovative design and delivery of green infrastructure and sustainability in new development projects.

From: LandSpace [mailto:landspace@telus.net]
Sent: Wednesday, December 13, 2017 4:57 PM
To: Ana Velazquez <avelazquez@tol.ca>
Cc: David Cocking <dcocking@tol.ca>
Subject: Re: 14-05-0098. 275th and 48th Ave - Signed/Sealed Landscape Plans - On the Way!

Ana, I thought you might already have received the updated Onsite Cost Estimate ..
 But I was going to include with the signed/sealed drawings ..
 For some reason the photocopier won't bluetooth it (we had some external server issues today perhaps the cause) ..

But just in case I'm sending it attached as well (as a backup)..
 I'll try to copy it again to include with the drawings.

Thanks,
 Al

On Dec 13, 2017, at 3:19 PM, Ana Velazquez <avelazquez@tol.ca> wrote:

Thanks Al,

Happy holidays to you too.

Ana

From: LandSpace [<mailto:landspace@telus.net>]
Sent: Wednesday, December 13, 2017 3:17 PM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: Re: 14-05-0098. 275th and 48th Ave - Signed/Sealed Landscape Plans - On the Way!

Okay Ana, I just received the copies back from the printing company ...
And I will contact the courier now for delivery to your office!

Have a good holiday!
Regards
Al

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<image005.png> **Ana Velazquez Martin | Landscape Design Technician**
Green Infrastructure Services | Community Development
Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#) <image006.jpg>

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Subject: RE: 14-05-0098. 275th and 48th Ave - Signed/Sealed Landscape Plans - On the Way!
Date: Wednesday, December 13, 2017 3:19:00 PM

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Green Infrastructure Services | Community Development
Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#) <image006.jpg>

From: [Ana Velazquez](#)
To: ["LandSpace"](#)
Cc: [Andrew Peterson](#)
Subject: RE: 14-05-0098. 275th and 48th Ave
Date: Wednesday, December 13, 2017 11:53:00 AM

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Thanks

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From: LandSpace
To: [Ana Velazquez](#)
Cc: [Andrew Peterson](#)
Subject: Re: 14-05-0098. 275th and 48th Ave
Date: Wednesday, December 13, 2017 11:52:25 AM

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604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#) <image006.jpg>

From: LandSpace
To: [Ana Velazquez](#)
Cc: [Andrew Peterson](#)
Subject: Re: 14-05-0098. 275th and 48th Ave
Date: Wednesday, December 13, 2017 12:04:47 PM

Okay Ana,
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604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#) <image006.jpg>

From: [Paul Albrecht](#)
To: [Ana Velazquez](#)
Subject: RE: 14-05-0098
Date: Tuesday, October 24, 2017 2:42:41 PM
Attachments: [image001.png](#)
[image002.png](#)

No, I believe all services are there, the only work may be related to the driveway, which can be part of the BP process.

From: Ana Velazquez
Sent: Tuesday, October 24, 2017 2:24 PM
To: Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098

Hi Paul

SA for this one?

Cheers

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Mike Fadum
To: [Ana Velazquez](#); ["Andrew Peterson"](#)
Cc: ["Mike Fadum & Associates Ltd \(Rhythm\)"](#)
Subject: RE: 275 and 48 Ave - Tree Plan
Date: Thursday, October 12, 2017 9:57:18 AM
Attachments: [image001.png](#)
[image002.png](#)
[image004.png](#)
[REPLY TO ANA - MARK UP COMMENTS.PDF](#)
[2017 OCT 11 - Gloucester 275 St & 48 Ave Tree Plan T1 - TREE REM AND PRES \(1\).pdf](#)

Thanks for the follow up Ana. Much has happened since your last meeting and reply to our submission. I have been provided with additional information and based on our site review with contractor's and applicant we are able to update with the attached submission. Please find attached our updated plan and a reply to your mark-up where I have added comments to update you. Further, I have added comments in direct response to your queries in green font below.

Regards,

Mike

Mike Fadum and Associates Ltd
Vegetation Consultants
 #105, 8277-129 St
 Surrey, BC, V3W 0A6
 Ph 778-593-0300 Fax 778-593-0302
 Mobile 604-240-0309

From: Ana Velazquez [mailto:avelazquez@tol.ca]
Sent: Tuesday, October 10, 2017 9:20 AM
To: 'Andrew Peterson' <Andrew.Peterson@beedie.ca>; Mike Fadum <mfadum@fadum.ca>
Subject: FW: 275 and 48 Ave - Tree Plan

Good morning,

Just checking on the status of the tree information submission. Please see highlighted items below.

Regards

Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Ana Velazquez

Sent: Thursday, September 28, 2017 2:48 PM
To: 'Mike Fadum' <mfadum@fadum.ca>; 'Andrew Peterson' <Andrew.Peterson@beedie.ca>
Cc: office@fadum.ca
Subject: RE: 275 and 48 Ave - Tree Plan

Hi Mike and Andrew

Thanks for the information.

Having had the opportunity to review the plan and the report together, I have the following comments:

1. At this stage of the process, we have to focus first on determining if any existing tree will have to be removed to accommodate the new piping along the North and West lot lines and into the street. Please provide a plan zooming in that area and provide a tree protection/ tree removal proposal that I can review and share with Travis. The new piping information has been provided. We have attended the site with contractor and have added the impact zone to the plans. All trees within the impact zone will require removal.
2. The area of buffer on private property along the south property line has an RC and a SRW on title.
3. This RC restricts the removal of vegetation without Township consent. I understand that some trees are dead or in decay but some trees are proposed to be removed because they will be in conflict with the future development on the site. This will be addressed as part of the DP application. However, if you recall, on the file review letter that was sent for this project on June 2, 2017. Under the Green Infrastructure comments, item 15, subsection b) landscape screening, the second bullet comment, indicates that a 3m depth landscape screen is required along all lot lines. Along the South lot line, this buffer is required in addition of the existing 10-meter buffer, which provides opportunity for trees retention.
4. There is a tree off site proposed to be removed. The tree is not tagged and it's outside the property line. It also looks like its planted on the parking lot. Is this a typo? The subject tree was previously removed for adjacent site construction and was only a typo as carry over from base survey layer. We have deleted it from this submission.

Please let me know if you have any questions.

Regards

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Mike Fadum [<mailto:mfadum@fadum.ca>]
Sent: Thursday, September 28, 2017 11:18 AM
To: 'Andrew Peterson' <Andrew.Peterson@beedie.ca>; Ana Velazquez <avelazquez@tol.ca>
Cc: office@fadum.ca
Subject: 275 and 48 Ave - Tree Plan

I am resending with full tree report attached.

Regards,

Mike

Mike Fadum and Associates Ltd
Vegetation Consultants
#105, 8277-129 St
Surrey, BC, V3W 0A6
Ph 778-593-0300 Fax 778-593-0302
Mobile 604-240-0309

From: [Ana Velazquez](#)
To: "Mike Fadum"; "Andrew Peterson"
Cc: office@fadum.ca
Subject: RE: 275 and 48 Ave - Tree Plan
Date: Thursday, September 28, 2017 2:47:00 PM
Attachments: [Scanned from a Xerox Multifunction Printer.pdf](#)
[image001.png](#)
[image002.png](#)

Hi Mike and Andrew

Thanks for the information.

Having had the opportunity to review the plan and the report together, I have the following comments:

1. At this stage of the process, we have to focus first on determining if any existing tree will have to be removed to accommodate the new piping along the North and West lot lines and into the street. Please provide a plan zooming in that area and provide a tree protection/ tree removal proposal that I can review and share with Travis.
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Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Mike Fadum [mailto:mfadum@fadum.ca]
Sent: Thursday, September 28, 2017 11:18 AM

To: 'Andrew Peterson' <Andrew.Peterson@beedie.ca>; Ana Velazquez <avelazquez@tol.ca>
Cc: office@fadum.ca
Subject: 275 and 48 Ave - Tree Plan

I am resending with full tree report attached.

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Mobile 604-240-0309

From: Andrew Peterson
To: [Ana Velazquez](mailto:Ana.Velazquez)
Subject: RE: DP100890 - 275th and 48th
Date: Thursday, September 07, 2017 4:35:26 PM
Attachments: [image004.png](#)
[image009.png](#)
[image010.png](#)
[image013.png](#)

Thanks you Ana. I appreciate your timely review here.

Can you please confirm that we are able to proceed with the removal the trees outside of the buffer area.

We will ensure adequate measures are in place to protect the trees in the buffer area.

Thank you,

Andrew Peterson
 Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



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From: Ana Velazquez [mailto:avelazquez@tol.ca]
Sent: Thursday, September 07, 2017 4:31 PM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: RE: DP100890 - 275th and 48th

Hi Andrew,

After consulting with Dave Cocking, it was decided that we will not require Beedie to submit an ISDC for this application.

Please ensure that adequate measures are taken so that the removal on these trees does not affect the trees on the buffer area.

Regards.

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Andrew Peterson [<mailto:Andrew.Peterson@beedie.ca>]
Sent: Thursday, September 07, 2017 3:04 PM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: DP100890 - 275th and 48th

Hello Ana,

Further to our discussion, please find the report prepared by Mike Fadum and Associates attached to this email.

As the report states, the only trees remaining on site, outside of the riparian areas and landscape buffer area, are on the south portion of the property, immediately beside the 10m landscape buffer. This area was previously authorized to be cleared but for whatever reason, the trees outlined in the attached report were missed.

As you are aware, we have are well into the Development Permit Application process and have recently applied for Building Permit on this property. We have an active ESC permit on site and are endeavoring to complete site preparation and grading works before the wet weather hits to avoid any unnecessary disturbance to the soils. At present we have protected the area where the trees remain.

We are seeking permission to remove the trees in the report. We appreciate your review of this request. Please let me know if any additional information is helpful.

Thank you,

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
D604.909.8714 C778.939.7754
3030 Gilmore Diversion, Burnaby, BC V5G 3B4

andrew.peterson@beedie.ca

www.beedie.ca



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From: [Ana Velazquez](#)
To: ["Andrew Peterson"](#)
Cc: [Kathleen Churcher](#)
Subject: RE: DP100890 - 275th and 48th
Date: Friday, September 08, 2017 9:46:00 AM
Attachments: [image001.png](#)
[image005.png](#)
[image008.png](#)
[image010.png](#)

Andrew,

You can proceed to remove the trees outside the buffer area.
 Please ensure that Mike Fadum provides his professional advice to prevent damage to adjacent trees on the buffer area.
 I have copied Kathleen Churcher on this email so she is aware of this situation.

Regards

Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Andrew Peterson [mailto:Andrew.Peterson@beedie.ca]
Sent: Thursday, September 07, 2017 4:36 PM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: RE: DP100890 - 275th and 48th

Thanks you Ana. I appreciate your timely review here.

Can you please confirm that we are able to proceed with the removal the trees outside of the buffer area.

We will ensure adequate measures are in place to protect the trees in the buffer area.

Thank you,

Andrew Peterson
Development Manager

Beedie/

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Subject: RE: DP100890 - 275th and 48th

Hi Andrew,

After consulting with Dave Cocking, it was decided that we will not require Beedie to submit an ISDC for this application.

Please ensure that adequate measures are taken so that the removal on these trees does not affect the trees on the buffer area.

Regards.

Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Andrew Peterson [<mailto:Andrew.Peterson@beedie.ca>]
Sent: Thursday, September 07, 2017 3:04 PM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: DP100890 - 275th and 48th

Hello Ana,

Further to our discussion, please find the report prepared by Mike Fadum and Associates attached to this email.

As the report states, the only trees remaining on site, outside of the riparian areas and landscape buffer area, are on the south portion of the property, immediately beside the 10m landscape buffer.

This area was previously authorized to be cleared but for whatever reason, the trees outlined in the attached report were missed.

As you are aware, we have are well into the Development Permit Application process and have recently applied for Building Permit on this property. We have an active ESC permit on site and are endeavoring to complete site preparation and grading works before the wet weather hits to avoid any unnecessary disturbance to the soils. At present we have protected the area where the trees remain.

We are seeking permission to remove the trees in the report. We appreciate your review of this request. Please let me know if any additional information is helpful.

Thank you,

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349

D604.909.8714 C778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

andrew.peterson@beedie.ca

www.beedie.ca



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From: [Ana Velazquez](#)
To: ["Andrew Peterson"](#)
Subject: RE: DP100890 - 275th and 48th
Date: Thursday, September 07, 2017 4:31:00 PM
Attachments: [image001.png](#)
[image003.png](#)
[image007.png](#)

Hi Andrew,

After consulting with Dave Cocking, it was decided that we will not require Beedie to submit an ISDC for this application.

Please ensure that adequate measures are taken so that the removal on these trees does not affect the trees on the buffer area.

Regards.

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Andrew Peterson [mailto:Andrew.Peterson@beedie.ca]
Sent: Thursday, September 07, 2017 3:04 PM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: DP100890 - 275th and 48th

Hello Ana,

Further to our discussion, please find the report prepared by Mike Fadum and Associates attached to this email.

As the report states, the only trees remaining on site, outside of the riparian areas and landscape buffer area, are on the south portion of the property, immediately beside the 10m landscape buffer. This area was previously authorized to be cleared but for whatever reason, the trees outlined in the attached report were missed.

As you are aware, we have are well into the Development Permit Application process and have recently applied for Building Permit on this property. We have an active ESC permit on site and are endeavoring to complete site preparation and grading works before the wet weather hits to avoid any unnecessary disturbance to the soils. At present we have protected the area where the trees remain.

We are seeking permission to remove the trees in the report. We appreciate your review of this

request. Please let me know if any additional information is helpful.

Thank you,

Andrew Peterson
Development Manager

Beedie/

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From: [Laura Kennelly-Mohr](#)
To: [Ana Velazquez](#)
Subject: RE: Easements on title
Date: Thursday, September 28, 2017 12:01:06 PM
Attachments: [BB184651.pdf](#)
[image001.png](#)
[BB184649.pdf](#)
[image002.png](#)

Hi Ana,

See attached. The two related documents are:

- BB184649 – Covenant. BCP34341 is a non-disturbance area.
- BB184651 – SRW. BCP34342 is a public trail/access road right of way.

It looks like these were registered in as part of Project 14-05-0063 if you want to poke around in Prospero for background information.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning
604.532.7545

From: Ana Velazquez
Sent: Thursday, September 28, 2017 11:41 AM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Subject: Easements on title

Hi Laura,

Here is the project number for that Beedie application we were discussing.

14-05-0098

Thanks for your help ☺

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Melissa Fahey
To: [Andrew Peterson](#); [Desmond Southwell](#); [Ana Velazquez](#); [Roland Dibb](#); [Travis Bartlett](#); [Geordie Smyth\(gsmyth@tybo.ca\)](#); [klyons@tybo.ca](#)
Cc: [Grant Easingwood](#)
Subject: Re: Pre-Construction Meeting for 14-05-0098/5240
Date: Wednesday, September 27, 2017 4:17:16 PM
Attachments: [Clearance Letter 48th Ave.pdf](#)
[COI #59 - Township of Langley - # 17-581 - 48th Sewer Relocate.pdf](#)
[Letter to Residents.docx](#)
[NOP - 4800 Block of 275th Street.pdf](#)
[Residents to Receive Construction Notice.docx](#)
[Subcontractors to be used Offsite by Tybo Contracting.docx](#)
[TOL Business License.pdf](#)

Travis,
 Please see the attached documents as requested below.
 The photos for the signage will be submitted as soon as possible.
 There is no tree protection fencing as of yet.
 See you tomorrow!

Regards,

Melissa Fahey, MBA, P. Eng., P.E.
 Senior Project Engineer

David Nairne + Associates Ltd.
 Suite 250
 171 W Esplanade
 North Vancouver, BC V7M 3J9

T: 604-982-3352 (direct)
 T: 604-984-3503 (front desk)
 C: 604-290-3764
 F: 604-984-0627
 E: mfahey@davidnairne.com

>>> Travis Bartlett 9/25/2017 11:30 AM >>>

Pre-Construction Meeting: Township of Langley Project No. 14-05-0098/ David Nairne + Associates Ltd's Project No. 5240

-
 It is mandatory that both the prime contractor (*Site Superintendent/Project Manager*) and the consultant (*Owner's Engineer and Primary Inspector*) attend the pre-construction meeting. *If the Owner's Engineer does not attend the pre-construction meeting, the meeting will not take place.* The contractor and consultant are also required to review the Bylaw, "Guidelines to Contractor and Consultant", Pavement Cut Policy and the "Materials Testing Requirements" documents which I have attached prior to the meeting. I will be happy to answer any questions with regard to the guidelines and policies at the time of the pre-construction meeting.

*****Construction shall not commence until the pre-construction meeting has concluded and there is an approved Highways Use Permit in place *****

-

David Nairne + Associates Ltd shall submit the following items to tbartlett@tol.ca by 17:00 Wednesday September 27, 2017

- <!--[if !supportLists]-->1. <!--[endif]-->Township of Langley Business Licence and Insurance for the Contractor performing the 'Off-Site' works
- <!--[if !supportLists]-->2. <!--[endif]-->List of sub-contractors performing 'Off-Site' works.
- <!--[if !supportLists]-->3. <!--[endif]-->Submit Worksafe BC Clearance Letter and Notice of Project.
- <!--[if !supportLists]-->4. <!--[endif]-->A copy of the Notice to residents / businesses that will be sent out a minimum of 48 hours prior to construction commencing. Addresses of delivery locations
- <!--[if !supportLists]-->5. <!--[endif]-->Photo of Noise Construction signage
- <!--[if !supportLists]-->6. <!--[endif]-->Photo's of Tree Protection Fencing if required

From: Andrew Peterson
To: [Ana Velazquez](mailto:Ana.Velazquez)
Subject: RE: Project 14-08-0043 - 275th and 48th Pipe Relocation
Date: Thursday, October 19, 2017 3:14:05 PM
Attachments: [image004.png](#)
[image011.png](#)
[image001.png](#)
[image006.png](#)
[image009.png](#)
[BDG-275Multi-bpOct20"17.pdf](#)

Revised plan attached.

Andrew Peterson
 Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



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From: Ana Velazquez [mailto:avelazquez@tol.ca]
Sent: Thursday, October 19, 2017 8:26 AM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: RE: Project 14-08-0043 - 275th and 48th Pipe Relocation

Hi Andrew,

I was away yesterday.

I do not see any new items on my inbox. Documents could still be in the process of being logged on to our system. In which case I should be getting them some time this morning.

If you have not been around yet to submit new documents. For Rimex please submit: 2 (two) full size copies and 2 (two) reduced 11x17 copies of the revised landscape plan.

Please let me know if you have any more questions.

Cheers

Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Andrew Peterson [<mailto:Andrew.Peterson@beedie.ca>]
Sent: Wednesday, October 18, 2017 9:55 AM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: RE: Project 14-08-0043 - 275th and 48th Pipe Relocation

Hello Ana,
 I left you a voicemail to this effect as well. If you can please let me know how many copies of the updated Rimex drawing you would like, as well as how many copies of the letter and tree plan from Mike Fadum, I will personally drop them off today.
 Thank you

Andrew Peterson
 Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
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From: Ana Velazquez [<mailto:avelazquez@tol.ca>]
Sent: Tuesday, October 17, 2017 11:50 AM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: RE: Project 14-08-0043 - 275th and 48th Pipe Relocation

Andrew,

I have reviewed the letter provided by Al Tanzer and the plan provided by Mike Fadum and we are ok with you commencing the removal of the trees on the greenway to accommodate the new services.

Please follow up with hard copies of these documents at your earliest convenience.

Thank you

Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Andrew Peterson [<mailto:Andrew.Peterson@beedie.ca>]
Sent: Tuesday, October 17, 2017 10:04 AM
To: Ana Velazquez <avelazquez@tol.ca>; LandSpace <landspace@telus.net>
Subject: Project 14-08-0043 - 275th and 48th Pipe Relocation

Good morning Ana,

Further to our discussion yesterday, the attached document confirms that LandSpace Design Inc. has been engaged to monitor the construction and provide recommendations on replacement trees as required.

Please confirm that this letter is satisfactory.

Thank you,

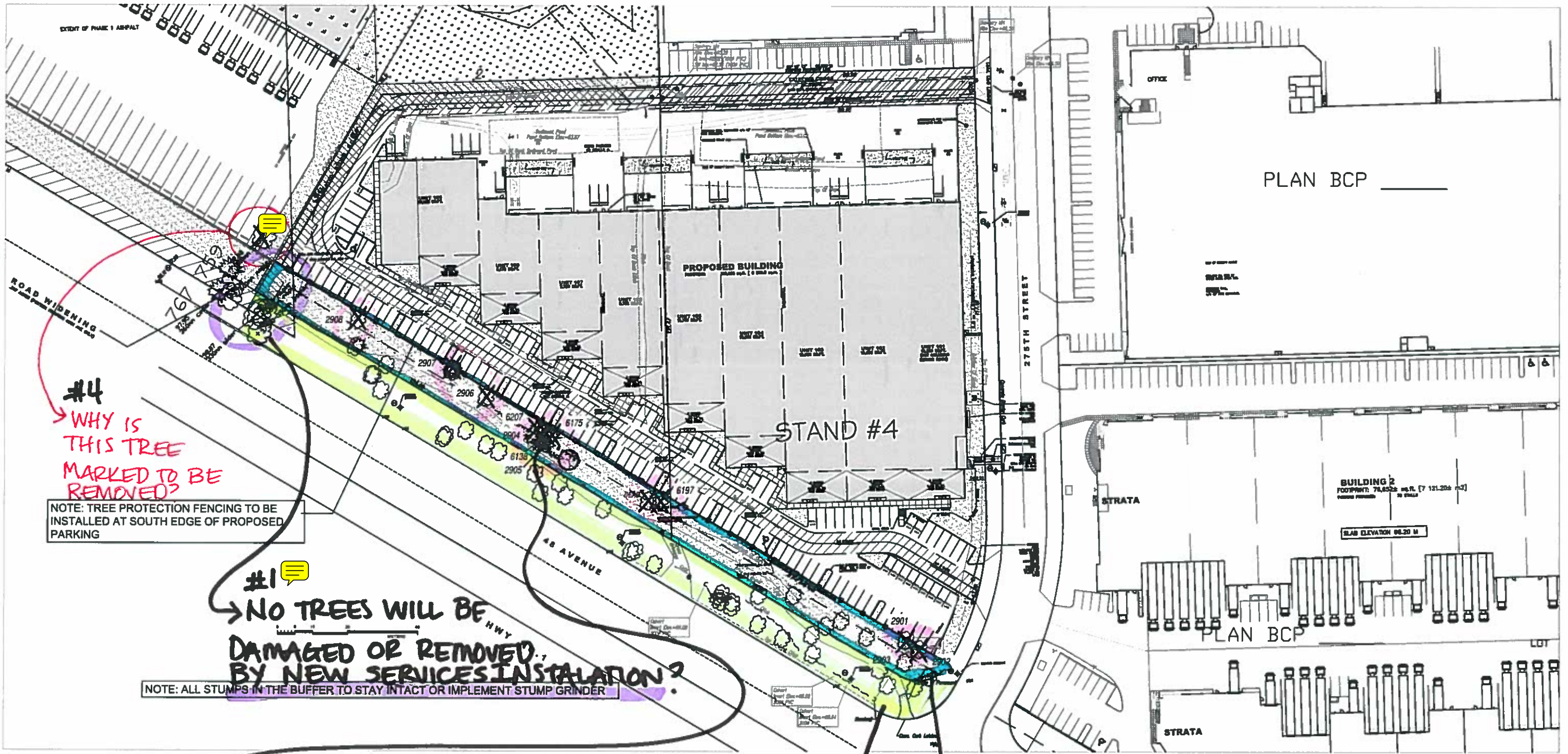
Andrew Peterson
 Development Manager

Beedie/

P604.435.3321 F604.432.7349
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#4
WHY IS THIS TREE MARKED TO BE REMOVED?

NOTE: TREE PROTECTION FENCING TO BE INSTALLED AT SOUTH EDGE OF PROPOSED PARKING

#1
NO TREES WILL BE DAMAGED OR REMOVED BY NEW SERVICES INSTALLATION?
NOTE: ALL STUMPS IN THE BUFFER TO STAY INTACT OR IMPLEMENT STUMP GRINDER

NOTE: ALL TREES REMAINED IN THE LANDSCAPE BUFFER SHOULD BE REASSESSED IN CONJUNCTION WITH FINAL CONSTRUCTION, GRADE AND EXCAVATION PLANS.

LEGEND

X TREES TO BE REMOVED

REMOVAL ON PROPERTY WITH RC & SRW ON TITLE MAY BE RESTRICTED. ADDITIONAL #3 LANDSCAPE SCREEN FOR NEW DEVELOPMENT WAS REQUIRED ON REVIEW LETTER.

RC & SRW ON TITLE #2

TOWNSHIP PROPERTY

STAMP	NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

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PROJECT TITLE
Gloucester Industrial Estates
East of 272 Street and
North of 48 Ave.
LANGLEY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND
PRESERVATION PLAN
CLIENT

DRAWN MK
SCALE AS SHOWN
DATE SEPTEMBER 5, 2017

T-1
SHEET 1 OF 2

Residents to Receive Construction Notice

4848 275th Street

4916 275th Street

4954 275th Street

4937 275th Street

4978 275th Street

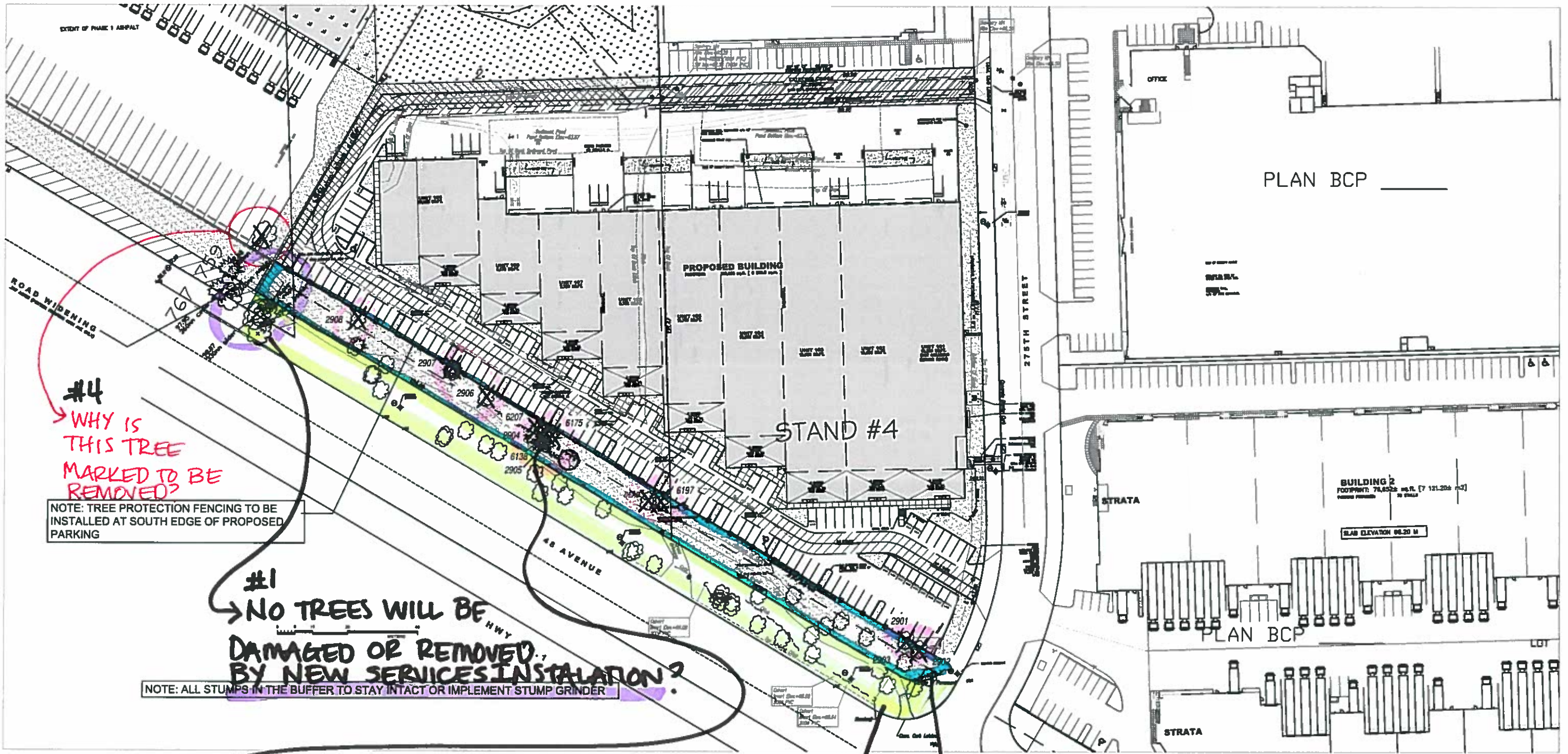
5011 275th Street

5075 275th Street

2 – 27570 50th Ave

27533 50th Ave

27575 50th Ave



#4
 WHY IS THIS TREE MARKED TO BE REMOVED?

NOTE: TREE PROTECTION FENCING TO BE INSTALLED AT SOUTH EDGE OF PROPOSED PARKING

#1
 NO TREES WILL BE DAMAGED OR REMOVED BY NEW SERVICES INSTALLATION?
 NOTE: ALL STUMPS IN THE BUFFER TO STAY INTACT OR IMPLEMENT STUMP GRINDER

NOTE: ALL TREES REMAINED IN THE LANDSCAPE BUFFER SHOULD BE REASSESSED IN CONJUNCTION WITH FINAL CONSTRUCTION, GRADE AND EXCAVATION PLANS.

LEGEND

X TREES TO BE REMOVED

REMOVAL ON PROPERTY WITH RC & SRW ON TITLE MAY BE RESTRICTED. ADDITIONAL #3 LANDSCAPE SCREEN FOR NEW DEVELOPMENT WAS REQUIRED ON REVIEW LETTER.

RC & SRW ON TITLE #2

TOWNSHIP PROPERTY

STAMP	NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
 VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

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PROJECT TITLE
 Gloucester Industrial Estates
 East of 272 Street and
 North of 48 Ave.
 LANGLEY, B.C.

SHEET TITLE
 T1 - TREE REMOVAL AND
 PRESERVATION PLAN
 CLIENT

DRAWN MK
 SCALE AS SHOWN
 DATE SEPTEMBER 5, 2017

T-1
 SHEET 1 OF 2



Est. 1873

BUSINESS LICENCE

THIS CERTIFIES THAT:

BUSINESS & MAILING ADDRESS:
TYBO CONTRACTING LTD
1 20010 100A AVE
LANGLEY BC V1M 3G4

ACCOUNT NO: **1012521**
LICENCE NO: **47768**

BUSINESS LOCATION:
1 20010 100A AVE

ISSUED DATE: **May 23, 2017**
EXPIRES ON: **Jun 01, 2018**

LICENCEE:
TYBO CONTRACTING LTD
1 20010 100A AVE
LANGLEY BC V1M 3G4

is hereby licensed to carry on in a lawful manner the business of:

EXCAVATION & CIVIL CONTRACTOR

For information on Business Licencing in the Township of Langley
Please call the Permit, Licence & Inspection Services Department
Phone: 604.533.6018 Fax: 604.533.6182

This Licence must be displayed in a prominent location in the place of business.
This licence is non-transferable and must be renewed annually.

TYBO CONTRACTING LTD
1 20010 100A AVE
LANGLEY BC V1M 3G4



From: [Ana Velazquez](#)
To: [Joel Nagtegaal](#)
Subject: 14-05-0098 - 275th and 48th
Date: Monday, October 23, 2017 2:41:00 PM
Attachments: [image004.png](#)
[275 Street and 48 Avenue Gloucester Industrial Estates- Tree Report.pdf](#)
[image001.png](#)
[image007.png](#)

Hi Joel,

Please see below

Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

15 significant trees were identified on the site, No trees are proposed to be retained. As part of the Development Permit application, the applicant proposes to provide 163 replacement trees, as required by the Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection). Final tree replacement plans are subject to the final acceptance of the Township.

From: Andrew Peterson [mailto:Andrew.Peterson@beedie.ca]
Sent: Thursday, September 07, 2017 3:04 PM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: DP100890 - 275th and 48th

Hello Ana,

Further to our discussion, please find the report prepared by Mike Fadum and Associates attached to this email.

As the report states, the only trees remaining on site, outside of the riparian areas and landscape buffer area, are on the south portion of the property, immediately beside the 10m landscape buffer. This area was previously authorized to be cleared but for whatever reason, the trees outlined in the attached report were missed.

As you are aware, we have are well into the Development Permit Application process and have recently applied for Building Permit on this property. We have an active ESC permit on site and are endeavoring to complete site preparation and grading works before the wet weather hits to avoid any unnecessary disturbance to the soils. At present we have protected the area where the trees remain.

We are seeking permission to remove the trees in the report. We appreciate your review of this request. Please let me know if any additional information is helpful.

Thank you,

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349

D604.909.8714 C778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

andrew.peterson@beedie.ca

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From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#); [Paul Albrecht](#)
Subject: 14-05-0098 - Beedie
Start: Tuesday, October 10, 2017 11:30:00 AM
End: Tuesday, October 10, 2017 12:00:00 PM
Location: Room Campbell River (12)

Hi Ana and Paul,

The purpose of this meeting is to confirm the status of the subject DP application. Beedie has resubmitted DP drawings so I just wanted to make sure we are all on the same page in terms of planning, servicing and GIS requirements.

Please let me know if the day / time does not work for you.

Thanks!

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#); [Paul Albrecht](#)
Subject: 14-05-0098 - Beedie
Start: Tuesday, October 10, 2017 11:30:00 AM
End: Tuesday, October 10, 2017 12:00:00 PM
Location: Room Campbell River (12)

Hi Ana and Paul,

The purpose of this meeting is to confirm the status of the subject DP application. Beedie has resubmitted DP drawings so I just wanted to make sure we are all on the same page in terms of planning, servicing and GIS requirements.

Please let me know if the day / time does not work for you.

Thanks!

From: [Joel Nagtegaal](#)
To: [Paul Albrecht](#); [Ana Velazquez](#)
Subject: 14-05-0098 | 4800 Block of 275 Street
Start: Wednesday, May 17, 2017 2:30:00 PM
End: Wednesday, May 17, 2017 3:00:00 PM
Location: Room Anderson Creek (10)

Hi Ana and Paul,

Even though there is no ISDC required for this application, I thought it would be good to have a quick discussion on the subject application.

Let me know if the day / time does not work for you.

Thanks.

From: [Joel Nagtegaal](#)
To: [Paul Albrecht](#); [Ana Velazquez](#); [Rod Shead](#)
Subject: 14-05-0098 | 4800 Block of 275 Street
Start: Wednesday, May 17, 2017 2:30:00 PM
End: Wednesday, May 17, 2017 3:00:00 PM
Location: Room Anderson Creek (10)

Hi Ana, Rod and Paul,

Even though there is no ISDC required for this application, I thought it would be good to have a quick discussion on the subject application.

Rod, I have invited you as there appear to be streamside requirements for this one as well.

Let me know if the day / time does not work for you.

Thanks.

From: [Joel Nagtegaal](#)
To: [Paul Albrecht](#)
Subject: 14-05-0098 | Beedie
Date: Wednesday, July 12, 2017 10:12:00 AM
Attachments: [image001.png](#)
[image002.png](#)

Hi Paul,

Are you able to draft the Dev. Eng. requirements / memo for the subject DP application in the next week or so? I had sent them a file review letter indicating that Development Engineering comments would be sent under separate cover. This is the application in which they are proposing to relocate the Storm SRW.

Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Paul Albrecht](#)
Subject: 14-05-0098 | File Review Letter
Date: Tuesday, May 30, 2017 8:32:00 AM

Good morning Paul,
I am finishing up the file review letter for the subject development permit in Gloucester. I know this one is a little complicated with the storm SRW relocation, but if possible I would like to send out the letter this week. Is it possible to have engineering comments this week?
Thanks!

Joel Nagtegaal | Planner

Community Development | Township of Langley
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

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Township of
Langley



Est. 1873

DEVELOPMENT PERMIT REVIEW FORM

TO:	Joel Nagtegaal Development Planning	DATE:	OCTOBER 11, 2017
FROM:	Paul Albrecht Development Engineering	FILE:	14-05-0098 DE102017

4800 Block of 275 Street (Gloucester Industrial Park)

Prior to the Applicant submitting an application for a building permit, the servicing requirements for the site are noted below.

SPECIFIC SERVICING REQUIREMENTS: - the subject site has all required Municipal services; however, the applicant has requested to relocate the storm sewer main bisecting the property. Subsequently the applicant has entered into a servicing agreement with the Township for the storm sewer location. The southern driveway with the existing driveway on the opposite side of the subject site is required. This driveway will be limited to passenger vehicles only. Delivery and transport trailers will be required to use the northern driveway for ingress/egress.

ROAD DEDICATION(S): - no dedications are required at this time.

SPECIFIC ACCESS REQUIREMENTS:

- Restrict site access; the south driveway is to be restricted to passenger vehicles only, all delivery or transport trailers to use the north driveway for ingress/egress.
- South driveway is to align with the existing driveway on the opposite side of 275 Street to eliminate conflicting turning movements.
- Fire truck turning radii must be provided (12 metre centre line) for the proposed site, this will be confirmed at time of building permit.

REQUIREMENT FOR A SERVICING AGREEMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT:

() Yes (X) No, none expected.

OTHER REQUIREMENTS PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- Onsite Stormwater Management and Lot grading design plan will be required for submission and approval at time of the building permit application.

- Registration of a restrictive covenant, pursuant to Section 219 of the Land Title Act regarding on-site Biofiltration & Infiltration systems may be required as part of the building permit process.
- Protection of the existing planted buffer and trail along 48 Avenue is a requirement of the site development.
- A water study/report may be required in order to confirm adequate fire protection.
- The addition or relocation of municipal hydrants may be required. Siting of the hydrants must be considered by the site designer and in accordance with the SDSB 4861;
- Existing overhead Hydro, Telephone and Cablevision distribution systems are not permitted to remain. All extensions, replacements and relocations shall be by underground.
- Delivery truck geometry, parking and lay by location must be presented on the site plan. Delivery vehicles for this site will be required to access the subject property from the northern most driveway along 275 Street.
- Garbage / dumpster for the development must be sited and positioned onsite. Placement of dumpsters in the Township road dedication (including temporary conditions) is not acceptable.

From: [Shirley Johnson](#)
To: [Joel Nagtegaal](#)
Subject: 14-05-0098 Referral Letters
Date: Friday, April 28, 2017 8:39:40 AM

Hi Joel,

Would you mind finishing up the second page of the MOTI referral for 14-05-0098? Let me know when it's completed and I will print it.

Thanks,

Shirley Johnson | Support Clerk
Community Development
604.533.6152

From: [Ana Velazquez](#)
To: [Joel Nagtegaal](#)
Subject: 14-05-0098
Date: Thursday, September 07, 2017 4:19:24 PM
Attachments: [image001.png](#)
[image002.png](#)

Hi Joel

I got a call from Andrew Petterson from Beedie.

Although the LA had stated that, there were no significant trees on site, a recent arborist report outlines the existence of 14 trees along the south lot line.

Because this lot was granted a clearing permit under a previous Rezoning application and because the trees are not in optimal condition to be retained, Dave decided we will not ask them to provide an ISDC.

I would like to edit the preliminary file review comments and noticed that you have the file open. Would you please close it so I can modify it?

Thanks

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Ana Velazquez](#)
To: [Joel Nagtegaal](#)
Subject: 14-05-0098
Date: Thursday, May 11, 2017 11:05:14 AM
Attachments: [image001.png](#)

Hi Joel,

Please find preliminary drawing review comments for this one [here](#).

Cheers

Ana Velazquez Martin | Landscape Design Technician

Green Infrastructure Services | Township of Langley
20338 – 65 Avenue, Langley, BC V2Y 3J1
Telephone: 604-533-6090 ext. 3471

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Ana Velazquez](#)
To: [Joel Nagtegaal](#)
Subject: 14-05-0098
Date: Monday, September 25, 2017 11:45:47 AM
Attachments: [image001.png](#)
[image002.png](#)

Hi Joel,

I got a pre construction-meeting request for this application.
Are they able to start construction when the DP application is not finalized or accepted?

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

**Tree Evaluation Report for:
275 Street and 48 Avenue
Gloucester Industrial Estates
The Township of Langley, BC**

**Prepared for:
Beedie Development Group**

**Prepared by:
Mike Fadum and Associates Ltd.
#105, 8277-129 Street
Surrey, BC
Phone 778-593-0300
Fax 778-593-0302**



Date: September 6, 2017

1.0 INTRODUCTION

We attended the site during August and September of 2017 for the purpose of inventorying the tree resource and determining the quantity and type of trees that require removal for the development application. The site is located at the northwest corner of 275 Street and 48 Avenue in the Township of Langley, BC. The application proposes the construction of a new industrial type warehouse building along with multiple parking stalls and truck access. The site consists of one approximate 6.0 acre (0.40 ha) lot that is flanked by a 10m wide landscape buffer with pedestrian walking trail to the south. We inventoried trees directly north of the landscape buffer that was filed staked by others.



Figure 1. Aerial photograph of the subject site (GeoSource 2016).



Date: September 6, 2017

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Tree Evaluation: 275 Street and 48 Avenue, Gloucester Industrial Estates, The Township of Langley, BC

2.0 FINDINGS

The area was field staked by others and we determined the quantity and type of trees to be removed based on these field makings. The tree resource includes a strip of native broadleaf and coniferous species remnant from past clearing activities. They are located directly north of the 10m landscape buffer which is dominated by a few mature black cottonwoods (*Populus balsamifera ssp. trichocarpa*), western redcedars (*Thuja plicata*) and bigleaf maples (*Acer macrophyllum*). Tree health and structure are typically moderate and many trees display signs of drought stress. Photographs are provided in Appendix A.

Table 1 provides individual tree data. Specific information includes tree type, diameter at breast height (DBH), structure and health rating (poor (P), moderate (M), good (G) or a combination of two), live crown ratio (LCR) and structural observations. Health refers to the tree's overall health and vigor, while structure is a qualitative rating of a tree's shape and structure when compared to ideal trees of the same species and age class.

3.0 TREE PROTECTION

Tree protection fencing is to be installed as per municipal standards prior to construction with no excavation, grade alterations or materials storage within the tree protection zone. The consulting Arborist should be contacted prior to and be onsite for any construction within the recommended root protection zone. Grade alterations and other construction works required to provide drainage are not to occur within the root protection zone. Failure to comply with these recommendations may result in delays, stop work orders or fines imposed by the municipality.

4.0 TREE PRESERVATION SUMMARY

It is expected that all consultants and contractors ensure there is no conflict with retained trees and their root zones (Tree Protection Zones - TPZ). No ground disturbance or grade alterations are permitted within the TPZ's unless preapproved by the project arborist. Mechanical injuries caused to trees below or above ground cannot be repaired. All parties must be aware that long-term success in tree preservation efforts depends greatly on minimizing the impact caused during and post construction. Best efforts must be made to ensure that soils remain undisturbed within the tree protection zones. Ongoing monitoring and implementation of mitigating works, such as watering, mulching, etc., is essential for success.



Date: September 6, 2017

Page 3 of 4

*Tree Evaluation: 275 Street and 48 Avenue, Gloucester Industrial Estates, The
Township of Langley, BC*

5.0 EDGE TREE ASSESSMENT

We recommend all edge trees undergo a Tree Risk Assessment to determine if they are at an increased risk of partial or complete failure when the surrounding trees are removed and the exposure to wind is increased. Removing trees to the edge of the buffer may impact adjacent ones. Trees considered to be of poor structure and / or condition, of species types prone to failure within striking distance of future targets of value should be removed or undergo crown modification treatments. We recommend that any trees to be removed near retained trees are cut to grade and their stumps left intact in order to prevent disturbance to the stability and negative impacts on the health of the adjacent trees. Crown modification treatments may include large limb removal and or retopping.

6.0 LIMITATIONS

This Arboricultural field review report is based on site observations on the dates noted. Effort has been made to ensure that the opinions expressed are a reasonable and accurate representation of the condition of the trees reviewed. All trees or groups of trees have the potential to fail. No guarantees are offered or implied by Mike Fadum and Associates Ltd. or its employees that the trees are safe given all conditions. The inspection is limited to visual examination of accessible items without dissection, excavation, probing, coring or climbing. Trees can be managed, but they cannot be controlled. To live, work or play near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

The findings and opinions expressed in this report are representative of the conditions found on the day of the review only. Any trees retained should be reviewed on a regular basis. The root crowns, and overall structure, of all of the trees to be retained must be reviewed immediately following land clearing, grade disturbance, significant weather events and prior to site usage changes.

Please contact the undersigned if you have any questions or concerns regarding this report.



Date: September 6, 2017

Page 4 of 4

*Tree Evaluation: 275 Street and 48 Avenue, Gloucester Industrial Estates, The
Township of Langley, BC*

Mike Fadum and Associates Ltd.



Peter Mennel, BSc
ISA Certified Arborist #PN-5611A
TRAQ

Mike Fadum
ISA Certified Arborist
TRAQ



Date: September 6, 2017

Page 1 of 3

Appendix A: 275 Street and 48 Avenue, Gloucester Industrial estates, The Township of Langley, BC



Figure 1. Southeast corner with bigleaf maple to be removed in foreground.



Date: September 6, 2017

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Appendix A: 275 Street and 48 Avenue, Gloucester Industrial estates, The Township of Langley, BC



Figure 2. Typical black cottonwoods in area to be removed (foreground) and landscape buffer (background).



Date: September 6, 2017

Page 3 of 3

Appendix A: 275 Street and 48 Avenue, Gloucester Industrial estates, The Township of Langley, BC



Figure 3. Declining cedar and mature black cottonwood.



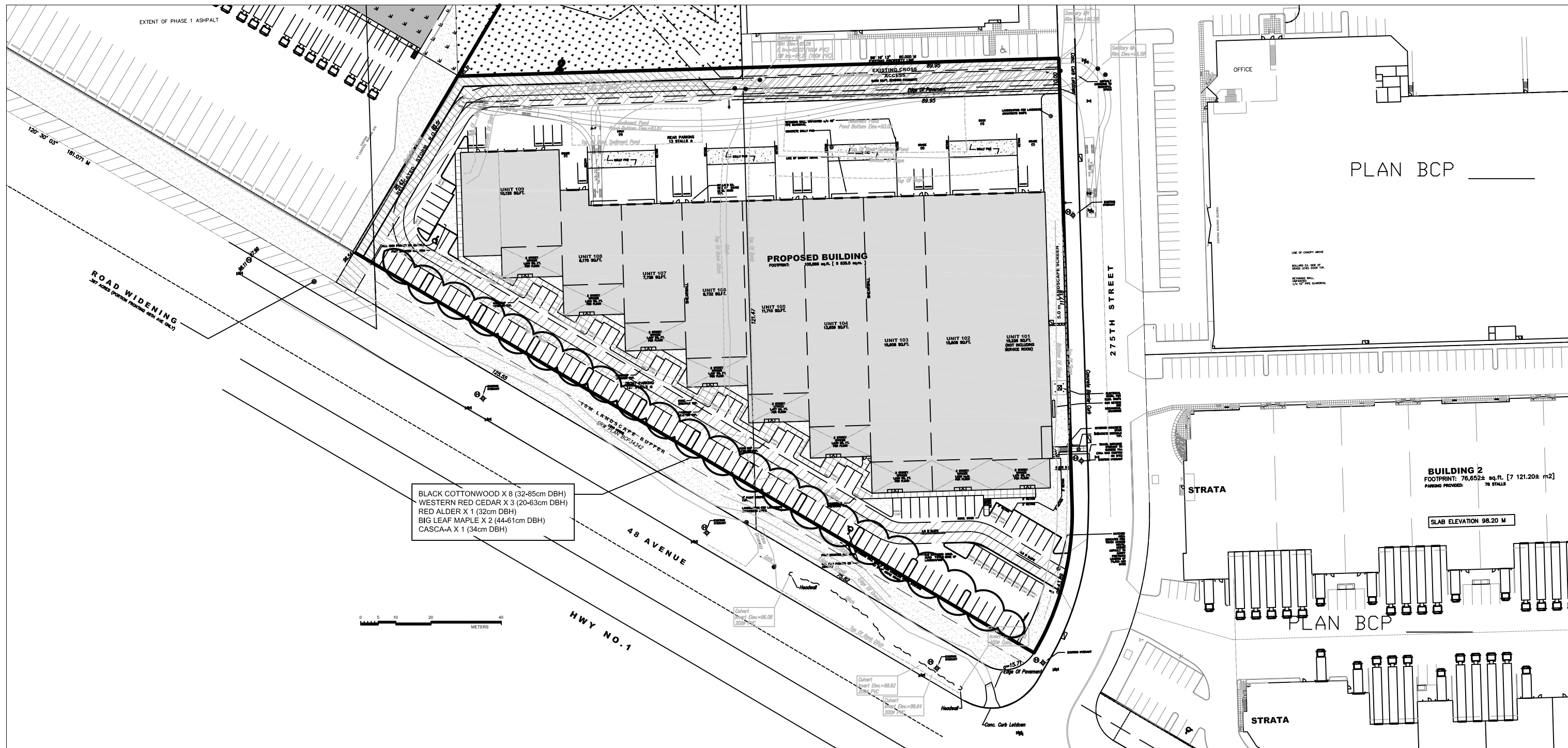
Date: September 6, 2017

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Table 1 - 275 Street and 48 Avenue, Gloucester Industrial Estates, The Township of Langley, BC

Tree #	Type	DBH (cm)	Structure	Health	LCR (%)	Observations	Recommendations
01	Bigleaf Maple (<i>Acer macrophyllum</i>)	61	MG	M	NA	Dieback throughout the canopy. Early leaf drop – tree appears drought stressed.	Remove.
02	Cascara (<i>Rhamnus purshiana</i>)	13/8/ 13	M	M	NA	Leggy form. One dead main leader.	Remove.
03	Western Redcedar (<i>Thuja plicata</i>)	20	G	G	100	No observed defects.	Remove.
04	Western Redcedar (<i>Thuja plicata</i>)	58/ 33	M	MG	100	Two stems fused at the base. Asymmetrical canopy weighted to the north.	Remove.
05	Bigleaf Maple (<i>Acer macrophyllum</i>)	44	M	M	NA	Declining upper canopy – likely drought stress.	Remove.
06	Western Redcedar (<i>Thuja plicata</i>)	68	M	MP	20	Top 80% is dead.	Remove.
There are 8 black cottonwoods and one red alder in addition to the trees identified above with diameters .30.							







PLAN BCP

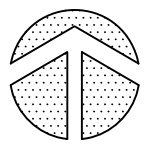
BUILDING 2
FOOTPRINT: 76,652± sq.ft. [7 121.20± m²]
PARKING PROVIDED: 78 STALLS

PLAN BCP

LEGEND

-  TREE TO BE RETAINED
-  TREE TO BE REMOVED

 MINIMUM NO DISTURBANCE ZONE



STAMP	NO.	DATE	BY	REVISION

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

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PROJECT TITLE
Gloucester Industrial Estates
East of 272 Street and
North of 48 Ave.
LANGLEY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT

DRAWN MK
SCALE AS SHOWN
DATE SEPTEMBER 5, 2017

T-1
SHEET 1 OF 2

Township of
Langley



Est. 1873

REPORT TO MAYOR AND COUNCIL

PRESENTED: NOVEMBER 6, 2017 – PUBLIC HEARING
FROM: COMMUNITY DEVELOPMENT DIVISION
SUBJECT: DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)

REPORT: 17-114
FILE: 14-05-0098

PROPOSAL:

Development Permit application to facilitate the construction of a 9,835 m² (105,868 ft²) industrial building including accessory office space located at 4825 - 275 Street in Gloucester.

RECOMMENDATION SUMMARY:

That Council authorize issuance of Development Permit No. 100890 subject to nine (9) conditions, plus six (6) conditions to be applied at the Building Permit stage.

RATIONALE:

The proposal complies with the Gloucester Industrial Park Community Plan (and its Development Permit Guidelines) and with the site's General Industrial M-2A zoning.



DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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RECOMMENDATION:

That Council authorize issuance of Development Permit No. 100890 to 161884 Canada Inc. for property located at 4825 - 275 Street, subject to the following conditions:

- a. Building plans being in compliance with Schedules “A” through “C”
- b. Landscape plans being in substantial compliance with Schedule “E” and in compliance with the Township’s Street Tree and Boulevard Planting Policy to the acceptance of the Township;
- c. All signage being in compliance with Schedules “C” and “D” and the Gloucester Development Permit Guidelines and the Township’s Sign Bylaw;
- d. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
- e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
- f. All outdoor storage areas being covered by a dust free surface;
- g. All refuse areas to be located in an enclosure and screened to the acceptance of the Township;
- h. All chain link fences being black vinyl with black posts and rails; and
- i. Section 702A.5(a) – Siting of Buildings and Structures of the Township of Langley Zoning Bylaw 1987 No. 2500 being varied to reduce the minimum setback for a principal building from a front lot line in General Industrial Zone M-2A from 10 m (32.8 ft) to 5 m (16.4 ft).

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

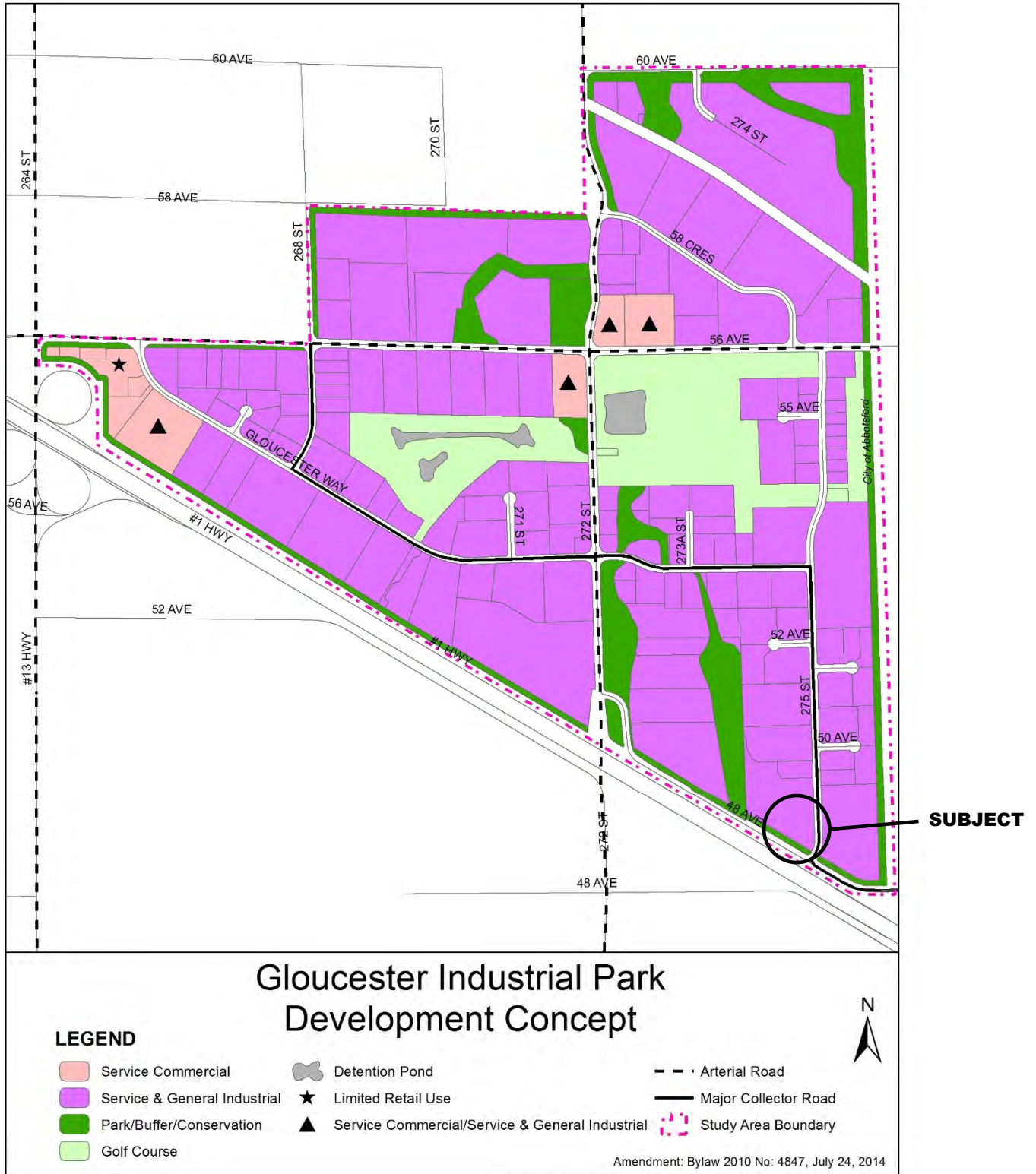
- a. Payment of supplemental Development Permit application fees and Building Permit administration fees.
- b. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw to the acceptance of the Township;
- c. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township’s Exterior Lighting Impact Policy to the acceptance of the Township;
- d. Submission of an Erosion and Sediment Control Plan or exemption in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- e. On-site landscaping being secured by a letter of credit at the Building Permit stage;
- f. Modification of Statutory Right of Way BB184653 (Plan BCP 34343).

EXECUTIVE SUMMARY:

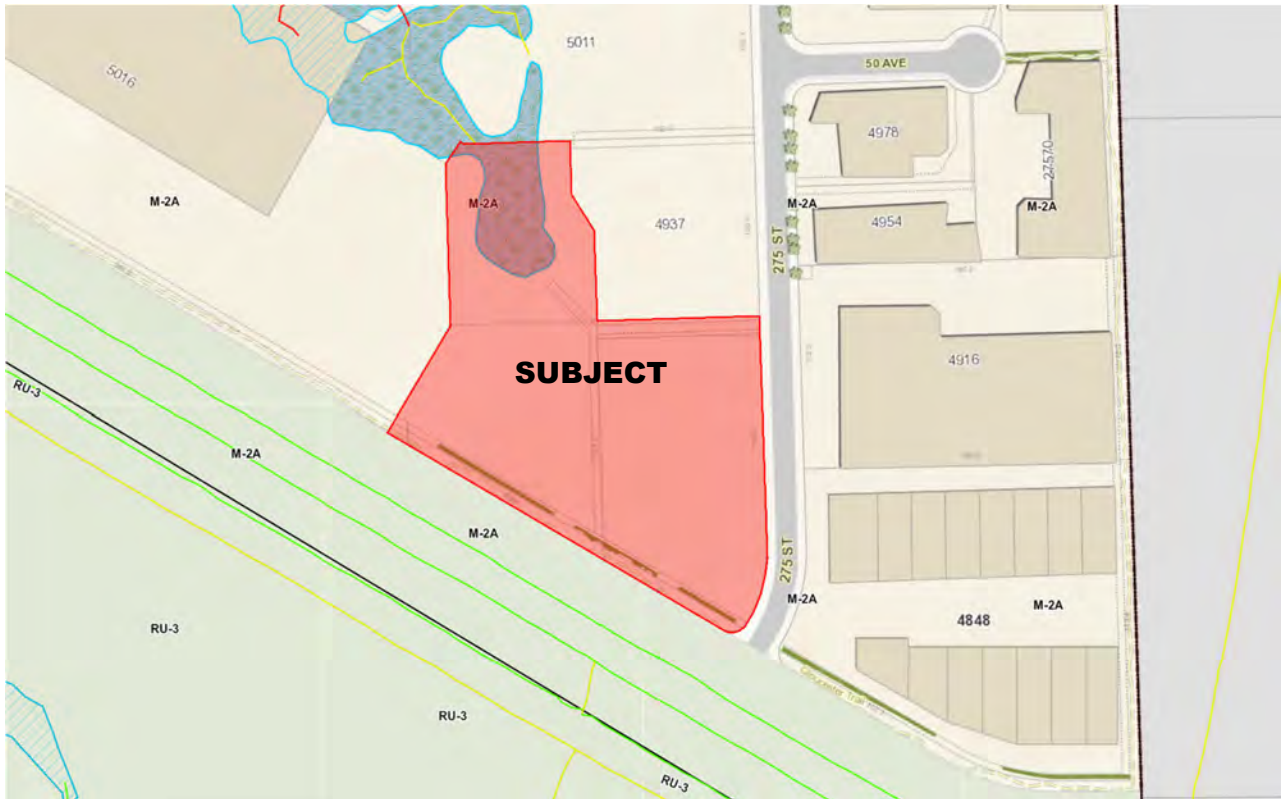
Beedie Development Group has applied for a Development Permit to construct a 9,835 m² (105,868 ft²) industrial building including accessory office space located at 4825 - 275 Street in the Gloucester industrial area. Staff are supportive of the development proposal as it conforms to the Development Permit Guidelines of the Gloucester Industrial Park Community Plan. Issuance of Development Permit No. 100890 is recommended subject to nine (9) conditions, plus six (6) conditions to be applied at the Building Permit stage.

PURPOSE:

The purpose of this report is to provide information and recommendations concerning proposed Development Permit No. 100890 for property located at 4825 - 275 Street in the Gloucester industrial area.



DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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ZONING BYLAW NO. 2500

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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RENDERINGS - SUBMITTED BY APPLICANT



SITE PLAN – SUBMITTED BY APPLICANT

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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REFERENCE:

Owner:	161884 Canada Inc. 3030 Gilmore Diversion Burnaby, BC V5G 3B4
Agent:	Beedie Development Group 3030 Gilmore Diversion Burnaby, BC V5G 3B4
Legal Description:	Lot 1 Section 5 Township 14 New Westminster District Plan EPP70774
Location:	4825 - 275 Street
Area:	3.16 ha (7.8 ac)
Gloucester Industrial Park Plan:	Service and General Industrial
Existing Zoning:	General Industrial Zone M-2A

BACKGROUND/HISTORY:

The subject site is designated Service and General Industrial in the Gloucester Industrial Park Community Plan. The subject site was rezoned to General Industrial Zone M-2A as part of two rezoning applications in 2007 (RZ100240 and RZ100246). The applicant created the subject site by consolidating two parcels.

The applicant has applied for a Development Permit to construct a 9,835 m² (105,868 ft²) multi tenant industrial building with accessory office space.

As the subject site is designated a mandatory Development Permit area in the Gloucester Industrial Park Community Plan, Council is provided the opportunity to review the form, character and siting of the proposed development. Issuance of a Development Permit is required prior to issuance of a Building Permit.

DISCUSSION / ANALYSIS:

The subject site is zoned General Industrial Zone M-2A and designated Service and General Industrial in the Gloucester Industrial Park Community Plan. As part of the application, the applicant has proposed to relocate an existing Statutory Right of Way and storm sewer. The north portion of the site includes a biofiltration/detention pond constructed in 2007 as part of the overall DFO compensation for the Gloucester Industrial Park. A non-disturbance restrictive covenant was registered on the property in 2008 to protect the pond. The subject development permit must comply with the terms and conditions of the restrictive covenant.

In accordance with Council's policy, a site plan, building elevations and a landscape plan have been submitted detailing the proposed development's form, character and siting. Proposed Development Permit No. 100890 is attached as Attachment A to this report. Development Permit guidelines relevant to the site are contained in the Gloucester Industrial Park Community Plan (see Attachment B).

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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Adjacent Uses:

North: Industrial properties designated “Service & General Industrial” in the Gloucester Industrial Park Community Plan (zoned General Industrial Zone M-2A);

South: 48 Avenue, beyond which is Highway No. 1;

East: 275 Street, beyond which are industrial properties designated “Service & General Industrial” in the Gloucester Industrial Park Community Plan and zoned General Industrial Zone M-2A; and

West: Industrial property designated “Park/Buffer/Conservation” and “Service & General Industrial” in the Gloucester Industrial Park Community Plan (zoned General Industrial Zone M-2A).

Development Permit:

The applicant proposes a multi-tenant industrial building with accessory office space located on the southeasterly portion of the site, with parking proposed on the south and west sides of the building and loading proposed on the north side of the building.

Exterior finishing of the building consists largely of tilt up concrete walls, with cast-in reveal lines, painted light grey with contrasting dark grey and white accents. The south elevation of the building is visually enhanced by the articulation of the individual unit entrances consistent with the alignment of 48 Avenue as well as the incorporation of slanted rooflines. The south elevation also features storefront and spandrel glazing.

Twenty seven (27) loading bay doors (proposed on the north building elevation) will be screened from 275 Street by a screen wall finished in longboard siding, as well as landscaping.

As a condition of the Development Permit, refuse bins are to be located in an enclosure and screened to the acceptance of the Township. As the roof of the building will be visible from the east, a condition of the Development Permit has been included requiring the screening of rooftop mechanical equipment.

Access and Parking:

Access to the site is proposed to be provided by two (2) driveways accessed from 275 Street. The northern driveway will be used by trucks accessing the loading area. The southern driveway will be used by employees and visitors.

A total of 140 parking spaces are proposed (140 required) for the development, including 21 small car spaces. The Township’s Zoning Bylaw permits a maximum of 20% of parking spaces to be designated small car parking. The proposed parking complies with the requirements of the Township’s Zoning Bylaw.

Proposed Siting Variance:

The subject site abuts 48 Avenue and 275 Street. When a lot has two lot lines which abut a street, the Township’s Zoning Bylaw defines the front lot line as the lot line with the shorter distance. In the case of the subject site, the lot line abutting 275 Street is the front lot line as it is shorter than the lot line abutting 48 Avenue. The applicant has applied to vary the required front lot line setback (along 275 Street) from 10 m (32.8 ft) to 5 m (16.4 ft). The applicant has provided the following rationale for the proposed variance:

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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Based on the unique site configuration including: the existing 10m landscape buffer area to the south, driveway access limited to the east, grading constraints and a cross access easement which necessitates loading on the north, we believe a setback variance facilitates this design. In addition, to emphasize the feature building corner and its positive impact on the streetscape of this corner site, the design anchors the building close to the corner and removes parking from the streetscape and public realm. This provides additional visual interest and facilitates additional screening from vehicle parking.

Staff are supportive of this proposed building setback variance as it permits a functional and attractively designed building to be sited closer to the street and contributes to the overall streetscape. Staff note that due to lot orientation of properties to the north, there are several other existing buildings in the area which are sited less than 10 m (32.8 ft) from 275 Street.

Exterior Lighting Impact Policy:

As the subject site is located within 150 m (492 ft) of land designated for rural residential purposes, compliance with the Township's Exterior Lighting Policy is required. Provision of an exterior lighting impact plan prepared by an electrical engineer to the acceptance of the Township is required prior to the issuance of a Building Permit.

Signage:

The building elevation plans include ten (10) fascia signs located on the south elevation. One (1) freestanding sign is proposed on the southeast portion of the property. All signage is required to comply with the Township's Sign Bylaw, Development Permit Guidelines of the Gloucester Industrial Park Community Plan (Attachment B), the Township's Sign Bylaw and Schedules "C" and "D" of proposed Development Permit No. 100890.

Servicing:

Full urban services exist to the subject site. As a condition of Building Permit, a site-specific on-site servicing plan and storm water management plan, in accordance with the Township's Subdivision and Development Servicing Bylaw to the acceptance of the Township is required. Additionally, an Erosion and Sediment Control Permit or exemption will be required in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

Tree Protection:

Fifteen (15) significant trees were identified on the site. No trees are proposed to be retained. As part of the Development Permit application, the applicant proposes to provide 163 replacement trees, as required by the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection). Final tree replacement plans are subject to the final acceptance of the Township.

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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Buffer:

The Gloucester Industrial Park Plan indicates a 15 m (49.2 ft) natural landscape buffer/screen adjacent to Highway No. 1. This item was fulfilled in conjunction with previous rezoning applications of the subject site (RZ100240 and RZ100246). As 48 Avenue parallels Highway No. 1, the applicant proposed a 10 m (32.8 ft) on-site buffer north of 48 Avenue plus an additional row of coniferous trees to be planted on the road right-of-way between 48 Avenue and Highway No. 1 that was secured as a condition of previous rezoning. The subject application maintains the 10 m (32.8 ft) wide on-site buffer on the southerly portion of the site.

Landscaping:

In accordance with the Zoning Bylaw, the 275 Street frontage includes a 5 m (16.4 ft) landscaping buffer consisting of trees and shrubs. The north and west lot lines include the provision of 3 m (9.8 ft) in depth landscaping buffers consisting of groundcover, shrubs and trees. Additional landscaping, including cedar and cypress trees, is proposed on the northeast portion of the site to further screen the loading area in accordance with the Gloucester Industrial Park Plan. Additional landscaping, including cherry and dogwood trees, is provided at the south access to the site to mark and enhance the entrance. Each individual unit entrance includes planting areas with shrubs, maple and dogwood trees.

Environmental Considerations:

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the OCP, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. Full urban services exist to the subject site. The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

Public Information Meeting:

Given the application's consistency with the Gloucester Industrial Park Community Plan and the presence of existing buildings to the north with setbacks from 275 Street less than 10 m (32.8 ft), the requirement for the applicant to hold a public information meeting pursuant to Section 3.1 of the Developer Held Public Information Meeting Policy has been waived. Staff note that an opportunity for public input is provided through the notification mail-outs to adjacent property owners / occupants consistent with Township bylaws.

POLICY CONSIDERATIONS:

The proposed development complies with the site's Servicing and General Industrial designation in the Gloucester Industrial Park Community Plan, and the existing General Industrial Zone M-2A requirements (with the exception of the siting variance which has been incorporated in the proposed Development Permit). The proposal, in staff's opinion, is in compliance with the Development Permit Guidelines of the Gloucester Industrial Park Community Plan (Attachment B).

DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 - 275 STREET)
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Staff have notified adjacent property owners that this Development Permit application is being considered at the November 6, 2017 meeting, and they may attend and speak to the matter should they deem it necessary.

Respectfully submitted,

Joel Nagtegaal
DEVELOPMENT PLANNER
for
COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A Development Permit No. 100890:
 SCHEDULE A – Renderings
 SCHEDULE B – Site Plan
 SCHEDULE C – Building Elevations
 SCHEDULE D – Signage Plan
 SCHEDULE E – Landscape Plan

ATTACHMENT B Gloucester Industrial Park Community Plan – Development Permit
 Guidelines

ATTACHMENT A

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 100890

This Permit is issued this _____ day of _____, 2017 to:

1. Name: 161884 Canada Inc.

Address: 3030 Gilmore Diversion
Burnaby, BC V5G 3B4

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot 1 Section 5 Township 14 New Westminster District Plan
EPP70774

CIVIC ADDRESS: 4825 - 275 Street

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:

- a. Building plans being in compliance with Schedules "A" through "C"
- b. Landscape plans being in substantial compliance with Schedule "E" and in compliance with the Township's Street Tree and Boulevard Planting Policy to the acceptance of the Township;
- c. All signage being in compliance with Schedules "C" and "D" and the Gloucester Development Permit Guidelines and the Township's Sign Bylaw;
- d. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
- e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
- f. All outdoor storage areas being covered by a dust free surface;
- g. All refuse areas to be located in an enclosure and screened to the acceptance of the Township;
- h. All chain link fences being black vinyl with black posts and rails; and
- i. Section 702A.5(a) – Siting of Buildings and Structures of the Township of Langley Zoning Bylaw 1987 No. 2500 being varied to reduce the minimum setback for a principal building from a front lot line in General Industrial Zone M-2A from 10 m (32.8 ft) to 5 m (16.4 ft).

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. Payment of supplemental Development Permit application fees and Building Permit administration fees.
- b. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw to the acceptance of the Township;

DEVELOPMENT PERMIT NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT GROUP / 4825 – 275 STREET)

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- c. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township's Exterior Lighting Impact Policy to the acceptance of the Township;
 - d. Submission of an Erosion and Sediment Control Plan or exemption in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
 - e. On-site landscaping being secured by a letter of credit at the Building Permit stage.
 - f. Modification of Statutory Right of Way BB184653 (Plan BCP34343).
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2017.

Attachments:

SCHEDULE A	Renderings
SCHEDULE B	Site Plan
SCHEDULE C	Building Elevations
SCHEDULE D	Signage Plan
SCHEDULE E	Landscape Plan



SCHEDULE A RENDERINGS





SCHEDULE B SITE PLAN



Beedie
3810 GARDNER DRIVE, BURNABY, B.C. V5A 1K6
TEL: (604) 427-2221 FAX: (604) 427-2249

CHIP BARRETT ARCHITECT
D.FORCE DESIGN INC.
1525 WEST 10TH AVENUE, SUITE 100
VANCOUVER, B.C. V6H 2T6
TEL: (604) 681-7555 FAX: (604) 681-7554

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	2024.08.15
2	ISSUED FOR PERMITTING	2024.08.15
3	ISSUED FOR PERMITTING	2024.08.15
4	ISSUED FOR PERMITTING	2024.08.15
5	ISSUED FOR PERMITTING	2024.08.15
6	ISSUED FOR PERMITTING	2024.08.15
7	ISSUED FOR PERMITTING	2024.08.15
8	ISSUED FOR PERMITTING	2024.08.15
9	ISSUED FOR PERMITTING	2024.08.15
10	ISSUED FOR PERMITTING	2024.08.15
11	ISSUED FOR PERMITTING	2024.08.15
12	ISSUED FOR PERMITTING	2024.08.15
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14	ISSUED FOR PERMITTING	2024.08.15
15	ISSUED FOR PERMITTING	2024.08.15
16	ISSUED FOR PERMITTING	2024.08.15
17	ISSUED FOR PERMITTING	2024.08.15
18	ISSUED FOR PERMITTING	2024.08.15
19	ISSUED FOR PERMITTING	2024.08.15
20	ISSUED FOR PERMITTING	2024.08.15


275TH AND 48TH SPEC
SCHEDULE B SITE PLAN
PROJECT NO. 24-010
DATE: 2024.08.15

SITE DATA
SITE ADDRESS: 275TH AND 48TH AVENUE, BURNABY, B.C.
OWNER: [REDACTED]
DESIGNED BY: [REDACTED]
DATE: 2024.08.15

GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

THIS PLAN IS APPROVED FOR THE TOWN OF BURNABY
DATE: 2024.08.15

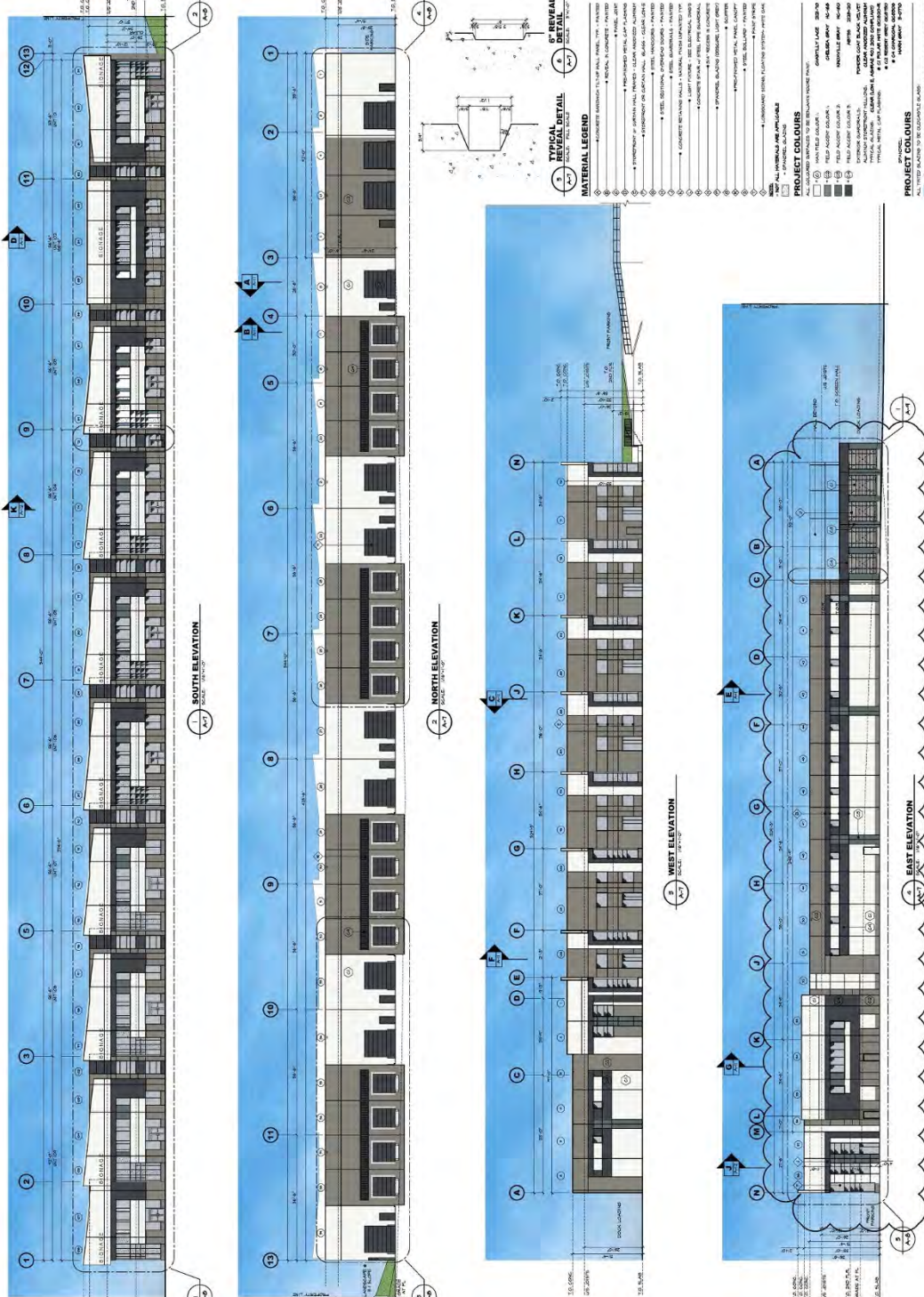
SCHEDULE C BUILDING ELEVATIONS



2020 CLERMONT EVDN, BURBANK, VIC 3083
TEL: 0654 435321 FAX: 0654 432349

D.FORCE DESIGN
IN ASSOCIATION WITH
CHIP BARRETT ARCHITECT

2020 CLERMONT EVDN, BURBANK, VIC 3083
TEL: 0654 435321 FAX: 0654 432349



TYPICAL DETAIL

MATERIAL LEGEND

PROJECT COLOURS

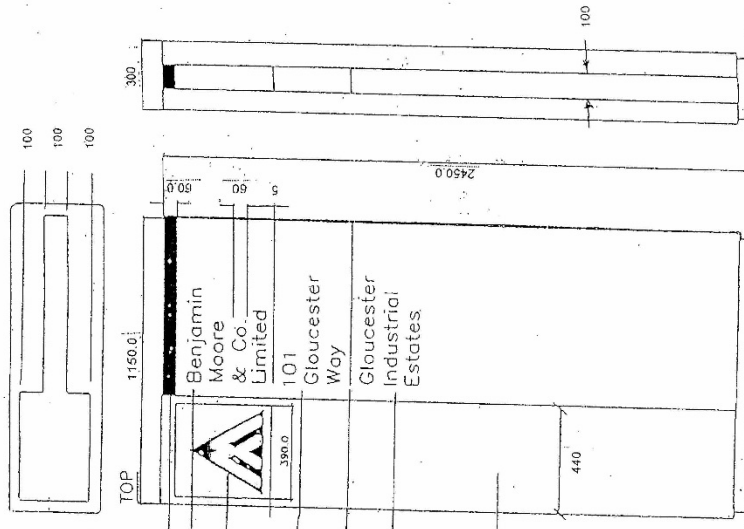
OVERALL COLOUR ELEVATIONS

275TH AND 48TH SPEC

A-5c

GLOUCESTER INDUSTRIAL ESTATES

ENTRANCE SIGN



ENTRANCE SIGN

MAIN COLOUR STRIPE (TO MATCH QUADRANT COLOUR)

COMPANY NAME (WHITE, BOLD TYPE)

BACKCUT LOGO (WHITE)

COMPANY ADDRESS (WHITE, REG. TYPE)

MINOR COLOUR STRIPE (TO MATCH QUADRANT COLOUR)

TEXT TO BE SIDE LIT

SIGN (CHARCOOL GREY)

¹Cloverdale Paints: *Diamond Mine Gpby 1539*

QUADRANT COLOUR

- S.W. RED
- N.W. YELLOW
- S.E. BLUE
- N.E. GREEN



Township of
Langley

Est. 1873

SCHEDULE D
SIGNAGE PLAN



SCHEDULE E LANDSCAPE PLAN



Board of Development Group
3830 Old Keesee Avenue, Langley, BC V4A 3K6
TEL: (604) 452-2221 FAX: (604) 452-2246



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2024.08.01
2	REVISED PER COMMENTS	2024.08.01
3	REVISED PER COMMENTS	2024.08.01
4	REVISED PER COMMENTS	2024.08.01
5	REVISED PER COMMENTS	2024.08.01
6	REVISED PER COMMENTS	2024.08.01
7	REVISED PER COMMENTS	2024.08.01
8	REVISED PER COMMENTS	2024.08.01
9	REVISED PER COMMENTS	2024.08.01
10	REVISED PER COMMENTS	2024.08.01
11	REVISED PER COMMENTS	2024.08.01
12	REVISED PER COMMENTS	2024.08.01
13	REVISED PER COMMENTS	2024.08.01
14	REVISED PER COMMENTS	2024.08.01
15	REVISED PER COMMENTS	2024.08.01
16	REVISED PER COMMENTS	2024.08.01
17	REVISED PER COMMENTS	2024.08.01
18	REVISED PER COMMENTS	2024.08.01
19	REVISED PER COMMENTS	2024.08.01
20	REVISED PER COMMENTS	2024.08.01

275TH MULTI
LANDSCAPE PLAN
TOL FILE # 24-04-009

SYMBOL	CITY	REPLACEMENT NAME	COMMON NAME	SIZE	PLANT LIST	REPLACEMENT NOTE
1	1	1	1	1	1	1
2	2	2	2	2	2	2
3	3	3	3	3	3	3
4	4	4	4	4	4	4
5	5	5	5	5	5	5
6	6	6	6	6	6	6
7	7	7	7	7	7	7
8	8	8	8	8	8	8
9	9	9	9	9	9	9
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16	16	16	16	16	16	16
17	17	17	17	17	17	17
18	18	18	18	18	18	18
19	19	19	19	19	19	19
20	20	20	20	20	20	20

3.0 DEVELOPMENT STRATEGY

There is no need for the Township Of Langley to consider expansion of services to the subject area to permit industrial development. Development of services to the areas and consideration of zoning of properties in the area to industrial and commercial uses will only be considered on the basis of a comprehensive development for the subject lands. The Township Of Langley will not be developing capital expenditure programs for the subject area and considers the area unsuitable for industrial and commercial uses until municipal water and sewage systems are developed and a program to upgrade the drainage system, roadways and park requirements is proposed and adopted. Development of services will only proceed on the property owners request and agreement to pay the cost of developing services.

4.0 DEVELOPMENT PERMIT GUIDELINES

#2812
25/06/9 In a Development Permit Area, before a building permit may be obtained, a Development Permit must first be issued by Council. Council may set forth conditions under which development may take place that may be in addition to normal zoning requirements and the developer's Statutory Building Scheme registered as a charge against the lands pursuant to Section 216(1) of the Land Title Act.

Form and Character

- Building design, materials and exterior finish and landscaping shall support the creation of an attractive, high quality estate industrial environment and shall conform to the provisions of Gloucester's Statutory Building Scheme;
- Low profile building designs are encouraged, particularly adjacent to residential and rural areas as well as the No. 1 Highway;
- Commercial buildings are encouraged to incorporate "pitched" roofs or other similar roof treatment into the building design;
- The use of smooth surfaced, light coloured building materials, finished, painted "tilt-up" concrete panels, acrylic stucco, brick, baked enamel finished metal siding, or metal panels is encouraged;
- The use of untreated or unfinished concrete, metal or aluminum as a final building finish will not be permitted;
- Building design, layout, siting, landscaping, screening and buffering shall reflect the need to reduce noise impacts from the No. 1 Highway and between industrial development and adjacent uses;
- Buildings on corner sites or on lots backing onto roads shall be designed to recognize the building's visibility from more than one street with continuity of design, materials, exterior finish, signage and landscaping;
- Roof top mechanical equipment shall be hidden behind screens designed as an integral part of a building, or parapets may be extended to conceal such equipment;

- Underground utilities shall be provided;
- Building plans submitted in support of a Development Permit shall:
 - Be of sufficient detail to convey the intent of the design in terms of the building's appearance, exterior finish, materials and colour treatments;
 - Be prepared by an architect registered in B.C.;
 - Include a coloured rendering or perspective drawing and typical building elevations;
 - Include a coloured site plan indicating the siting of all buildings and structures, property lines, dimensions, easements, rights of way, roads, areas, phasing and significant physical features;
 - Include a detailed statement of land and building uses, lot sizes, coverage, building height, staging and the location and dimensions of landscape and buffer areas.

Landscape Areas and Buffers

Landscape plans submitted in support of a Development Permit shall:

- Be of sufficient detail to convey the intent of the landscape design;
- Complement the objective of creating an attractive, high quality industrial environment;
- Comply with the Landscape Design Guidelines attached as Appendix "A" to the developer's Statutory Building Scheme;
- Be prepared by a landscape architect registered in B.C.;
- Include a detailed plant list, quantity and sizing of plant material;
- Include fencing design, material and specifications;
- Include a cost estimate of the value of the landscape works including fencing and installation (of both the landscape works and fencing);
- Include boulevard treatment and street tree plantings in accordance with the Township's Boulevard Treatment and Street Tree Policy;
- At the building permit stage, be secured by a letter of credit;
- In buffer and building setback areas on-site natural vegetation shall be encouraged to be retained wherever practical;

#3850
19/07/99

- No site development works involving the removal of natural vegetation in the buffer or setback areas shall take place until after the Development Permit has been issued;
- Natural vegetation or berming adjacent to the No. 1 Highway shall not be removed unless specifically authorized by the Development Permit;
- The width of the undisturbed natural vegetation area adjacent to the No. 1 Highway shall be a minimum of 15m except where lands are designated for Service Commercial purposes the width of the required landscaping adjacent to the No. 1 Highway shall be a minimum of 7.5m;
- Adjacent to the No. 1 Highway, where no natural vegetation exists or where natural vegetation is specifically authorized to be removed by the Development Permit, it shall be replaced by a combination of landscape works and berming;
- Berms, where required, shall be a minimum of 1.8m height and be landscaped with evergreen shrubs/hedges and other plantings forming a continuous opaque screen;
- Adjacent to the street (other than the No. 1 Highway) a minimum 5m wide landscape area is required;
- Adjacent to residential or rural areas, a minimum 10m wide landscape area/buffer is required, plus a 1.8m high (minimum) fence designed to reduce the visual and noise impacts of the industrial use on adjacent lands;
- Parking areas are to be landscaped and shall not occupy more than 25% of the front yard of a building;
- Outside storage areas are to be screened; and
- Refuse collection areas shall be enclosed within a building or screened by a combination of walls, fencing and landscaping.

Signs

Sign plans submitted in support of the Development Permit application shall:

- Be in accordance with the developer's Statutory Building Scheme and the Township's Sign Control Bylaw;
- Be prepared by a professional graphic designer showing the location, type, size, colour and height of all signs, logos, graphics, symbols and colours to be located on all buildings and on free-standing signs;
- Complement the building's design scheme;
- Involve only one free-standing sign containing only the corporate names and street numbers on its face;

- No illuminated sign creating a glare or reflection on any building or street shall be permitted;
- Signs shall only identify those businesses located within the building itself.

Conservation Areas

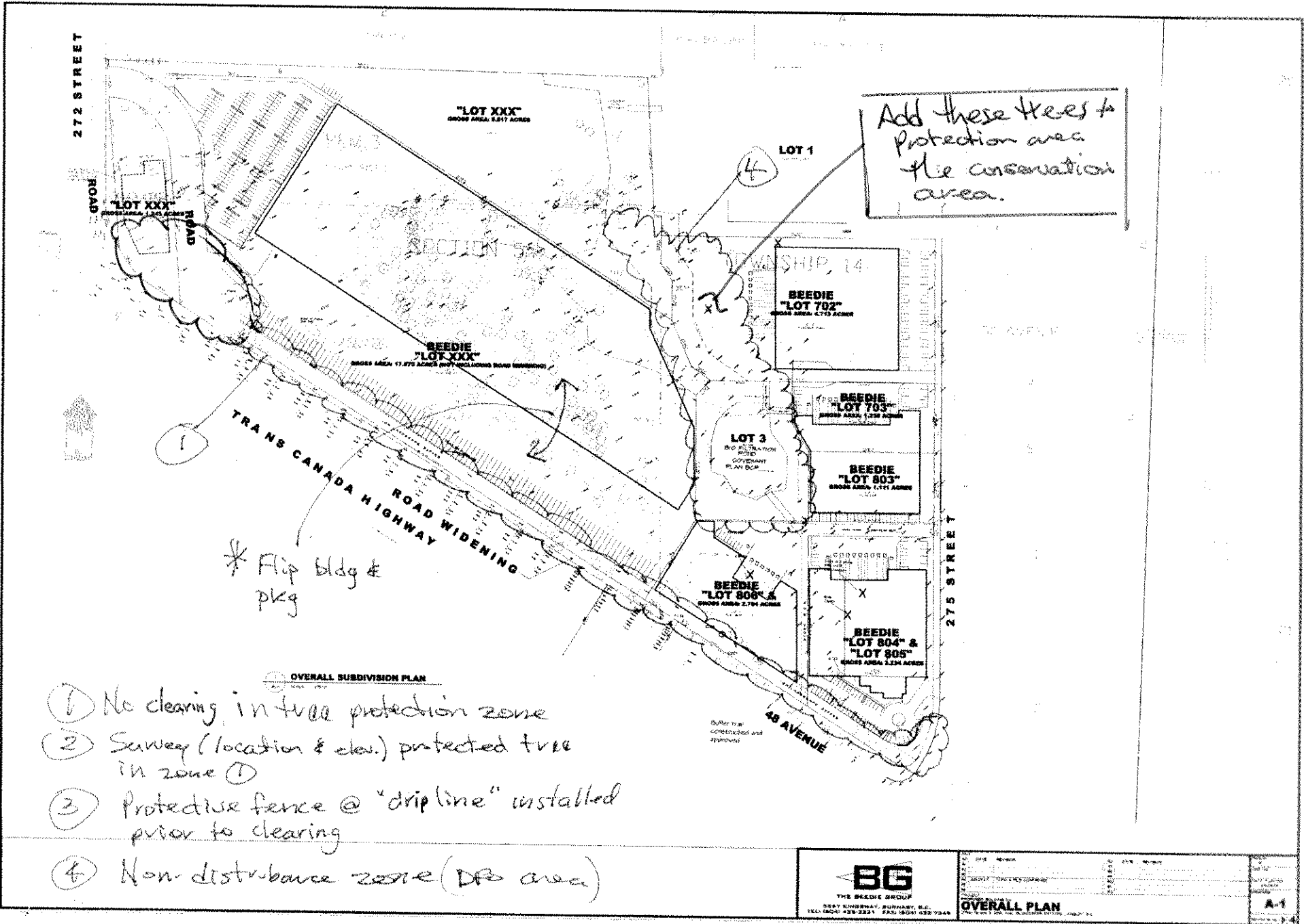
Creek and gully areas should be retained in private ownership and developed to ensure definition and protection of sensitive areas. These creek and gully areas are undevelopable and should be protected to serve as drainage courses, fish and wildlife habitats and to ensure development does not occur in areas of unstable soil conditions. Creek and gully areas should not be cleared and development should be set back from the top of the bank. Site specific study is required to determine the setback.

Technical Report No. 807 entitled "Guidelines for Land Development and Protection of the Aquatic Environment" prepared by the Department of Fisheries and Oceans Canada, July 1978, is to be used as a guideline for determining setbacks for development adjacent to fish bearing streams. The Township may require the property owner to have prepared a report certified by a professional geotechnical or Civil Engineer to assist in determining what conditions of development are required to protect development from hazardous conditions.

From: [Ramin Seifi](#)
To: [Joel Nagtegaal](#)
Cc: [Stephen Richardson](#); [Cathy Porter](#)
Subject: Beedie DP - slides for today
Date: Monday, December 04, 2017 11:29:15 AM

Can you please arrange for a couple of slides to be available for today's council meeting reflecting what we have told council as part of a memo on today's distribution list with respect to the water course that was eliminated in 05-08 and replaces with a storm sewer pipe and SRS?

Thank you.



Add these trees to protection area the conservation area.

* Flip Bldg & pkg

- ① No clearing in tree protection zone
- ② Survey (location & elev.) protected tree in zone ①
- ③ Protective fence @ "drip line" installed prior to clearing
- ④ Non-disturbance zone (DRS area)

BG
 THE BEEDIE GROUP
 3357 KINGSWAY PARKWAY, S.C.
 TEL: (604) 438-2321 FAX: (604) 438-7348

DATE REVIEWED	DATE REVISION	BY
OVERALL PLAN		
SCALE: 1" = 100'		A-1

Restoration Planting for Fisheries Watercourses (Class A, Class A/O, Class B)

Restore disturbed areas with native plants. Generally, native plants are planted at one plant per m². Plant stock must be #5 pot size plants consisting of at least three (3) different species from the plant list provided in this brochure. The Restoration Planting must be placed in areas not likely to be disturbed due to routine ditch mowing or maintenance. Plantings should also be located at the top of bank, i.e. not on the roadside bank. Plant maintenance (watering, brushing) will be necessary until the plants are established. Plants must be guaranteed for 100% survival for 3 years.

Acceptable Native Shrubs:

Hardhack (<i>Spirea douglasii</i>)	Common Snowberry (<i>Symphoricarpos albus</i>)
Salmonberry (<i>Rubus spectabilis</i>)	Saskatoon Berry (<i>Amelanchier alnifolia</i>)
Willow (<i>Salix sp.</i>)	Pacific Ninebark (<i>Physocarpus capitatus</i>)
Twinberry (<i>Lonicera involucrate</i>)	Nootka Rose (<i>Rose nutkana</i>)
Oceanspray (<i>Holodiscus discolor</i>)	Black Hawthorn (<i>Crataegus douglasii</i>)

Local Nurseries for Native Plants:

Art's Nurseries Ltd. – Surrey: 604-882-1201 or <http://www.artsnursery.com>
 Peel's Nurseries Ltd. – Mission: 604-820-7381 or <http://www.peelsnurseries.com>
 Pacific Rim Native Plants Ltd. – Chilliwack: 604-792-9279 or <http://www.hillkeep.ca>

Contact Agencies & Related Information

BC Ministry of Environment: Phone: 604-582-5200

Notification Process: http://www.env.gov.bc.ca/wsd/water_rights/licence_application/section9/index.html
 Standards and Best Practices for Instream Works:
<http://www.env.gov.bc.ca/wld/documents/bmp/iswstdsbpsmarch2004.pdf>

Fisheries & Oceans Canada: Phone: 604-666-7575

Federal Fisheries Act: <http://www.pac.dfo-mpo.gc.ca/habitat/steps/praf/index-eng.htm>
 Land Development Guidelines: <http://www.dfo-mpo.gc.ca/Library/165353.pdf>

BC Ministry of Transportation: <http://www.gov.bc.ca/tran/>.

Questions

For all other questions, please contact:
 City of Surrey – Engineering Department - Engineering Counter
 14245 – 56 Avenue, Surrey, BC V3X 3A2
 Tel: 604-591-4276 Fax: 604-591-8693
EngLD@surrey.ca

- Please contact the City of Surrey Environmental Coordinator to determine ERC submission requirements and dates.

* The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office.

** This guideline is intended to provide general information only. City by-laws and policies shall take precedence. Issuance of a permit does not exempt a permit holder, property owner or contractor from complying with all applicable municipal, provincial and federal statutes, by-laws and regulations. Applicable laws include but are not limited to, the City's Erosion and Sediment Control By-law, Federal Migratory Birds Convention Act, Federal Fisheries Act, Federal Species at Risk Act, Provincial Wildlife Act and the Provincial Water Act.

A General Guide to Construction Over or Near Watercourses

*This guide describes the Engineering Department's requirements when constructing or replacing driveways and services within the road right of way over or near fisheries sensitive watercourses. Prior to construction, you will have to obtain a **City Road and Right-of-Way Permit**. You should also review your plans with the City to ensure that you are constructing to City standards and that you comply with the Federal Fisheries Act and Provincial Water Act.*

General Information

Protection of the City's fishery sensitive watercourses, including road side ditches, is an important environmental objective. Under the authority of the Federal Fisheries Act, and the Provincial Water Act, Fisheries and Oceans Canada (DFO) and the BC Ministry of Environment (MOE) respectively, have decision-making authority for the conservation and protection of fish and fish habitat.

The City of Surrey maintains a Fish Classification Map, which designates most watercourses in Surrey*. Please refer to this Fish Classification map to determine the classification of watercourses within proximity of your construction project. This Fish Classification map is available at the Engineering Counter, Engineering Department, City Hall or on-line at:

http://cosmos.surrey.ca/geocortex/essentials/web/Viewer.aspx?Project=Drainage_Map

Fish Classification Map and Watercourse Description

Class A & A/O - Red-coded

Indicate year round presence of fish (salmon and regionally significant fish). Red-dashed watercourses denote seasonal (winter) fish presence in lowland watercourses.

Class B - Yellow-coded

Provide valuable food and nutrients to downstream fisheries watercourses, but do not support salmon or regionally significant fish; however, they are considered fish habitat and may provide habitat for course fish species.

Class C - Green-coded

Typically ditches with insignificant food and nutrient input, and do not support fish. They are designed for the conveyance of storm water and are typically dry 48-72 hours following a significant rainfall event.

In British Columbia, the ownership of water is vested in the Crown as stated in the Water Act - the primary provincial statute regulating water resources. Under the Water Act, a "stream" is defined as "includes a natural watercourse or source of water supply, whether usually containing water or not, and a lake, river, creek, spring, ravine, swamp and gulch." Section 9 of the Water Act requires that a person may only make "changes in and about a stream" under an Approval; in accordance with Part 7 of the Water Regulation including Notification where required; or under a Water Licence or Order. For more information on submitting a Water Act notification or application, please visit the Ministry of Environment website. Also refer to the Provincial Standards and Best Practices for Instream Works for further guidance.

Fisheries Watercourses are regulated under the *Federal Fisheries Act*. In context with construction over or near watercourses, there are two main provisions in which DFO may regulate:

- Deleterious substances
- Harmful Alteration, Disruption or Destruction (HADD) of fish habitat



City Requirements, Permits, and Design Standards**

Prior to starting construction, permits are required if construction occurs within the City roads and rights of way. A **City Road & Right-of-Way Permit** and a **Traffic Obstruction Permit** are issued by the Engineering Department at the Engineering Counter at City Hall. When working within Provincial Highways, a permit from the Ministry of Transportation is also required.

All culvert designs must comply with the applicable standards in the City of Surrey, Engineering Department, Design Criteria Manual (May 2004), The Master Municipal Constructions Documents (MMCD 1996) and the City of Surrey Supplementary MMCD (May 2004).

All contractors undertaking this type of work must be skilled in the installation of driveways and construction within fisheries sensitive watercourses.

Preliminary Construction Documents

Prior to the City of Surrey issuing a City Road and Right of Way Permit, proof of environmental submissions may be required. Construction requirements vary with the watercourse fish classification and are generally as follows:

Red-Coded – Class A

- Engage a Qualified Environmental Professional (QEP) consultant to review and address the following
 - Preliminary site condition
 - Construction plans
 - Develop a site specific environmental assessment
 - Develop a management plan that;
 - Mitigates for potential fisheries impacts
 - Identifies and mitigates for potential impacts to Species at Risk Act (SARA) Schedule 1 listed species
 - Erosion and Sediment Control (ESC) Plan
 - If a Fisheries Act Harmful Alteration Disruption or Destruction (HADD) is likely to occur, submit management plan to the City for the Environmental Review Committee (ERC).
 - Must ensure that no fish are present; accomplished by a QEP with fish salvage, isolation and pumping around
 - Monitor construction work
 - Submit a monitoring report to DFO and the City upon completion
- Work shall only be conducted with low water flows between **August 1st** and **September 15th**

Red-Dash-Coded – Class A(O)

- Comply with same requirements as Class A, except, work may be conducted with low water flows between **June 15th** and **September 30th**.

Yellow-Coded – Class B

- Comply with same requirements as Class A, except, work may be conducted with low water flows between **June 1st** and **September 30th**

Green-Coded – Class C

- No specific requirements to protect fish habitat – follow *Standards and Best Practices for Instream Works*
- Where more than one culvert currently exists, additional culverts will have to be reviewed by City of Surrey Engineering Department.
- During construction effective Erosion and Sediment Control Measures are to be employed to ensure sediment-laden water is not released into the watercourse.
- During construction and upon completion of the culvert and permit requirements please contact the Engineering Department, Engineering Counter as described in the permit to arrange for inspections.

Conditions for Class A, A/O, and B Watercourses

Before construction may occur within and around a watercourse, various environmental permits and approvals may be required, depending upon the classification of the watercourse.

- This plan will have to be developed, signed off by the QEP and submitted to the City prior to issuance of a City permit.
- If a HADD is likely to occur, the project and management plan will have to be petitioned at the City of Surrey Engineering ERC by the QEP.
- Additional culverts will have to be petitioned to the ERC.
- Culvert lengths exceeding standard length will also have to be petitioned at the ERC.
- Submit a Water Act Notification/Application for the works **at least 45 days prior to construction** to the British Columbia Ministry of Environment and comply with the Provincial Standards and Best Practices for Instream Works publication.
- Proof of an ERC Decision Sheet and Water Act Notification/Application (copy acceptable) must be submitted to the City prior to issuance of the City permit.
- Effective Erosion and Sediment Control measures are to be employed
- Restore all disturbed areas with native shrubs (see *Restoration Planting for Fisheries Watercourses* below).
- Upon completion of the culvert and permit requirements please contact the Engineering Department, Engineering Counter as described in the permit to arrange for an inspection.



Inspections

Prior to installing the culvert you should check with the Engineering Department to verify jurisdiction of Road Right-of-Way, potential of culvert installation and to determine appropriate size and length.

During construction and upon completion of the culvert and permit requirements, please contact the Engineering Department, Engineering Counter as described in the permit to arrange for inspections.

PROPOSED BUILDING FOR :

275TH AVE. MULTI TENANT

275TH & 48TH AVE., GLOUCESTER INDUSTRIAL ESTATES, LANGLEY, BC
 LEGAL: LOT 2 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP34340
 LOT 4 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP40897

ARCHITECTURAL DRAWING LIST

COVER SHEET	A-0
SITE PLAN	A-1
OVERALL COLOUR ELEVATIONS	A-5c
LANDSCAPE PLAN	L-1

Beedie | Development Group
 3030 GILMORE DIVSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7949



CHIP BARRETT ARCHITECT
 #162-2228 - 802 ST. SURREY, B.C. V3Z 6P4
 IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
 TEL: (604) 607-5655 EMAIL: DARC@DFORCE.CA

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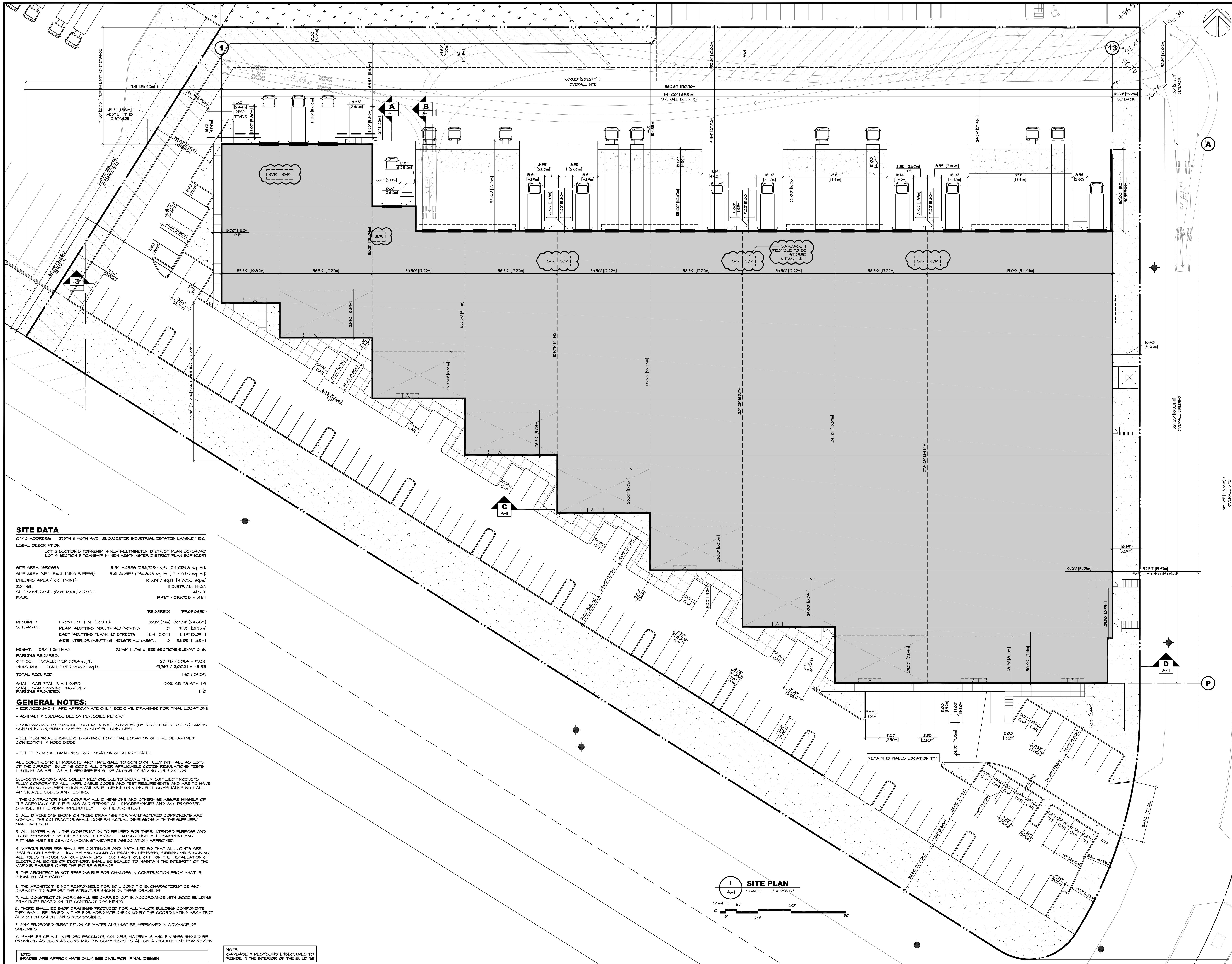
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6	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
5	FEB.28.17	CLIENT REVIEW
4	FEB.22.17	CLIENT REVIEW
3	FEB.10.17	CLIENT REVIEW
2	JAN.18.17	CLIENT REVIEW
1	NOV.17.16	CLIENT REVIEW
NO.	DATE	DESCRIPTION

PROJECT: PROPOSED BUILDING:
275TH MULTI

ADDRESS: GLOUCESTER ESTATES, LANGLEY, BC

DRAWING
COVERSHEET

SEAL	JOB NO. 16-056	DRAWN D.F.
	DESIGNED	
	CHECKED	
	PLOT DATE MAR.22.17	
PROJECT - DRAWING NUMBER A-0		REV. 6



SITE DATA
 CIVIC ADDRESS: 275TH & 48TH AVE, GLOUCESTER INDUSTRIAL ESTATES, LANSLEY B.C.
 LEGAL DESCRIPTION: LOT 2 SECTION 5 TOWNSHIP 14 NE WESTMINSTER DISTRICT PLAN BCP34540 LOT 4 SECTION 5 TOWNSHIP 14 NE WESTMINSTER DISTRICT PLAN BCP40281

SITE AREA (GROSS): 5.44 ACRES (238,728 sq.ft. [24,036.6 sq. m.])
 SITE AREA (NET- EXCLUDING BUFFER): 5.41 ACRES (234,805 sq. ft. [23,927.0 sq. m.])
 BUILDING AREA (FOOTPRINT): 109,869 sq.ft. (10,135.5 sq.m.)
 ZONING: INDUSTRIAL, M-2A
 SITE COVERAGE: (60% MAX) GROSS: 41.0 %
 F.A.R.: 119,167 / 296,728 = .464

(REQUIRED) (PROPOSED)
 REQUIRED FRONT LOT LINE (SOUTH): 32.0' (10m) 80.84' (24.66m)
 SETBACKS: REAR (ABUTTING INDUSTRIAL) (NORTH): 0' 71.95' (21.75m)
 EAST (ABUTTING FLANKING STREET): 16.4' (5.0m) 16.64' (5.09m)
 SIDE INTERIOR (ABUTTING INDUSTRIAL) (WEST): 0' 36.95' (11.60m)

HEIGHT: 34' (12m) MAX: 30'-6" (11m) * (SEE SECTIONS/ELEVATIONS)
 PARKING REQUIRED: 140
 OFFICE: 1 STALLS PER 301.4 sq.ft. 28/140 / 301.4 = 43.56
 INDUSTRIAL: 1 STALLS PER 2002.1 sq.ft. 41,764 / 2,002.1 = 49.83
 TOTAL REQUIRED: 140 (34.54)

SMALL CAR STALLS ALLOWED: 20% OR 28 STALLS
 PARKING PROVIDED: 140

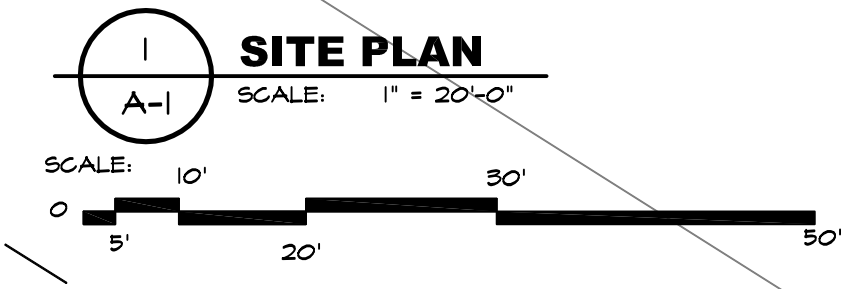
GENERAL NOTES:
 - SERVICES SHOWN ARE APPROXIMATE ONLY, SEE CIVIL DRAWINGS FOR FINAL LOCATIONS
 - ASPHALT & SUBBASE DESIGN PER SOILS REPORT
 - CONTRACTOR TO PROVIDE FOOTINGS & WALL SURVEYS (BY REGISTERED B.C.L.S.) DURING CONSTRUCTION, SUBMIT COPIES TO CITY BUILDING DEPT.
 - SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & HOSE BIBBS
 - SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL

ALL CONSTRUCTION PRODUCTS AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODE, ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS, AS WELL AS ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.

SUB-CONTRACTORS ARE SOLELY RESPONSIBLE TO ENSURE THEIR SUPPLIED PRODUCTS FULLY CONFORM TO ALL APPLICABLE CODES AND TEST REQUIREMENTS AND ARE TO HAVE SUPPORTING DOCUMENTATION AVAILABLE, DEMONSTRATING FULL COMPLIANCE WITH ALL APPLICABLE CODES AND TESTING.

- THE CONTRACTOR MUST CONFIRM ALL DIMENSIONS AND OTHERWISE ASSURE HIMSELF OF THE ADEQUACY OF THE PLANS AND REPORT ALL DISCREPANCIES AND ANY PROPOSED CHANGES IN THE WORK IMMEDIATELY TO THE ARCHITECT.
- ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL. THE CONTRACTOR SHALL CONFIRM ACTUAL DIMENSIONS WITH THE SUPPLIER/MANUFACTURER.
- ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. ALL EQUIPMENT AND FITTINGS MUST BE CSA (CANADIAN STANDARDS ASSOCIATION) APPROVED.
- VAPOUR BARRIERS SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS ARE SEALED OR LAPPED - 100 MM AND OCCUR AT FRAMING MEMBERS, FURRING OR BLOCKING. ALL HOLES THROUGH VAPOUR BARRIERS SUCH AS THOSE CUT FOR THE INSTALLATION OF ELECTRICAL BOXES OR DUCTWORK SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE SURFACE.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.
- ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
- THERE SHALL BE SHOP DRAWINGS PRODUCED FOR ALL MAJOR BUILDING COMPONENTS. THEY SHALL BE ISSUED IN TIME FOR ADEQUATE CHECKING BY THE COORDINATING ARCHITECT AND OTHER CONSULTANTS RESPONSIBLE.
- ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF ORDERING.
- SAMPLES OF ALL INTENDED PRODUCTS, COLOURS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES TO ALLOW ADEQUATE TIME FOR REVIEW.

NOTE: GRADES ARE APPROXIMATE ONLY, SEE CIVIL FOR FINAL DESIGN
 NOTE: GARBASE & RECYCLING ENCLOSURES TO RESIDE IN THE INTERIOR OF THE BUILDING



Beedie
 3030 GILMORE DYSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7349

CHIP BARRETT ARCHITECT
 #182-2228 - 162 ST. SURVEY B.C. V3Z 6P4
 IN ASSOCIATION WITH
D.FORCE DESIGNING
 2685A ALANVALE STREET, ABBOTSFORD, B.C. V2E 3J9
 TEL: (604) 667-2665 EMAIL: DANCE@DFORCE.COM

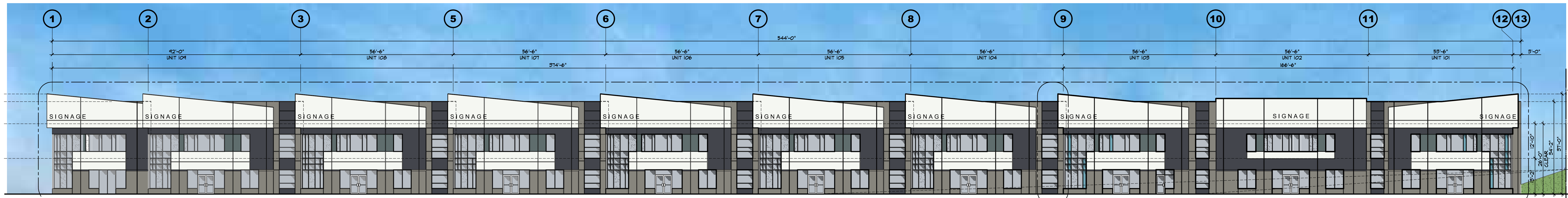
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NO.	DATE	DESCRIPTION
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14	SEP 20, 17	ISSUED FOR PLANNING REVIEW
13	AUG 30, 17	ISSUED FOR CONSULTANT USE
12	AUG 29, 17	ISSUED FOR BUILDING PERMIT
11	AUG 28, 17	ISSUED FOR BP REVIEW
10	AUG 18, 17	ISSUED FOR CONSULTANT USE-2
9	AUG 14, 17	GRADES/LANDSCAPE REVISIONS
8	JUL 27, 17	ISSUED FOR CLIENT REVIEW
7	JUL 21, 17	REVISED ACCESSIBLE STALLS
6	MAY 05, 17	ISSUED FOR CONSULTANT USE
5	MAR 16, 17	FREESTANDING SIGN ADDED
4	MAR 03, 17	ISSUED FOR DEVELOPMENT PERMIT
3	FEB 24, 17	CLIENT USE
2	FEB 17, 17	CLIENT REVIEW
1	NOV 17, 16	CLIENT REVIEW

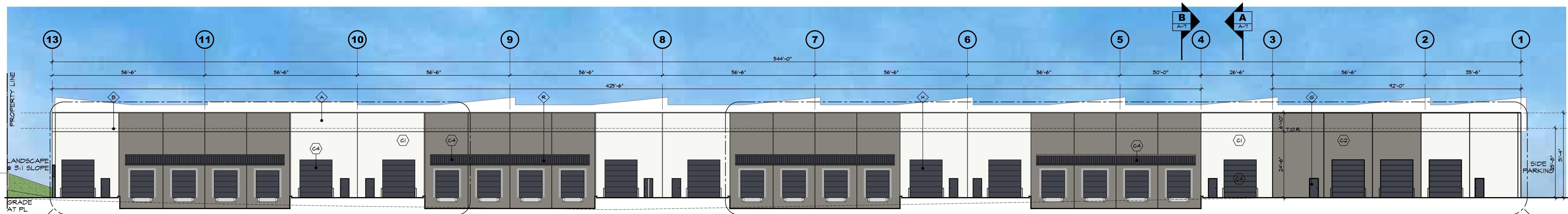
PROJECT: PROPOSED BUILDING:
275TH AND 48TH SPEC
 ADDRESS: LOT 1 SECTION 5 TOWNSHIP 14 NE WESTMINSTER DISTRICT PLAN EPP0774
 DRAWING

SITE PLAN

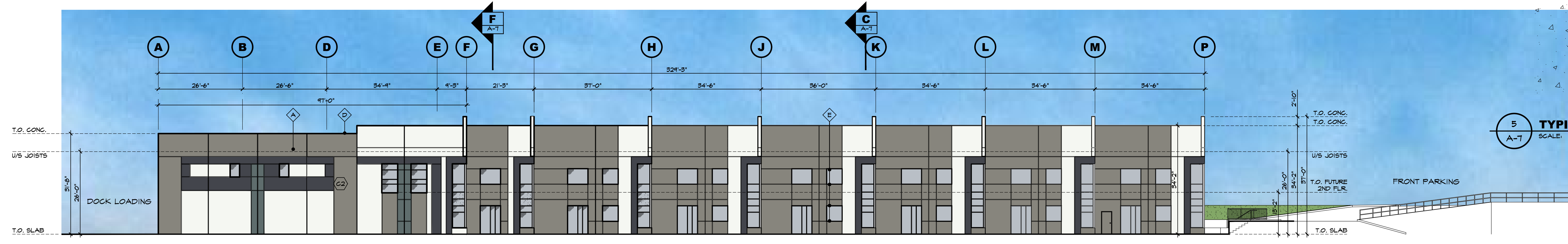
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	DESIGNED	
	CHECKED	
	PLOT DATE	SEP-20-17
PROJECT - DRAWING NUMBER		REV.
A-1		14



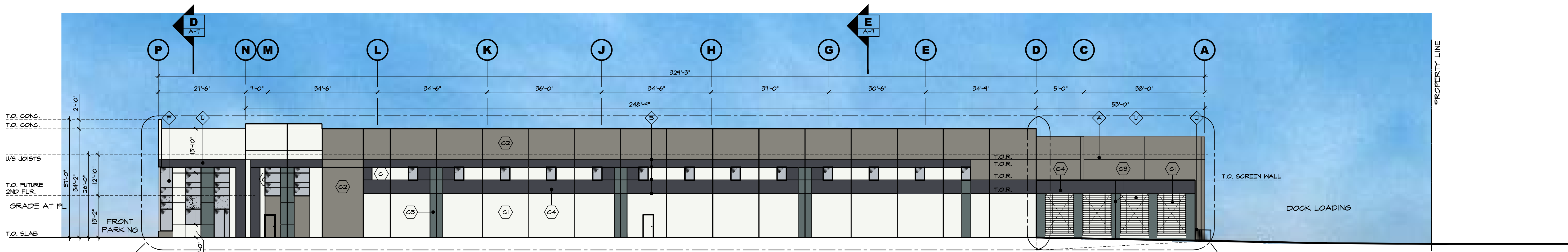
1 SOUTH ELEVATION
SCALE: 1/16"=1'-0"



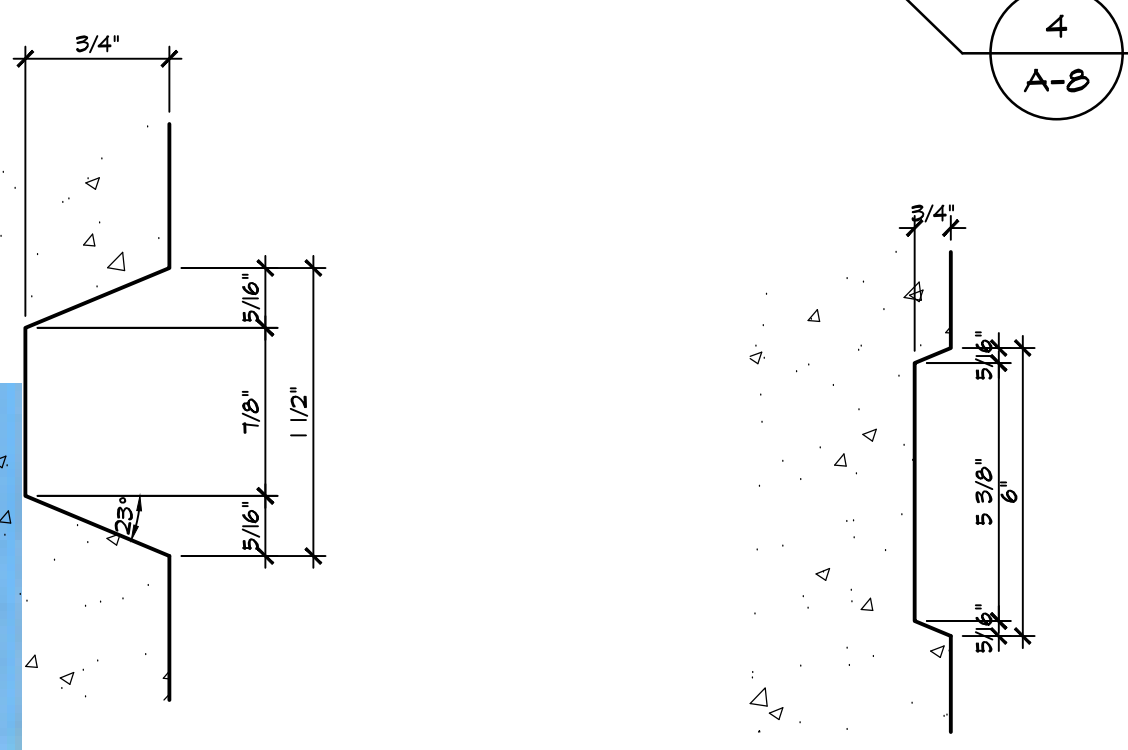
2 NORTH ELEVATION
SCALE: 1/16"=1'-0"



3 WEST ELEVATION
SCALE: 1/16"=1'-0"



4 EAST ELEVATION
SCALE: 1/16"=1'-0"



5 TYPICAL REVEAL DETAIL SCALE: FULL SCALE
6 6\"/>

- MATERIAL LEGEND**
- ◆ CONCRETE SANDWICH TILT-UP WALL PANEL, TYP. - PAINTED
 - ◆ REVEAL IN CONCRETE - PAINTED
 - ◆ PANEL JOINT
 - ◆ PRE-FINISHED METAL CAP FLASHING
 - ◆ STOREFRONT OR CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
 - ◆ STOREFRONT OR CURTAIN WALL GLASS - CLEAR LOW-E
 - ◆ STEEL MANDOORS - PAINTED
 - ◆ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
 - ◆ STEEL GUARDRAILS - PAINTED
 - ◆ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
 - ◆ LIGHT FIXTURE - SEE ELECTRICAL DWG'S
 - ◆ CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
 - ◆ 3/4\"/>
 - ◆ SPANDREL GLAZING (OBSCURE LIGHT GREY)
 - ◆ SCUPPER
 - ◆ PRE-FINISHED METAL PANEL CANOPY
 - ◆ STEEL BOLLARD - PAINTED
 - ◆ PAINT STRIPE
 - ◆ LONGBOARD SIDING, FLOATING SYSTEM - WHITE OAK
- PROJECT COLOURS**
- ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT:
- ① MAIN FIELD COLOUR 1: CHANTILLY LACE 2121-10
 - ② FIELD ACCENT COLOUR 1: CHELSEA GRAY HC-169
 - ③ FIELD ACCENT COLOUR 2: KNOXVILLE GRAY HC-160
 - ④ FIELD ACCENT COLOUR 3: ABYSS 2128-20
- EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM
TYPICAL GLAZING: CLEAR (LOW E, ASHRAE 90.1 2010 COMPLIANT)
TYPICAL METAL CAP FLASHING: ① RESIDENT GREY GC8750
② CHARCOAL GC8506
③ WARM GRAY 5-0770
- PROJECT COLOURS**
- ALL TINTED GLAZING TO BE OLDCASTLE GLASS:
- ① TINTED GLAZING VANCEVA INTERLAYER COLOUR #2221
- NOTES:**
- * NOTE: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING.
 - NOTES:
 - ALL GLAZING TO BE ASHRAE 90.1 2010 COMPLIANT, PROVIDE ALL REQUIRED DOCUMENTATION.
 - EXTERIOR GLAZING TO BE GUARDIAN S&X 62/21 OR APPROVED EQUAL IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAMES. THE LOW E SEALED GLAZING WILL BE FILLED WITH ARGON.
 - * ALL GRADES APPROXIMATE, CIVIL DRAWINGS TO SUPERSEDE ARCH DRAWINGS

Beedie | Development Group
3030 GILMORE DIVSN., BURNABY, V5G 3B4
TEL: (604) 435-3321 FAX: (604) 432-7949

CHIP BARRETT ARCHITECT
#1169-2-2228 - 602 ST. SURVEYOR, C.C. V3Z 6P4
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2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
TEL: (604) 607-5655 EMAIL: DARC@DFORCE.CA

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6	JUL.12.17	REVISED EAST & WEST ELEVATION
5	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
4	FEB.28.17	CLIENT REVIEW
3	FEB.24.17	CLIENT USE
2	DEC.08.15	CLIENT USE
1	NOV.17.16	CLIENT REVIEW
NO.	DATE	DESCRIPTION

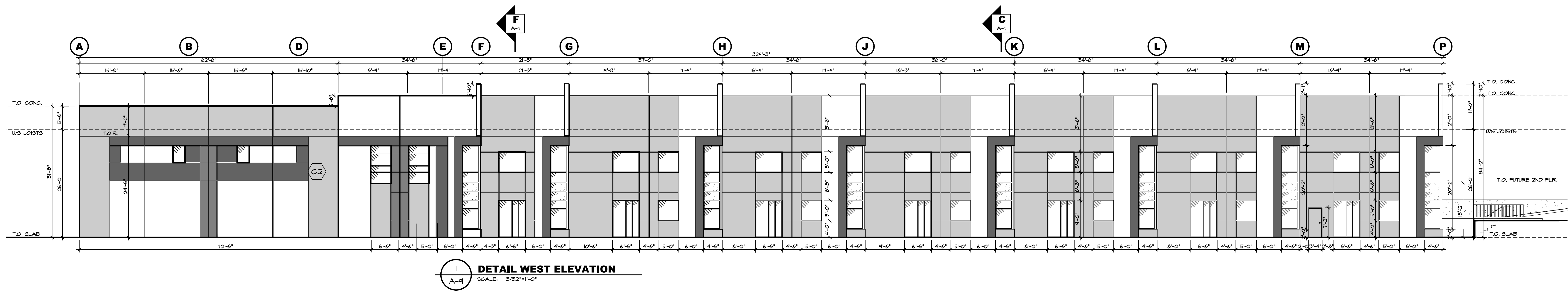
PROJECT: PROPOSED BUILDING:
275TH AND 48TH SPEC

ADDRESS: GLOUCESTER ESTATES, LANGLEY, BC

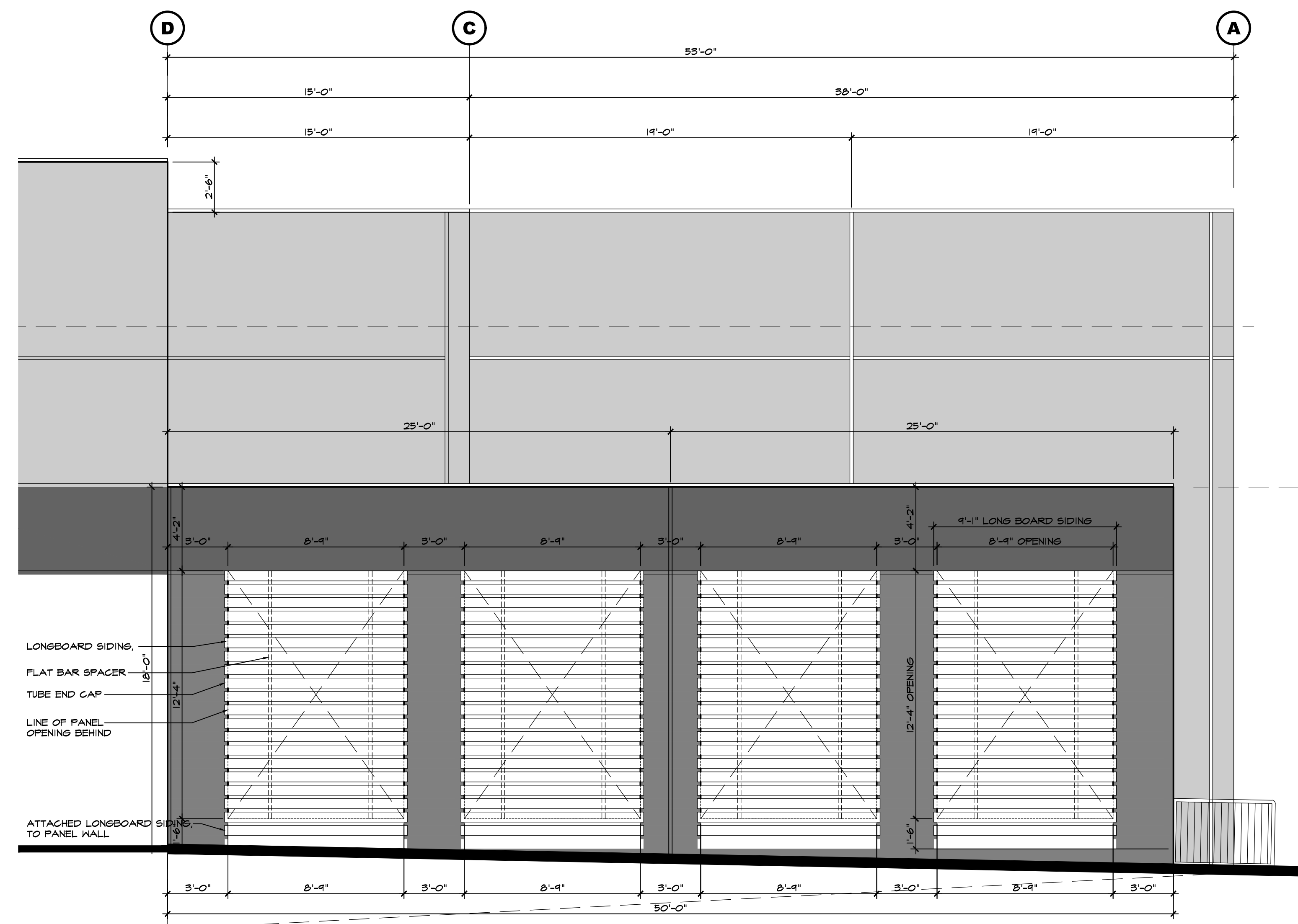
DRAWING

OVERALL COLOUR ELEVATIONS

SEAL	JOB NO. 16-056	DRAWN D.F.
	DESIGNED	
	CHECKED	
	PLOT DATE JUL.12.17	
PROJECT - DRAWING NUMBER		REV.
A-5c		6



1
A-9
DETAIL WEST ELEVATION
SCALE: 3/32"=1'-0"



2
A-9
**PARTIAL EAST ELEVATION
SCREEN WALL DETAIL ELEVATION**
SCALE: 1/4"=1'-0"

MATERIAL LEGEND

- ◆ CONCRETE SANDWICH TILT-UP WALL PANEL, TYP. - PAINTED
- ◆ REVEAL IN CONCRETE - PAINTED
- ◆ PANEL JOINT
- ◆ PRE-FINISHED METAL GAP FLASHING
- ◆ STOREFRONT OR CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- ◆ STOREFRONT OR CURTAIN WALL GLASS - CLEAR LOW-E
- ◆ STEEL MANDOORS - PAINTED
- ◆ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- ◆ STEEL GUARDRAILS - PAINTED
- ◆ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- ◆ LIGHT FIXTURE - SEE ELECTRICAL DWGS
- ◆ CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- ◆ 3/4" RECESS IN CONCRETE
- ◆ SPANDREL GLAZING (OBSCURE LIGHT GREY)
- ◆ SCUPPER
- ◆ PRE-FINISHED METAL PANEL CANOPY
- ◆ STEEL BOLLARD - PAINTED
- ◆ PAINT STRIPE
- ◆ LONGBOARD SIDING, FLOATING SYSTEM - WHITE OAK

PROJECT COLOURS

- ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT.
- ① MAIN FIELD COLOUR 1: CHANTILLY LACE 2121-10
 - ② FIELD ACCENT COLOUR 1: CHELSEA GRAY HC-169
 - ③ FIELD ACCENT COLOUR 2: KNOXVILLE GRAY HC-160
 - ④ FIELD ACCENT COLOUR 3: ABYSS 2128-20
- EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
 ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM
 TYPICAL GLAZING: CLEAR (LOW E, ASHRAE 90.1 2010 COMPLIANT)
 TYPICAL METAL GAP FLASHING: ● C1 REGENT GREY GC8750
 ● C2 CHARCOAL GC8506
 WARM GRAY 5-0710

PROJECT COLOURS

- ALL TINTED GLAZING TO BE OLDCASTLE GLASS.
- ① TINTED GLAZING: VANCEVA INTERLAYER COLOUR #2227

* NOTE: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING.

NOTES:
 - ALL GLAZING TO BE ASHRAE 90.1 2010 COMPLIANT, PROVIDE ALL REQUIRED DOCUMENTATION.
 - EXTERIOR GLAZING TO BE GUARDIAN S&X 62/21 OR APPROVED EQUAL IN THERMALLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES. THE LOW E SEALED GLAZING WILL BE FILLED WITH ARGON.

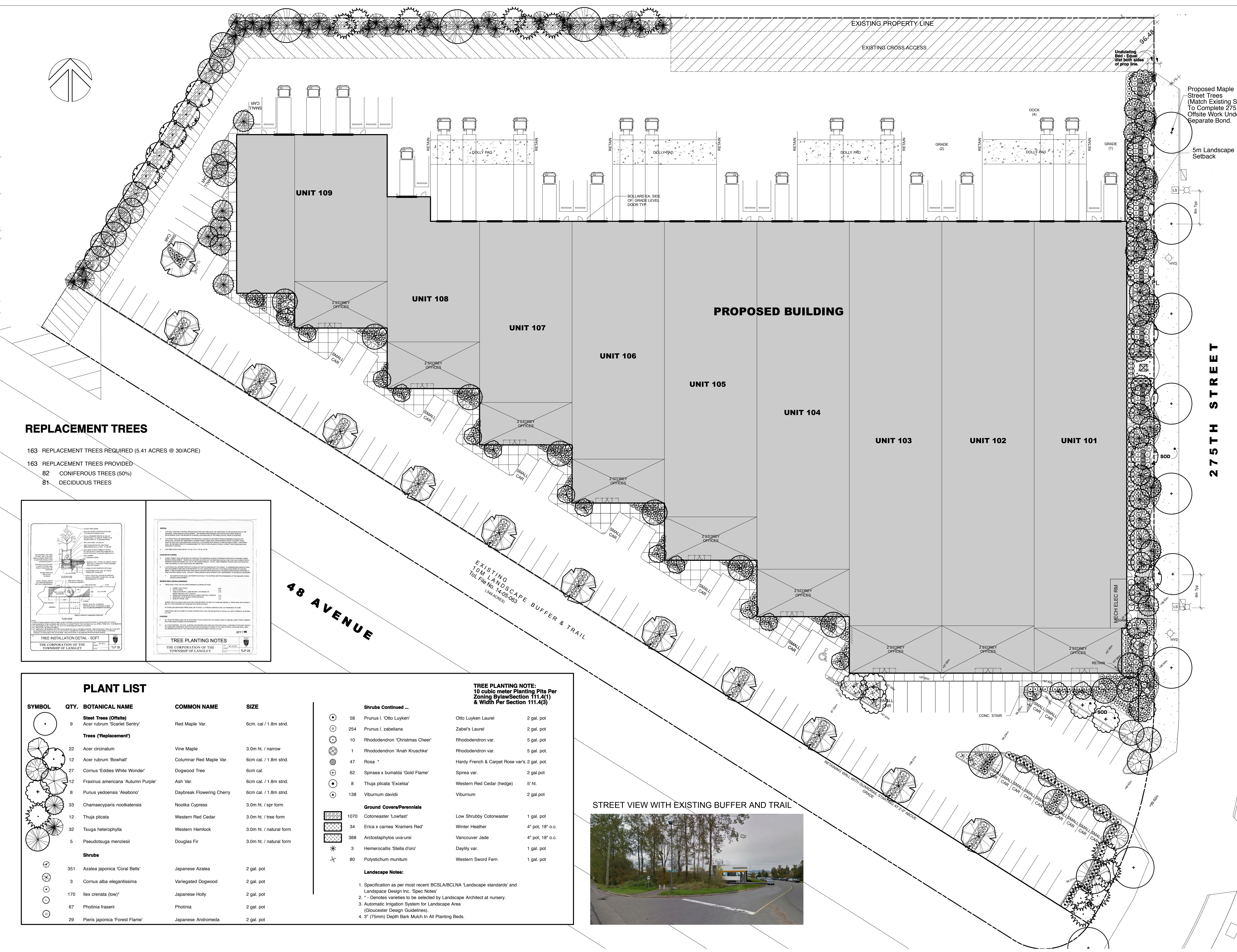
* ALL GRADES APPROXIMATE, CIVIL DRAWINGS TO SUPERSEDE ARCH. DRAWINGS

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4	JUL 12 17	REVISED EAST & WEST ELEVATION
3	MAY 05 17	ISSUED FOR CONSULTANT USE
2	MAR 03 17	ISSUED FOR DEVELOPMENT PERMIT
1	FEB 20 17	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION

PROJECT PROPOSED BUILDING:
275TH AND 48TH SPEC
ADDRESS: GLOUCESTER ESTATES, LANGLEY, BC
DRAWING
ELEVATIONS

SEAL	JOB NO. 16-056	DRAWN D.F.
	DESIGNED	
	CHECKED	
	PLLOT DATE JUL 12 17	
PROJECT - DRAWING NUMBER		REV.
A-9		4



Proposed Maple Street Trees (Match Existing Sp.) To Complete 275 St. Offsite Work Under Separate Bond.

5m Landscape Setback

275TH STREET

EXISTING PROPERTY LINE

EXISTING CROSS ACCESS

UNDULATING BED - EQUAL DIST. BOTH SIDES OF PROP. LINE.

DOCK (4)

GRADE (2)

GRADE (1)

RETAIN

DOLLY PAD

BOLLARD EA. SIDE OF GRADE LEVEL DOOR TYP.

SMALL CAR

2-STORY OFFICES

MECH/ELEC RM

CONC. STAIR

HYD

LS

6m TYP

8m TYP

9m TYP

10m TYP

11m TYP

12m TYP

13m TYP

14m TYP

15m TYP

16m TYP

17m TYP

18m TYP

19m TYP

20m TYP

21m TYP

22m TYP

23m TYP

24m TYP

25m TYP

26m TYP

27m TYP

28m TYP

29m TYP

30m TYP

31m TYP

32m TYP

Beedie | Development Group

3030 GILMORE DYSN., BURNABY, V5G 3B4
TEL: (604) 435-3321 FAX: (604) 432-7349



REPLACEMENT TREES

163 REPLACEMENT TREES REQUIRED (5.41 ACRES @ 30/ACRE)

163 REPLACEMENT TREES PROVIDED

82 CONIFEROUS TREES (50%)

81 DECIDUOUS TREES

TREE INSTALLATION DETAIL - SOFT

THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

TREE PLANTING NOTES

THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Street Trees (Offsite)				
•	9	Acer rubrum 'Scarlet Sentry'	Red Maple Var.	6cm cal. / 1.8m std.
Trees (Replacement)				
○	22	Acer circinatum	Vine Maple	3.0m ht. / narrow
○	12	Acer rubrum 'Bowhall'	Columnar Red Maple Var.	6cm cal. / 1.8m std.
○	27	Cornus 'Eddies White Wonder'	Dogwood Tree	6cm cal.
○	12	Fraxinus americana 'Autumn Purple'	Ash Var.	6cm cal. / 1.8m std.
○	8	Punus yedoensis 'Akebono'	Daybreak Flowering Cherry	6cm cal. / 1.8m std.
○	33	Chamaecyparis nooklatensis	Nootka Cypress	3.0m ht. / spr form
○	12	Thuja plicata	Western Red Cedar	3.0m ht. / tree form
○	32	Tsuga heterophylla	Western Hemlock	3.0m ht. / natural form
○	5	Pseudotsuga menziesii	Douglas Fir	3.0m ht. / natural form
Shrubs				
⊗	351	Azalea japonica 'Coral Bells'	Japanese Azalea	2 gal. pot
⊗	3	Cornus alba elegantissima	Variiegated Dogwood	2 gal. pot
⊗	170	Ilex crenata (low)	Japanese Holly	2 gal. pot
⊗	67	Photinia fraserii	Photinia	2 gal. pot
⊗	29	Pieris japonica 'Forest Flame'	Japanese Andromeda	2 gal. pot
Shrubs Continued ...				
⊗	58	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	2 gal. pot
⊗	254	Prunus l. zabeliana	Zabel's Laurel	2 gal. pot
⊗	10	Rhododendron 'Christmas Cheer'	Rhododendron var.	5 gal. pot
⊗	1	Rhododendron 'Anah Kruschke'	Rhododendron var.	5 gal. pot
⊗	47	Rosa *	Hardy French & Carpet Rose var's	2 gal. pot
⊗	62	Spiraea x bumalda 'Gold Flame'	Spiraea var.	2 gal. pot
⊗	8	Thuja plicata 'Excelsa'	Western Red Cedar (hedge)	5' ht.
⊗	138	Viburnum davidii	Viburnum	2 gal. pot
Ground Covers/Perennials				
■	1070	Cotoneaster 'Lowfast'	Low Shrubby Cotoneaster	1 gal. pot
■	34	Erica x carnea 'Kramers Red'	Winter Heather	4" pot, 18" o.c.
■	388	Arctostaphylos uva-ursi	Vancouver Jade	4" pot, 18" o.c.
✱	3	Hemerocallis 'Stella d'oro'	Daylily var.	1 gal. pot
✱	80	Polystichum munium	Western Sword Fern	1 gal. pot
Landscape Notes:				
1. Specification as per most recent BCSLA/BCLNA 'Landscape standards' and Landscape Design Inc. 'Spec Notes'				
2. * - Denotes varieties to be selected by Landscape Architect at nursery.				
3. Automatic Irrigation System for Landscape Area (Gloucester Design Guidelines).				
4. 3" (75mm) Depth Bark Mulch in All Planting Beds.				

STREET VIEW WITH EXISTING BUFFER AND TRAIL



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3 SEP 01'17 ISSUE FOR BUILDING PERMIT

2 AUG 16'17 REISSUE FOR DEVELOPMENT PERMIT

1 MAR 14'17 ISSUE FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION

SEAL

PROJECT PROPOSED:

275TH MULTI

ADDRESS: 275th & 48th Ave., Langley, B.C.
LEGAL: Lot 1 Section 5 Township 14 NWD Plan EPP70774

DRAWING

LANDSCAPE PLAN

TOL FILE # 14-05-0098

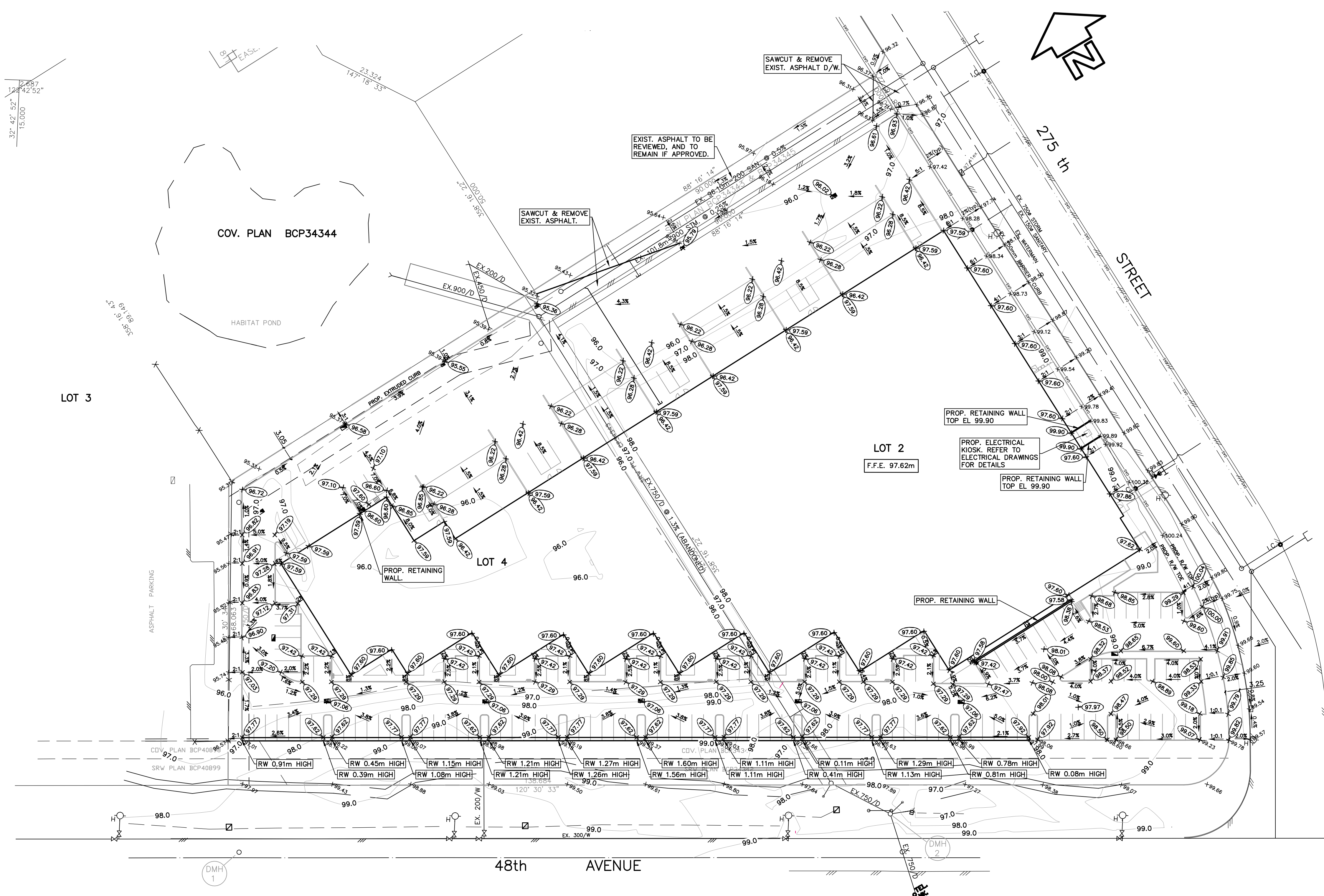
DRAWN	ACT

SCALE: 1"=20'-0"

PLOT DATE: FEB 17/17

PROJECT - DRAWING NUMBER

L-1



SITE PLAN
1:500

TRANS CANADA HIGHWAY

- PROPOSED RETAINING WALL
- PROPOSED FINISHED GRADE
- EXISTING GROUND

NOTES
CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT.

BENCHMARK
MONUMENT G.C.M. 507327 (OCM 89H5034)
ELEVATION 99.591m
SOUTH SIDE OF 272 STREET AND 48 AVENUE INTERSECTION, LANGLEY

LEGAL
LOT 4, SECTION 5, TOWNSHIP 14, NEW WESTMINSTER DISTRICT, BCP40897 & LOT 2, SECTION 5, TOWNSHIP 14, NEW WESTMINSTER DISTRICT, BCP34340

OWNER

ENGINEER

project managers
planners
engineers
architects
David Nairne - Associates Ltd

Suite 250
171 West Esplanade
North Vancouver
BC V7M 3J9
CANADA
T 604 984 3503
F 604 984 0027
E dna@dnainc.com

SEAL
MELISSA FAHEY PROFESSIONAL ENGINEER, IN GOOD STANDING IN AND FOR THE PROVINCE OF BRITISH COLUMBIA, HEREBY CERTIFY THAT THE WORKS IN HEREIN SET OUT ON THE ATTACHED DRAWINGS HAVE BEEN DESIGNED TO GOOD ENGINEERING PRACTICE AND IN COMPLIANCE WITH THE TOWNSHIP OF LANGLEY SUBDIVISION AND DEVELOPMENT CONTROL BYLAW, EXCEPT AS NOTED BELOW.
EXCEPTIONS:

No	Date	REVISIONS
1	JULY 31, 17	ISSUED FOR CLIENT REVIEW

PLAN	DATE	BY	APP'D BY
AS NOTED	JULY 12 2017	DJS	MF

MUNICIPAL PROJECT No. 14-05-0098

The Corporation of the Township of Langley

PRELIMINARY SITE GRADING PLAN

DESIGN FILE No 5617 PLAN No C2

AS BUILT No. SHEET NO. 2 of 1 REV. 1

PROPOSED BUILDING FOR :

275TH AVE. MULTI TENANT

275TH & 48TH AVE., GLOUCESTER INDUSTRIAL ESTATES, LANGLEY, BC
 LEGAL: LOT 2 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP34340
 LOT 4 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP40897

ARCHITECTURAL DRAWING LIST

COVER SHEET	A-0
SITE PLAN	A-1
OVERALL COLOUR ELEVATIONS	A-5c
LANDSCAPE PLAN	L-1

Beedie | Development Group
 3030 GILMORE DIVSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7949



CHIP BARRETT ARCHITECT
 #162-2228 - 802 ST. SURREY, B.C. V3Z 6P4
 IN ASSOCIATION WITH
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 TEL: (604) 607-5655 EMAIL: DARC@DFORCE.CA

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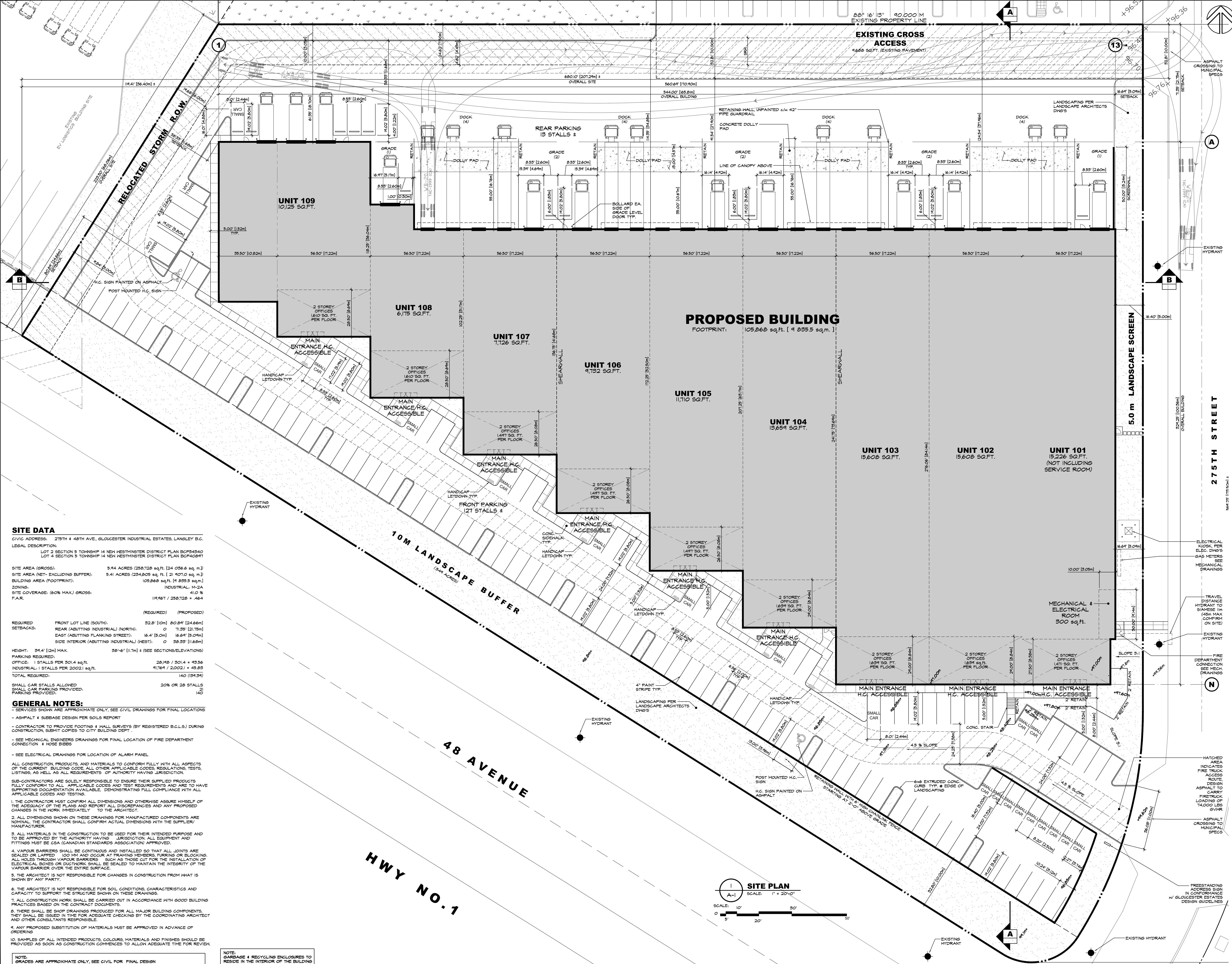


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6	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
5	FEB.28.17	CLIENT REVIEW
4	FEB.22.17	CLIENT REVIEW
3	FEB.10.17	CLIENT REVIEW
2	JAN.18.17	CLIENT REVIEW
1	NOV.17.16	CLIENT REVIEW

NO.	DATE	DESCRIPTION
6	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
5	FEB.28.17	CLIENT REVIEW
4	FEB.22.17	CLIENT REVIEW
3	FEB.10.17	CLIENT REVIEW
2	JAN.18.17	CLIENT REVIEW
1	NOV.17.16	CLIENT REVIEW

PROJECT:
 PROPOSED BUILDING:
275TH MULTI
 ADDRESS: GLOUCESTER ESTATES, LANGLEY, BC
 DRAWING
COVERSHEET

SEAL	JOB NO. 16-056	DRAWN D.F.
	DESIGNED	
	CHECKED	
	PLOT DATE	MAR.22.17



SITE DATA

CIVIC ADDRESS: 275TH & 48TH AVE., GLOUCESTER INDUSTRIAL ESTATES, LANGLEY B.C.
 LEGAL DESCRIPTION: LOT 2 SECTION 5 TOWNSHIP 14 NEA WESTMINSTER DISTRICT PLAN BC634340
 LOT 4 SECTION 5 TOWNSHIP 14 NEA WESTMINSTER DISTRICT PLAN BC640847

SITE AREA (GROSS): 5.44 ACRES (234,728 sq. ft. [24,056.8 sq. m])
 SITE AREA (NET EXCLUDING BUFFER): 5.41 ACRES (234,808 sq. ft. [24,107.0 sq. m])
 BUILDING AREA (FOOTPRINT): 105,868 sq. ft. [9,835.5 sq. m]
 ZONING: INDUSTRIAL M-2A
 SITE COVERAGE (60% MAX) GROSS: 41.0 %
 F.A.R.: 119.467 / 258,728 = .464

	(REQUIRED)	(PROPOSED)
FRONT LOT LINE (SOUTH)	32.8' (10m)	80.84' (24.66m)
REAR (ABUTTING INDUSTRIAL) (NORTH)	0	71.95' (21.75m)
EAST (ABUTTING FLANKING STREET)	16.4' (5.0m)	16.64' (5.09m)
SIDE INTERIOR (ABUTTING INDUSTRIAL) (WEST)	0	59.53' (18.05m)

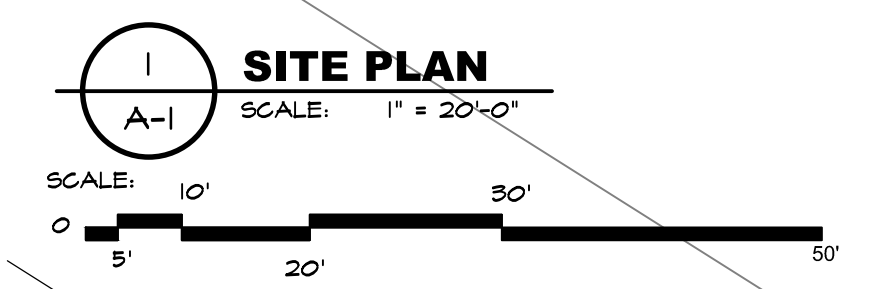
HEIGHT: 35'-4" (10.8m) MAX. 35'-6" (11.1m) ± (SEE SECTIONS/ELEVATIONS)

PARKING REQUIRED:

OFFICE: 1 STALLS PER 301.4 sq. ft.	20,148 / 301.4 = 66.87
INDUSTRIAL: 1 STALLS PER 2002.1 sq. ft.	41,764 / 2,002.1 = 20.86
TOTAL REQUIRED:	140 (134.94)

SMALL CAR STALLS ALLOWED: 20% OR 28 STALLS
 SMALL CAR PARKING PROVIDED: 28

- GENERAL NOTES:**
- SERVICES SHOWN ARE APPROXIMATE ONLY, SEE CIVIL DRAWINGS FOR FINAL LOCATIONS
 - ASHPALT & SUBBASE DESIGN PER SOILS REPORT
 - CONTRACTOR TO PROVIDE FOOTING & WALL SURVEYS (BY REGISTERED B.C.L.S.) DURING CONSTRUCTION. SUBMIT COPIES TO CITY BUILDING DEPT.
 - SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & HOSE BIBBS
 - SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL
 - ALL CONSTRUCTION PRODUCTS AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODE, ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS, AS WELL AS ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
 - SUB-CONTRACTORS ARE SOLELY RESPONSIBLE TO ENSURE THEIR SUPPLIED PRODUCTS FULLY CONFORM TO ALL APPLICABLE CODES AND TEST REQUIREMENTS AND ARE TO HAVE SUPPORTING DOCUMENTATION AVAILABLE, DEMONSTRATING FULL COMPLIANCE WITH ALL APPLICABLE CODES AND TESTING.
 - THE CONTRACTOR MUST CONFIRM ALL DIMENSIONS AND OTHERWISE ASSURE HIMSELF OF THE ACCURACY OF THE PLANS AND REPORT ALL DISCREPANCIES AND ANY PROPOSED CHANGES IN THE WORK IMMEDIATELY TO THE ARCHITECT.
 - ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL. THE CONTRACTOR SHALL CONFIRM ACTUAL DIMENSIONS WITH THE SUPPLIER/MANUFACTURER.
 - ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. ALL EQUIPMENT AND FITTINGS MUST BE CSA (CANADIAN STANDARDS ASSOCIATION) APPROVED.
 - VAPOUR BARRIERS SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS ARE SEALED OR LAPPED 100 MM AND OCCUR AT FRAMING MEMBERS, PURLIN OR BLOCKING. ALL HOLES THROUGH VAPOUR BARRIERS SUCH AS THOSE CUT FOR THE INSTALLATION OF ELECTRICAL BOXES OR DUCTWORK SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE SURFACE.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.
 - ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
 - THERE SHALL BE SHOP DRAWINGS PROVIDED FOR ALL MAJOR BUILDING COMPONENTS. THEY SHALL BE ISSUED IN TIME FOR ADEQUATE CHECKING BY THE COORDINATING ARCHITECT AND OTHER CONSULTANTS RESPONSIBLE.
 - ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF ORDERING.
 - SAMPLES OF ALL INTENDED PRODUCTS, COLOURS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES TO ALLOW ADEQUATE TIME FOR REVIEW.
- NOTE: GRADES ARE APPROXIMATE ONLY, SEE CIVIL FOR FINAL DESIGN
- NOTE: GARBAGE & RECYCLING ENCLOSURES TO RESIDE IN THE INTERIOR OF THE BUILDING



Beedie | Development Group
 3030 GILMORE DIVSN., RURNARY, V6G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7549

CHIP BARRETT ARCHITECT
 #169-2-2228 - 602-551-5URRETT@C.A. V3Z 6P4
 IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 2625A ALLIANCE STREET, ABBOTSFORD, B.C., V2S 3J9
 TEL: (604) 607-5655 EMAIL: DARC@DFORCE.CA

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NO.	DATE	DESCRIPTION
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5	MAR.16.17	FREESTANDING SIGN ADDED
4	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
3	FEB.24.17	CLIENT USE
2	FEB.17.17	CLIENT REVIEW
1	NOV.17.16	CLIENT REVIEW

PROJECT: PROPOSED BUILDING: **275TH MULTI**

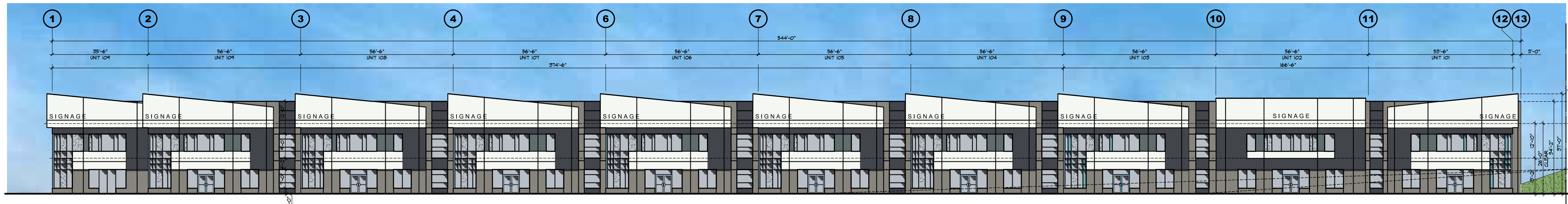
ADDRESS: GLOUCESTER ESTATES, LANGLEY, BC

DRAWING: **SITE PLAN**

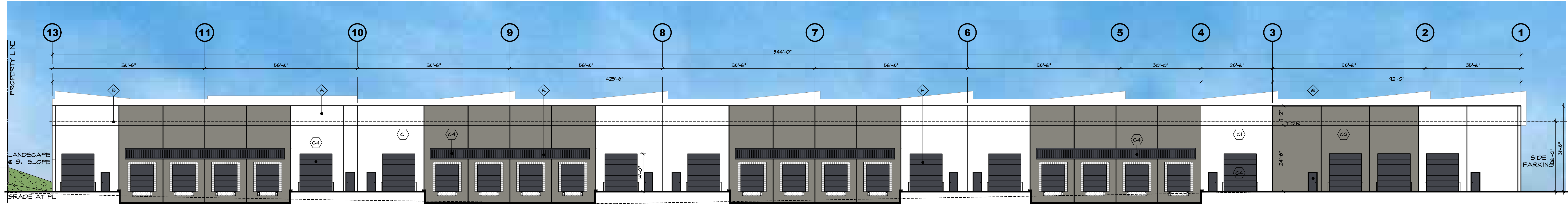
SEAL	JOB NO.	DRAWN
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	CHECKED	
	PLOT DATE	MAR.21.17

PROJECT - DRAWING NUMBER: **A-1**

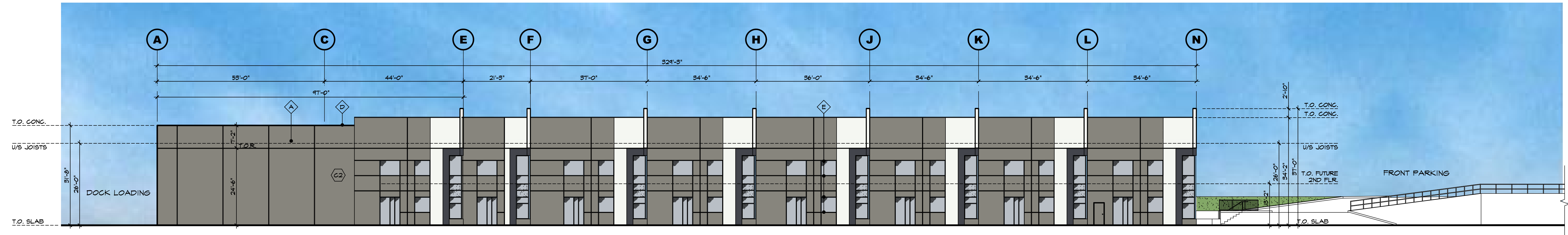
REV. **5**



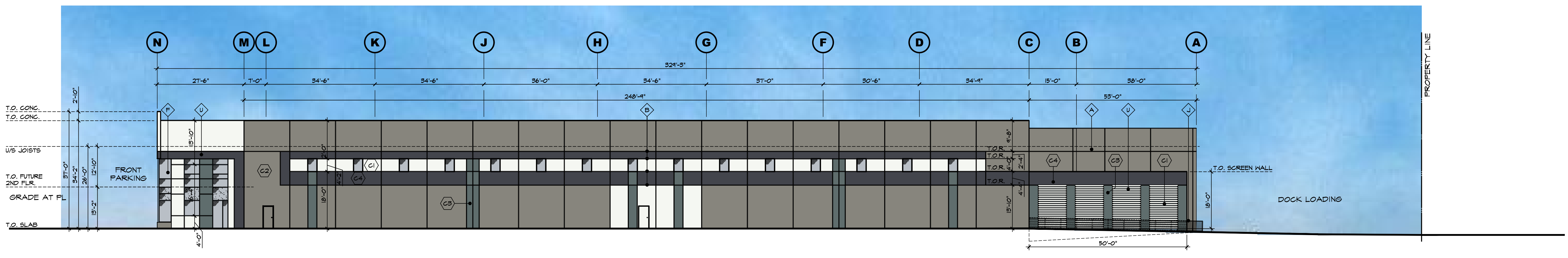
1 SOUTH ELEVATION
A-5 SCALE: 1/16"=1'-0"



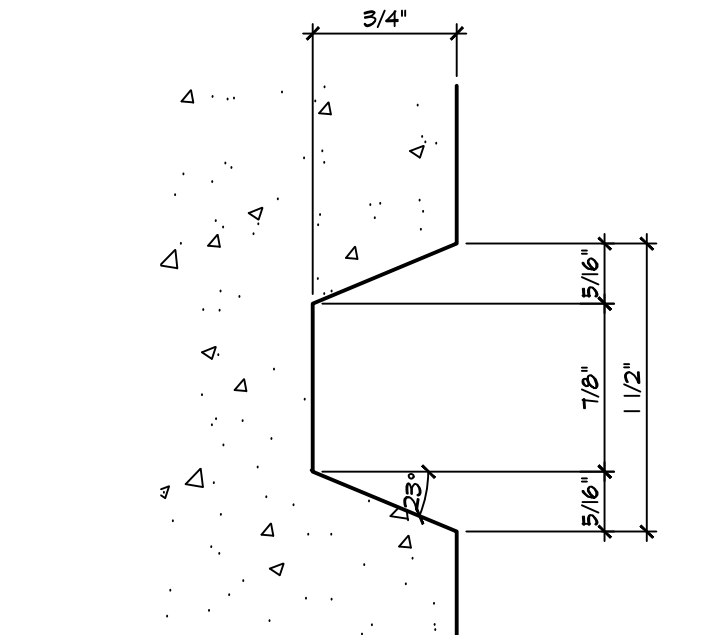
2 NORTH ELEVATION
A-5 SCALE: 1/16"=1'-0"



3 WEST ELEVATION
A-5 SCALE: 1/16"=1'-0"



4 EAST ELEVATION
A-5 SCALE: 1/16"=1'-0"



5 TYP. REVEAL DETAIL
A-5 FULL SCALE

MATERIAL LEGEND

- ◆ CONCRETE SANDWICH TILT-UP WALL PANEL, TYP. - PAINTED
- ◆ REVEAL IN CONCRETE - PAINTED
- ◆ PANEL JOINT
- ◆ PRE-FINISHED METAL GAP FLASHING
- ◆ STOREFRONT OR CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- ◆ STOREFRONT OR CURTAIN WALL GLASS - CLEAR LOW-E
- ◆ STEEL MANDOOKS - PAINTED
- ◆ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- ◆ STEEL GUARDRAILS - PAINTED
- ◆ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- ◆ LIGHT FIXTURE - SEE ELECTRICAL DWG'S
- ◆ CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- ◆ 3/4" REGRESS IN CONCRETE
- ◆ SPANDREL GLAZING (OBSCURE LIGHT GREY)
- ◆ SCUPPER
- ◆ PRE-FINISHED METAL PANEL CANOPY
- ◆ STEEL BALLARD - PAINTED
- ◆ PAINT STRIPE
- ◆ LONGBOARD SIDING - WHITE OAK

PROJECT COLOURS

ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT:

- ① MAIN FIELD COLOUR 1: CHANTILLY LACE 2121-10
- ② FIELD ACCENT COLOUR 1: CHELSEA GRAY HC-169
- ③ FIELD ACCENT COLOUR 2: KNOXVILLE GRAY HC-160
- ④ FIELD ACCENT COLOUR 3: ABYSS 2128-20

EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
 ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM
 TYPICAL GLAZING: CLEAR (LOW E, ASHRAE 90.1 2010 COMPLIANT)
 TYPICAL METAL GAP FLASHING: ① RESISTANT GREY GC8750
 ② CHARCOAL GC8506
 WARM GRAY 5-0770

PROJECT COLOURS

ALL TINTED GLAZING TO BE OLDCASTLE GLASS:

- ① TINTED GLAZING VANCEVA INTERLAYER COLOUR #2221

NOTES:

- * NOTE: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING.
- * ALL GLAZING TO BE ASHRAE 90.1 2010 COMPLIANT, PROVIDE ALL REQUIRED DOCUMENTATION.
- * EXTERIOR GLAZING TO BE GUARDIAN S&X 62/21 OR APPROVED EQUAL IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAMES. THE LOW E SEALED GLAZING WILL BE FILLED WITH ARGON.
- * ALL GRADES APPROXIMATE, CIVIL DRAWINGS TO SUPERSEDE ARCH DRAWINGS

AREAS:
GLAZING 7,451 sq.ft.

Beedie | Development Group
 3030 GILMORE DIVSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7949

CHIP BARRETT ARCHITECT
 #1162-2228 - 802 ST. SURREY, B.C. V3Z 6P4
 IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
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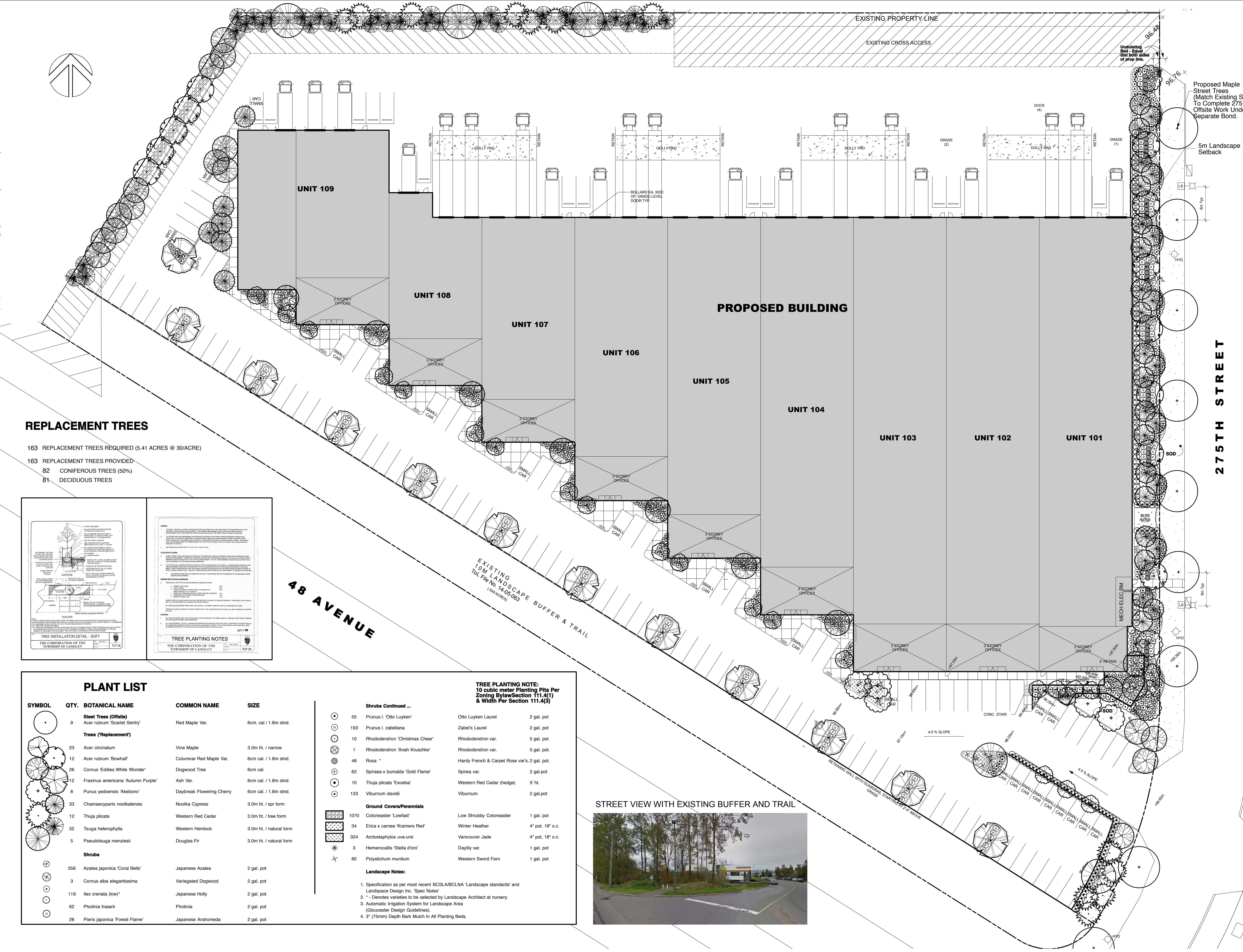
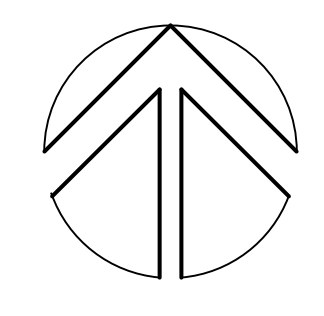
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5	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
4	FEB.28.17	CLIENT REVIEW
3	FEB.24.17	CLIENT USE
2	DEC.08.15	CLIENT USE
1	NOV.17.16	CLIENT REVIEW
NO.	DATE	DESCRIPTION

PROJECT: PROPOSED BUILDING:
275TH MULTI
 ADDRESS: GLOUCESTER ESTATES, LANGLEY, BC

DRAWING
OVERALL COLOUR ELEVATIONS

SEAL	JOB NO.	DRAWN D.F.
	DESIGNED	
	CHECKED	
	PLLOT DATE	MAR.03.17
PROJECT - DRAWING NUMBER		REV.
A-5c		5



Proposed Maple Street Trees (Match Existing Sp.) To Complete 275 St. Offsite Work Under Separate Bond.

5m Landscape Setback

275TH STREET

48 AVENUE

EXISTING 10M LANDSCAPE BUFFER & TRAIL (5.4P ACRES)

REPLACEMENT TREES

- 163 REPLACEMENT TREES REQUIRED (5.41 ACRES @ 30/ACRE)
- 163 REPLACEMENT TREES PROVIDED
 - 82 CONIFEROUS TREES (50%)
 - 81 DECIDUOUS TREES

TREE INSTALLATION DETAIL - SOFT
THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

TREE PLANTING NOTES
THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Street Trees (Offsite)				
•	9	Acer rubrum 'Scarlet Sentry'	Red Maple Var.	6cm cal. / 1.8m std.
Trees (Replacement)				
○	23	Acer circinatum	Vine Maple	3.0m ht. / narrow
○	12	Acer rubrum 'Bowhall'	Columnar Red Maple Var.	6cm cal. / 1.8m std.
○	26	Cornus 'Eddies White Wonder'	Dogwood Tree	6cm cal.
○	12	Fraxinus americana 'Autumn Purple'	Ash Var.	6cm cal. / 1.8m std.
○	8	Punus yedoensis 'Akebono'	Daybreak Flowering Cherry	6cm cal. / 1.8m std.
○	33	Chamaecyparis nooklatensis	Nootka Cypress	3.0m ht. / spr form
○	12	Thuja plicata	Western Red Cedar	3.0m ht. / tree form
○	32	Tsuga heterophylla	Western Hemlock	3.0m ht. / natural form
○	5	Pseudotsuga menziesii	Douglas Fir	3.0m ht. / natural form
Shrubs				
⊗	356	Azalea japonica 'Coral Bells'	Japanese Azalea	2 gal. pot
⊗	3	Cornus alba elegantissima	Variiegated Dogwood	2 gal. pot
⊗	116	Ilex crenata (low)	Japanese Holly	2 gal. pot
⊗	62	Photinia fraserii	Photinia	2 gal. pot
⊗	28	Pieris japonica 'Forest Flame'	Japanese Andromeda	2 gal. pot

Shrubs Continued ...

⊗	55	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	2 gal. pot
⊗	193	Prunus l. zabeliana	Zabel's Laurel	2 gal. pot
⊗	10	Rhododendron 'Christmas Cheer'	Rhododendron var.	5 gal. pot
⊗	48	Rhododendron 'Anah Kruschke'	Rhododendron var.	5 gal. pot
⊗	1	Rosa *	Hardy French & Carpet Rose var's	2 gal. pot
⊗	62	Spiraea x bumalda 'Gold Flame'	Spiraea var.	2 gal. pot
⊗	10	Thuja plicata 'Excelsa'	Western Red Cedar (hedge)	5' ht.
⊗	133	Viburnum davidii	Viburnum	2 gal. pot

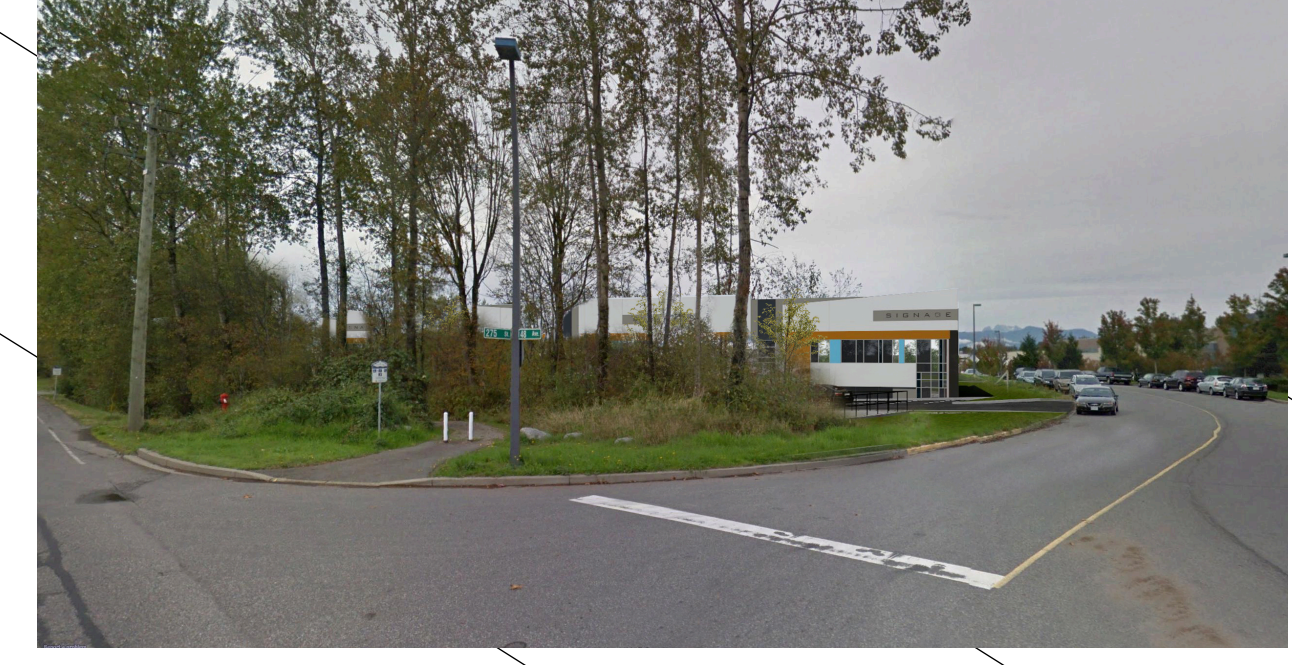
Ground Covers/Perennials

■	1070	Cotoneaster 'Lowfast'	Low Shrubby Cotoneaster	1 gal. pot
■	34	Erica x carnea 'Kramers Red'	Winter Heather	4" pot, 18" o.c.
■	324	Arctostaphylos uva-ursi	Vancouver Jade	4" pot, 18" o.c.
✱	3	Hemerocallis 'Stella d'oro'	Daylily var.	1 gal. pot
✱	80	Polystichum munium	Western Sword Fern	1 gal. pot

Landscaping Notes:

- Specification as per most recent BC SLA/BCLNA 'Landscape standards' and Landscape Design Inc. 'Spec Notes'
- * - Denotes varieties to be selected by Landscape Architect at nursery.
- Automatic Irrigation System for Landscape Area (Gloucester Design Guidelines).
- 3" (75mm) Depth Bark Mulch in All Planting Beds.

STREET VIEW WITH EXISTING BUFFER AND TRAIL



Beedie | Development Group
3030 GILMORE DYSN., BURNABY, V5G 3B4
TEL: (604) 435-3321 FAX: (604) 432-7349



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1 MAR 14 '17	ISSUE FOR DEVELOPMENT PERMIT	
NO.	DATE	DESCRIPTION

PROJECT PROPOSED:

275TH MULTI

ADDRESS: GLOUCESTER ESTATES, LANGLEY, B.C.

DRAWING

LANDSCAPE PLAN

TOL FILE #:

DRAWN	ACT
DESIGNED	
SCALE:	1"=20'-0"
PLOT DATE	FEB 17/17

PROJECT - DRAWING NUMBER

L-1

From: Referrals
To: [Joel Nagtegaal](#)
Subject: Development Application Project 14-05-0098 - DP 100890
Date: Friday, May 12, 2017 7:50:49 AM
Attachments: [image001.png](#)
[Scanned from a Xerox Multifunction Device.pdf](#)
Importance: High

Hello Joel

FortisBC has reviewed the above referral. We do not have any concerns or objections.

Please be advised , going forward, please send all property referrals (developments, subdivisions etc.) to our referrals@fortisbc.com email address. Thank you.

Cristina Vieira, SR/WA

Right of Way Service Representative
Property Services, FortisBC Energy Inc.
16705 Fraser Hwy, Surrey, BC V4N 0E8
Direct Phone (604)-576-7254, Toll Free 1-800-773-7001



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*"FortisBC" refers to the FortisBC group of companies which includes FortisBC Holdings. Inc., FortisBC Energy Inc., FortisBC Inc., FortisBC Alternative Energy Services Inc. and Fortis Generation Inc.

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PROPOSED BUILDING FOR :

275TH AND 48TH SPEC

275TH STREET & 48TH AVE., GLOUCESTER INDUSTRIAL ESTATES, LANGLEY, BC
 LEGAL: LOT 2 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP34340
 LOT 4 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP40897

ARCHITECTURAL DRAWING LIST

COVER SHEET	A-0
CODE REVIEW, SITE DETAILS & SITE SECTIONS	A-1a
SITE DETAILS & SITE SECTIONS	A-1b
SITE PLAN	A-1
OVERALL FLOOR PLAN	A-2
OVERALL UPPER WALL OPENINGS	A-3
EAST WING ENLARGED FLOOR PLAN	A-4
WEST WING ENLARGED FLOOR PLAN	A-5
UNIT 101 & 102 OFFICE/MEZZANINE PLAN	A-6
OVERALL ELEVATIONS	A-7
ELEVATIONS	A-8
ELEVATIONS	A-9
ROOF PLAN & CEILING PLANS	A-10
SECTIONS	A-11
SECTIONS	A-12
DOOR SCHEDULE/DETAILS	A-13
DETAILS	A-14
DETAILS	A-15
DETAILS	A-16

Beedie

3030 GILMORE DIVSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7349



CHIP BARRETT ARCHITECT
 #164-2228 - 802 ST. SURREY, B.C. V3Z 6P4
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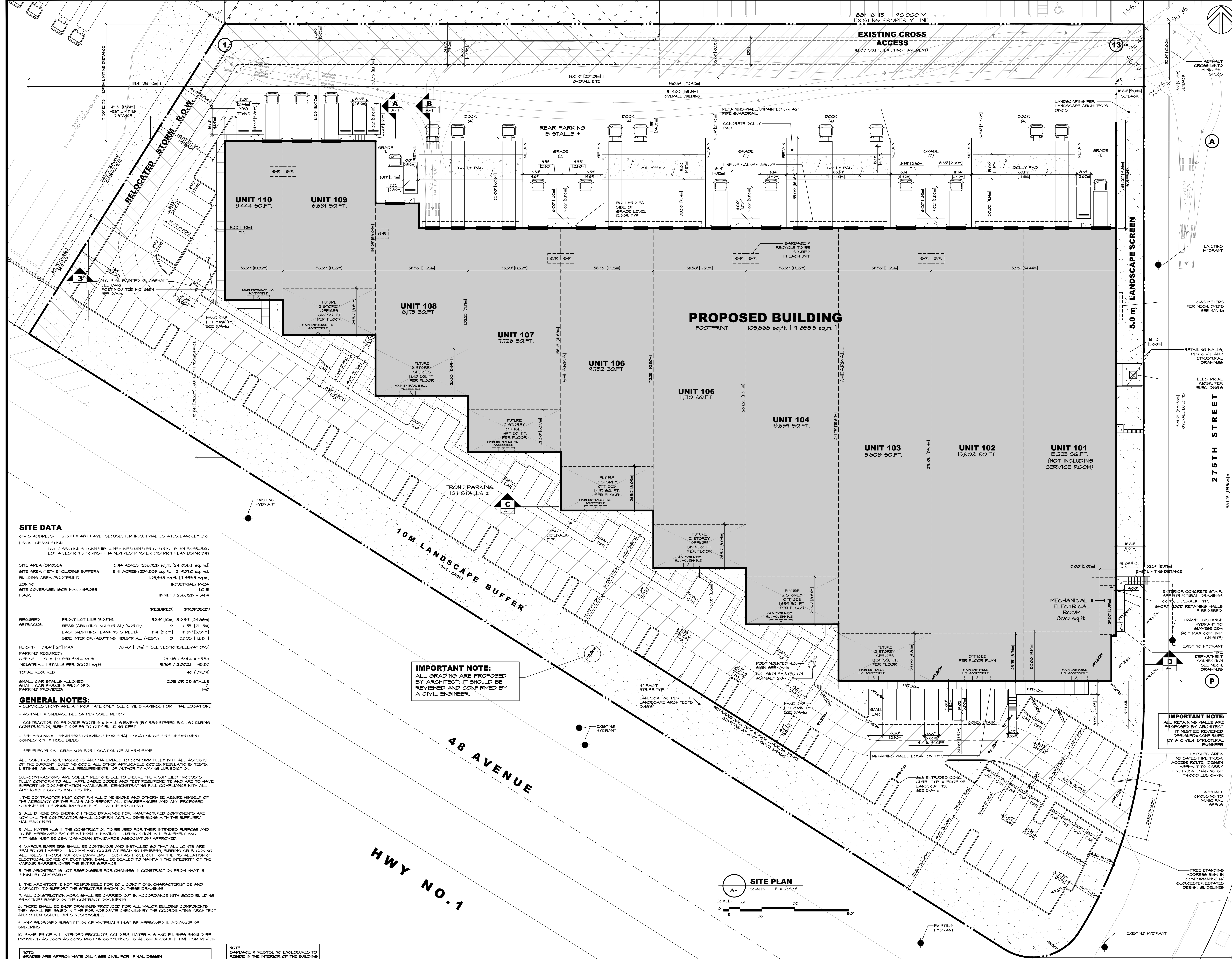
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10	OCT.19.17	ISSUED FOR PLANNING REVIEW
9	AUG.29.17	ISSUED FOR BUILDING PERMIT
8	AUG.28.17	ISSUED FOR BP REVIEW
7	AUG.18.17	ISSUED FOR CONSULTANT USE-2
6	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
5	FEB.22.17	CLIENT REVIEW
4	FEB.22.17	CLIENT REVIEW
3	FEB.10.17	CLIENT REVIEW
2	JAN.18.17	CLIENT REVIEW
1	NOV.17.16	CLIENT REVIEW
NO.	DATE	DESCRIPTION

PROJECT:
 PROPOSED BUILDING:
275TH AND 48TH SPEC
 ADDRESS: LOT 1 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP70774

DRAWING
COVERSHEET

SEAL	JOB NO. 16-056	DRAWN D.F.
	DESIGNED	
	CHECKED	
	PLOT DATE	OCT 19 17

PROJECT - DRAWING NUMBER
A-0
 REV. **10**



SITE DATA

CIVIC ADDRESS: 275TH & 48TH AVE., GLOUCESTER INDUSTRIAL ESTATES, LANGLEY B.C.
LEGAL DESCRIPTION: LOT 2 SECTION 5 TOWNSHIP 14 NEA WESTMINSTER DISTRICT PLAN BC94540 LOT 4 SECTION 5 TOWNSHIP 14 NEA WESTMINSTER DISTRICT PLAN BC94084T

SITE AREA (GROSS): 5.14 ACRES (208,728 sq. ft. [19,420.6 sq. m.])
SITE AREA (NET, EXCLUDING BUFFER): 5.14 ACRES (204,808 sq. ft. [19,070.6 sq. m.])
BUILDING AREA (FOOTPRINT): 105,668 sq. ft. [9,835.5 sq. m.]
ZONING: INDUSTRIAL M-2A
SITE COVERAGE (60% MAX) GROSS: 41.0 %
F.A.R.: 119,167 / 288,728 = .464

	(REQUIRED)	(PROPOSED)
REQUIRED FRONT LOT LINE (SOUTH)	32.8' (10m)	80.84' (24.66m)
REAR (ABUTTING INDUSTRIAL) (NORTH)	0'	71.35' (21.75m)
EAST (ABUTTING PLANKING STREET)	16.4' (5.0m)	16.64' (5.09m)
SIDE INTERIOR (ABUTTING INDUSTRIAL) (WEST)	0'	38.33' (11.69m)

HEIGHT: 35'4" (10m) MAX. 38'-6" (11.7m) ± (SEE SECTIONS/ELEVATIONS)
PARKING REQUIRED:
OFFICE: 1 STALLS PER 501.4 sq. ft. 20/148 / 501.4 = 43.56
INDUSTRIAL: 1 STALLS PER 2002.1 sq. ft. 41,764 / 2,002.1 = 20.86
TOTAL REQUIRED: 140 (134.34)
SMALL CAR STALLS ALLOWED: 20% OR 28 STALLS
SMALL CAR PARKING PROVIDED: 28 (28)
PARKING PROVIDED: 140

GENERAL NOTES:

- SERVICES SHOWN ARE APPROXIMATE ONLY. SEE CIVIL DRAWINGS FOR FINAL LOCATIONS
- ASPHALT & SUBBASE DESIGN PER SOILS REPORT
- CONTRACTOR TO PROVIDE FOOTING & WALL SURVEYS (BY REGISTERED B.C.L.S.) DURING CONSTRUCTION. SUBMIT COPIES TO CITY BUILDING DEPT.
- SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & HOSE BIBBS
- SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL

ALL CONSTRUCTION, PRODUCTS, AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODE. ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS, AS WELL AS ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.

SUB-CONTRACTORS ARE SOLELY RESPONSIBLE TO ENSURE THEIR SUPPLIED PRODUCTS FULLY CONFORM TO ALL APPLICABLE CODES AND TEST REQUIREMENTS AND ARE TO HAVE SUPPORTING DOCUMENTATION AVAILABLE, DEMONSTRATING FULL COMPLIANCE WITH ALL APPLICABLE CODES AND TESTS.

1. THE CONTRACTOR MUST CONFIRM ALL DIMENSIONS AND OTHERWISE ASSURE HIMSELF OF THE ACCURACY OF THE PLANS AND REPORT ALL DISCREPANCIES AND ANY PROPOSED CHANGES IN THE WORK IMMEDIATELY TO THE ARCHITECT.

2. ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL. THE CONTRACTOR SHALL CONFIRM ACTUAL DIMENSIONS WITH THE SUPPLIER/MANUFACTURER.

3. ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. ALL EQUIPMENT AND FITTINGS MUST BE CSA (CANADIAN STANDARDS ASSOCIATION) APPROVED.

4. VAPOUR BARRIERS SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS ARE SEALED OR LAPPED 100 MM AND OCCUR AT FRAMING MEMBERS, PURLING OR BLOCKING. ALL HOLES THROUGH VAPOUR BARRIERS SUCH AS THOSE CUT FOR THE INSTALLATION OF ELECTRICAL BOXES OR DUCTWORK SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE SURFACE.

5. THE ARCHITECT IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.

6. THE ARCHITECT IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.

7. ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.

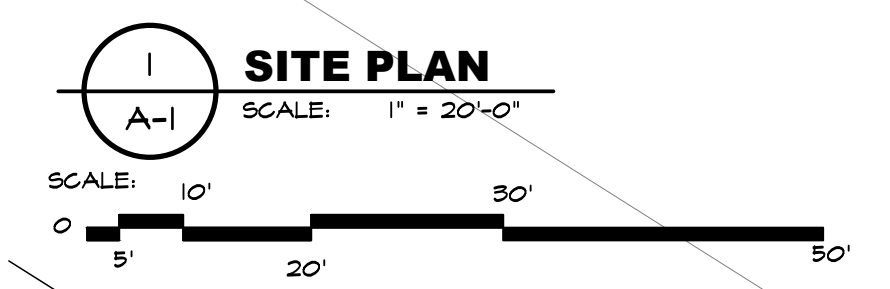
8. THERE SHALL BE SHOP DRAWINGS PROVIDED FOR ALL MAJOR BUILDING COMPONENTS. THEY SHALL BE ISSUED IN TIME FOR ADEQUATE CHECKING BY THE COORDINATING ARCHITECT AND OTHER CONSULTANTS RESPONSIBLE.

9. ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF ORDERING.

10. SAMPLES OF ALL INTENDED PRODUCTS, COLOURS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES TO ALLOW ADEQUATE TIME FOR REVIEW.

IMPORTANT NOTE:
ALL GRADING IS PROPOSED BY ARCHITECT. IT SHOULD BE REVIEWED AND CONFIRMED BY A CIVIL ENGINEER.

IMPORTANT NOTE:
ALL RETAINING WALLS ARE PROPOSED BY ARCHITECT. IT MUST BE REVIEWED, DESIGNED & CONFIRMED BY A CIVIL STRUCTURAL ENGINEER.



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PROJECT: PROPOSED BUILDING: 275TH AND 48TH SPEC

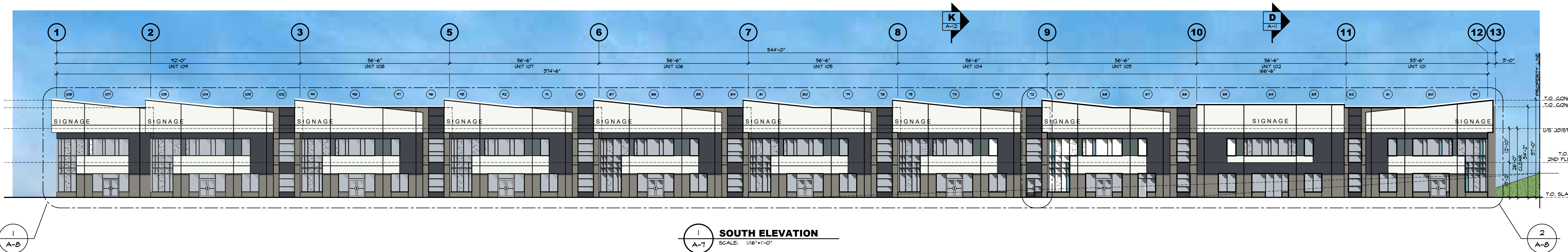
ADDRESS: LOT 1 SECTION 5 TOWNSHIP 14 NEA WESTMINSTER DISTRICT PLAN EPF70774

DRAWING: **SITE PLAN**

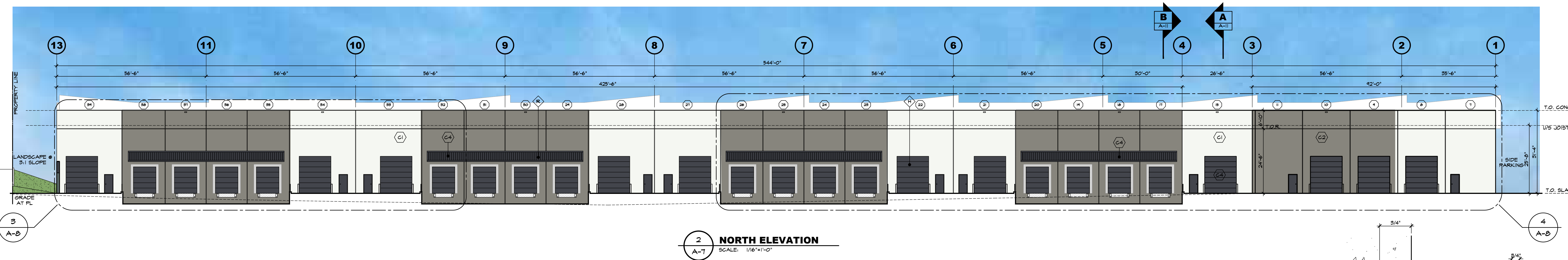
SEAL	JOB NO.	DRAWN
	16-056	D.F.
		DESIGNED
		CHECKED
		PLOT DATE
		OCT 19 17

PROJECT - DRAWING NUMBER: **A-1**

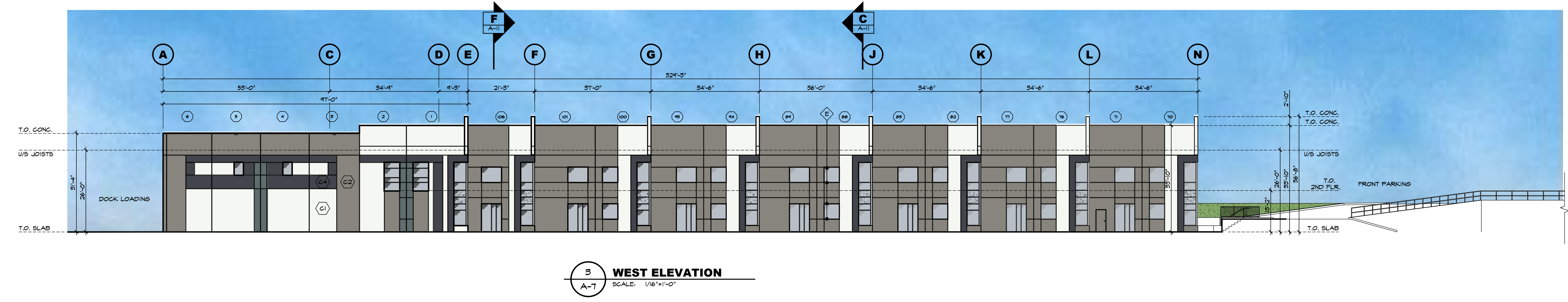
REV: **15**



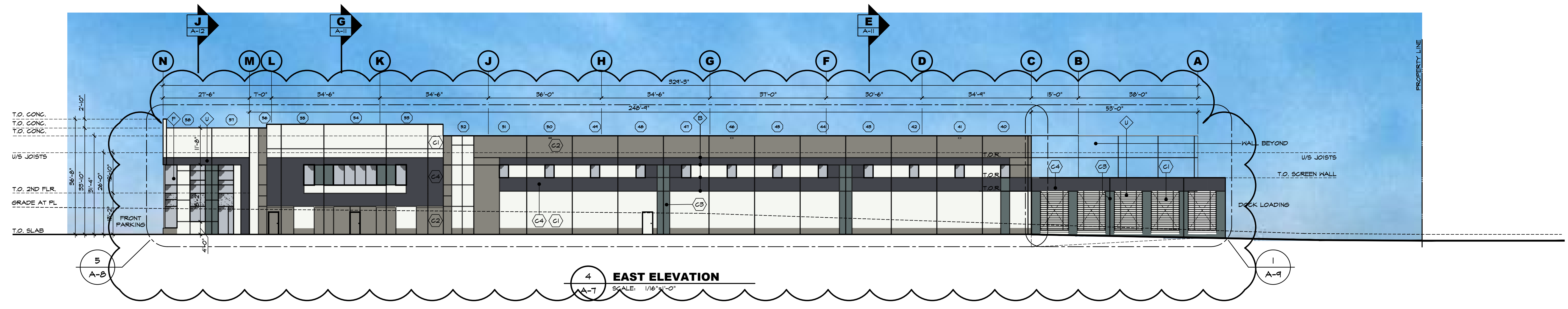
1 SOUTH ELEVATION
SCALE: 1/16"=1'-0"



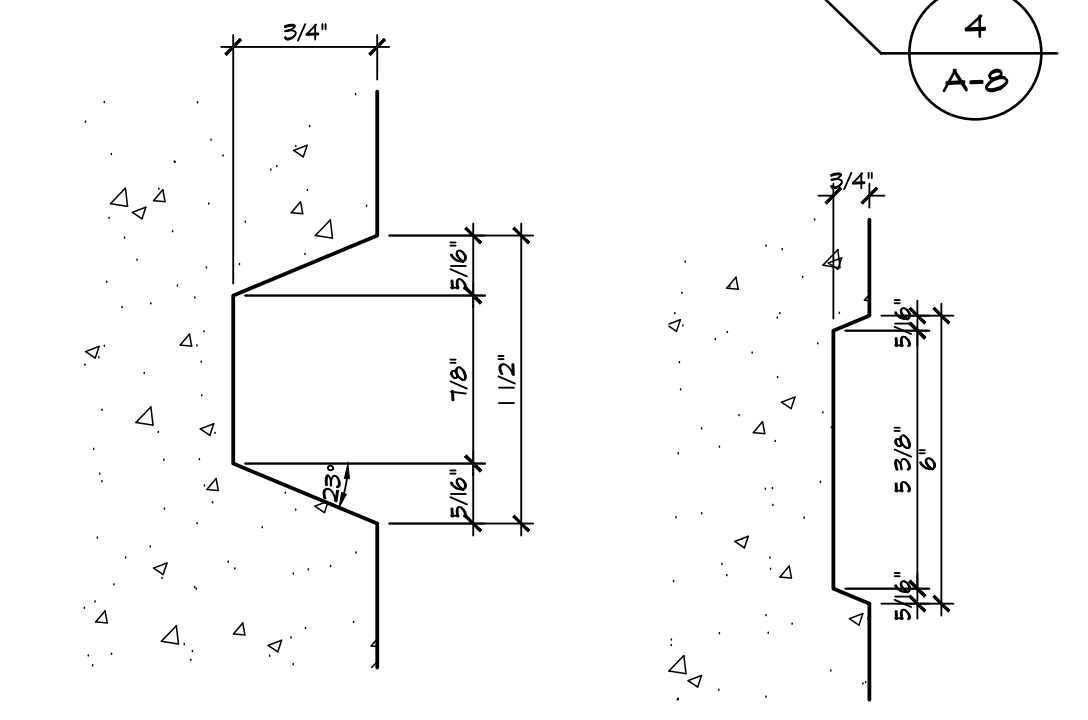
2 NORTH ELEVATION
SCALE: 1/16"=1'-0"



3 WEST ELEVATION
SCALE: 1/16"=1'-0"



4 EAST ELEVATION
SCALE: 1/16"=1'-0"



5 TYPICAL REVEAL DETAIL
SCALE: FULL SCALE

6 6" REVEAL DETAIL
SCALE: 3/8"=1'-0"

MATERIAL LEGEND

- ◆ CONCRETE SANDWICH TILT-UP WALL PANEL, TYP. - PAINTED
- ◆ REVEAL IN CONCRETE - PAINTED
- ◆ PANEL JOINT
- ◆ PRE-FINISHED METAL GAP FLASHING
- ◆ STOREFRONT OR CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
- ◆ STOREFRONT OR CURTAIN WALL GLASS - CLEAR LOW-E
- ◆ STEEL MANDOORS - PAINTED
- ◆ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
- ◆ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
- ◆ LIGHT FIXTURE - SEE ELECTRICAL DWG'S
- ◆ CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
- ◆ 3/4" REGRESS IN CONCRETE
- ◆ SPANDREL GLAZING (OBSCURE, LIGHT GREY)
- ◆ SCUPPER
- ◆ PRE-FINISHED METAL PANEL CANOPY
- ◆ STEEL BOLLARD - PAINTED
- ◆ PAINT STRIPE
- ◆ LONGBOARD SIDING, FLOATING SYSTEM - WHITE OAK

NOTE:
 * NOT ALL MATERIALS ARE APPLICABLE
 * SPANDREL GLAZING

PROJECT COLOURS

ALL COLOURED SURFACES TO BE BENJAMIN MOORE PAINT.

① MAIN FIELD COLOUR 1:	CHANTILLY LACE 2121-10
② FIELD ACCENT COLOUR 1:	CHELSEA GRAY HC-168
③ FIELD ACCENT COLOUR 2:	KNOXVILLE GRAY HC-160
④ FIELD ACCENT COLOUR 3:	ABYSS 2128-20

EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
 ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM
 TYPICAL GLAZING: CLEAR (LOW E, ASHRAE 90.1 2010 COMPLIANT)
 TYPICAL METAL GAP FLASHING: C1 POLAR WHITE 061020-R
 C2 REGENT GREY 061030
 C4 CHARCOAL 062006
 MARK GRAY 3-0710

SPANDREL:
PROJECT COLOURS
 ALL TINTED GLAZING TO BE OLDCASTLE GLASS:
 (C) TINTED GLAZING VANCEVA INTERLAYER COLOUR #2227

NOTES:
 * ALL GLAZING TO BE ASHRAE 90.1 2010 COMPLIANT, PROVIDE ALL REQUIRED DOCUMENTATION.
 * EXTERIOR GLAZING TO BE GUARDIAN 6X6 62/27 OR APPROVED EQUAL IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAMES. THE LOW E SEALED GLAZING WILL BE FILLED WITH ARGON.
 * ALL GRADES APPROXIMATE, CIVIL DRAWINGS TO SUPERSIDE ARCH. DRAWINGS.

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9	OCT.19.17	ISSUED FOR PLANNING REVIEW
8	OCT.17.17	ISSUED FOR PLANNING REVIEW
7	OCT.10.17	ISSUED FOR PLANNING REVIEW
6	JUL.12.17	REVISED EAST & WEST ELEVATION
5	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
4	FEB.28.17	CLIENT REVIEW
3	FEB.24.17	CLIENT USE
2	DEC.08.15	CLIENT USE
1	NOV.17.16	CLIENT REVIEW

PROJECT - DRAWING NUMBER: **275TH AND 48TH SPEC**

ADDRESS: LOT 1 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP70774

OVERALL COLOUR ELEVATIONS

SEAL	JOB NO. 16-056	DRAWN D.F.
	DESIGNED	
	CHECKED	
	PLOT DATE	OCT.19.17
PROJECT - DRAWING NUMBER	A-5c	
REV.	9	

From: [Cathy Porter](#)
To: [Brenda Alder](#)
Cc: [Stephen Richardson](#); [Robert Knall](#); [Joel Nagtegaal](#)
Subject: DP Council Report - Beedie
Date: Monday, October 30, 2017 9:42:52 AM
Attachments: [image001.png](#)
[image002.png](#)

Brenda – all approvals are complete. Ready for your process ...

[X:\Community Development\Brenda Alder\cd DP Beedie 4825 - 275 St.pdf](#)

Cathy Porter | Clerk Typist IV

Business Support Dept. | Community Development Division

20338 – 65 Avenue, Langley, BC V2Y 3J1

Direct line: 604.532.7511

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Pat Walker](#)
To: [Joel Nagtegaal](#)
Subject: dp100890
Date: Tuesday, May 09, 2017 1:36:30 PM
Attachments: [Plan check print out.pdf](#)

See attached review

From: [Patty Jadis](#)
To: [Joel Nagtegaal](#); [Rod Shead](#)
Subject: DP100890
Date: Tuesday, August 07, 2018 8:42:25 AM
Attachments: [image001.png](#)
[image002.png](#)

Good morning,

Wendy Bauer has requested a review of the above noted DP regarding any correspondence between the Province (Likely the Ministry of the Environment and the Township / Applicant) prior to May 10, 2018.

I don't see anything like that in the list of attachments. When you have a moment can you check to see if you have anything?

Thanks so much!
Patty

Patty Jadis | Administrative Assistant
Development Services | Community Development
20338 65 Avenue, Langley, BC V2Y 3J1
Direct line: 604.533.6090 ext. 3484
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Daniel Graham](#)
Subject: FW: Beedie DP - slides for today
Date: Monday, December 04, 2017 11:34:00 AM

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Ramin Seifi
Sent: Monday, December 04, 2017 11:29 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Cc: Stephen Richardson <srichardson@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: Beedie DP - slides for today

Can you please arrange for a couple of slides to be available for today's council meeting reflecting what we have told council as part of a memo on today's distribution list with respect to the water course that was eliminated in 05-08 and replaces with a storm sewer pipe and SRS?

Thank you.

From: [Joel Nagtegaal](#)
To: [Daniel Graham](#)
Subject: FW: Letter to LEPS - 14-05-0098 / 4825 - 275 Street
Date: Monday, December 04, 2017 11:35:00 AM
Attachments: [image001.png](#)

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Stephen Richardson
Sent: Sunday, December 03, 2017 6:26 PM
To: Robert Knall ; Joel Nagtegaal ; Rod Shead
Subject: FW: Letter to LEPS - 14-05-0098 / 4825 - 275 Street
FYI

Stephen Richardson | Director - Development Services | Township of Langley
T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Stephen Richardson
Sent: Sunday, December 03, 2017 6:25 PM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Cathy Porter <cporter@tol.ca>
Subject: Letter to LEPS - 14-05-0098 / 4825 - 275 Street

Good afternoon Ramin:

Please find requested letter to LEPS pertaining to ToL Project # 14-05-009 (DP 100890) by Beedie Development Group at 4825 – 275 Street for your review at:

[F:\data\cdgen\Correspondence for Review\Development Planning\LEPS Nov 24 17 Letter Response.docx](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\Civil Plan.docx](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\SROW Relocation Plan.docx](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\Restrictive Covenant non-disturbance area.pdf](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\DFO Authorization \(comment added\).pdf](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\Envirowest Nov 30 17 Letter.pdf](#)

Please let me know if staff can provide additional assistance.

Best regards – Stephen

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: [Joel Nagtegaal](#)
To: [Daniel Graham](#)
Subject: FW: Letter to LEPS - 14-05-0098 / 4825 - 275 Street
Date: Monday, December 04, 2017 11:35:00 AM
Attachments: [image001.png](#)

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Stephen Richardson
Sent: Sunday, December 03, 2017 6:26 PM
To: Robert Knall <rknull@tol.ca>; Joel Nagtegaal <jnagtegaal@tol.ca>; Rod Shead <rshead@tol.ca>
Subject: FW: Letter to LEPS - 14-05-0098 / 4825 - 275 Street

FYI

Stephen Richardson | Director - Development Services | Township of Langley
T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Stephen Richardson
Sent: Sunday, December 03, 2017 6:25 PM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Cathy Porter <cporter@tol.ca>
Subject: Letter to LEPS - 14-05-0098 / 4825 - 275 Street

Good afternoon Ramin:

Please find requested letter to LEPS pertaining to ToL Project # 14-05-009 (DP 100890) by Beedie Development Group at 4825 – 275 Street for your review at:

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[F:\data\cdgen\Correspondence for Review\Development Planning\SROW Relocation Plan.docx](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\Restrictive Covenant non-disturbance area.pdf](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\DFO Authorization \(comment added\).pdf](#)

[F:\data\cdgen\Correspondence for Review\Development Planning\Envirowest Nov 30 17 Letter.pdf](#)

Please let me know if staff can provide additional assistance.

Best regards – Stephen

Stephen Richardson | Director - Development Services | Township of Langley
T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#); [Paul Albrecht](#)
Subject: FW: Project: 14-05-0098 | Folder: DP100890
Date: Thursday, October 12, 2017 9:19:00 AM
Attachments: [image001.png](#)
[14-05-0098 Dev Eng Comments.pdf](#)
[image002.png](#)

FYI

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Joel Nagtegaal

Sent: Thursday, October 12, 2017 9:19 AM

To: 'Andrew Peterson'

Subject: Project: 14-05-0098 | Folder: DP100890

Good morning Andrew,

Staff have completed a review of your revised development application (received September 26, 2017) located at the 4800 block of 275 Street and provide the following comments to you and your consultant(s).

General Comments:

1. Thank you for providing a colour and material board.
2. Section 702A.5(a) of the Township of Langley Zoning Bylaw requires a 10 metre setback from a front lot line. The definition of "Front Lot Line" in the Township of Langley Zoning Bylaw defines the front lot line as the following:
Means the lot line common to the lot and an abutting street:
 - a) *In the case where a lot has lot lines abutting two or more streets, the front lot line is the lot line with the shorter distance, excluding corner truncations, abutting a street;*
 - b) *In the case where the frontage of a lot abuts a lane, the front lot line is the lot line opposite to, not adjoining and most distant from the frontage;*
 - c) *In the case of a panhandle lot, the front lot line shall be the lot line of the main body of the lot closest to the highway from which the lot is accessed, including the width of the panhandle.*

As per (a) above, the front lot line is the 275 Street frontage. Drawing A-1 indicates a 5 metre setback from the front lot line. As per Section 702A.5(a) of the Township's Zoning Bylaw, a 10 metre set back is required from the front lot line in the General Industrial Zone M-2A. As previously indicated, please revise the plan or indicate if a variance is being requested. If a variance is being requested, please provide a rationale for why the variance should be considered. Note that as the 275 Street lot line is the front of the building, it should receive additional architectural consideration, particularly if you are seeking a variance for the siting.
3. Section 111.4(1) of the Zoning Bylaw requires one tree per six parking stalls. This requirement is not being met at a key location on the site. Provide a rationale why this requirement can not be met. Consider relocating landscape islands from the southwest portion of the site to be located in front of "Unit 103" and "Unit 102."
4. Thank you for providing copies of the encumbrances (restrictive covenants and statutory rights-of-way) registered on the title of the properties under application.
5. Thank you for providing electronic copies of plans and renderings. Staff note that there appears to be a discrepancy between the renderings and the elevations.
6. Details of the proposed screening wall have been received. As a variance is being

requested, this wall should receive additional treatment. The screen wall should extend north to further screen the loading area. The landscaping in front of the screen wall should also include coniferous plantings in order to further screen the loading area.

7. Staff note that in response to previous comments regarding further architectural treatment of the east elevation, a variation in paint colour has been added. As a variance is being requested to reduce the setback along this lot line to have the building be closer to the street, this building face should receive additional architectural / design treatment, particularly on the southeast corner which serves as the main entrance to the site and is located at an intersection. Additional treatment could include additional materials, additional glazing, additional building articulation and / or other design features.
8. Council-adopted Exterior Lighting Impact Policy (Policy No. 07-156) applies to properties within 150 metres of land zoned or designated for residential or rural purposes. As the subject property is within 150 metres of land zoned or designated for residential or rural purposes, compliance with this Policy will be a condition of Building Permit.

Green Infrastructure Services Comments:

9. Note that your landscape architect and Green Infrastructure Services (GIS) continue to coordinate and address GIS comments sent in a previous letter.

If you require clarification on any Green Infrastructure Services items, please contact Ana Velazquez at 604.533.6090 x 3471 or avelazquez@tol.ca.

Development Engineering Comments:

10. Attached for your information are comments from the Development Engineering Department. If you require clarification on any of these items, please contact Paul Albrecht at 604.533.6080 or palbrecht@tol.ca.

Please address these comments in writing and through the provision of a revised design package consisting of three reduced (11" x 17") sets. Your revised submission will be further reviewed by Township Departments. You may also need to engage other professionals to address specific items as they arise.

The comments provided in this letter and its attachments are by no means exhaustive. Any matters which arise after the date of this letter may result in additional deficiencies to be satisfied prior to final approval. If you have any questions or concerns regarding the above listed comments, please contact me at 604. 533.6044 or jnagtegaal@tol.ca.

Thank you,

Joel Nagtegaal | Planner

Development Services | Community Development

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Teresa Hanson](#)
To: [Joel Nagtegaal](#)
Subject: FW: Proposed Overall ESC - Tree Survey Plan: 48 Ave 272 St - 275 St Area
Date: Thursday, September 07, 2017 12:59:37 PM
Attachments: [beedieop.pdf](#)

fyi

From: Dave Anderson
Sent: Thursday, July 12, 2007 10:42 AM
To: 'Derek Read' <derek.read@beediegroupp.ca>
Cc: Teresa Hanson <thanson@tol.bc.ca>; Yolanda Leung <yleung@tol.bc.ca>; Hart Drexler <hdrexler@tol.bc.ca>
Subject: Proposed Overall ESC - Tree Survey Plan: 48 Ave 272 St - 275 St Area

Derek,

Staff met to discuss your proposal to submit an overall Erosion and Sediment Control Plan (ESC) and Tree Survey for your lands north of 48 Avenue between 272 Street and 275 Street. We will support this proposal provided the following conditions are met:

- No clearing in the tree protection zones as shown on the attached plan;
- Maintain drainage in tree protection areas: no standing water, control and direct surface runoff for positive drainage, and water trees as required.
- Provide a Tree Survey (location, description, elevation, etc.) as per the Tree Protection Bylaw of all significant trees in the protected zones;
- Protective fence is to be installed at drip line of retained trees PRIOR to clearing;
- Submission of a revised "overall" ESC plan and tree survey with the above items addressed to TOL acceptance (please note that the ESC must INCLUDE the surveyed location of significant trees to be retained and the protected zones);
- Submission of Tree Site Survey with required information to Parks Design & Development;
- Compliance with requirements of all other jurisdictions; and,
- Lastly, the location of the building on the southern Lot XXX is not acceptable and should be moved south with the loading on the north side of the building. You may contact Teresa Hanson for further information.

FYI, the following notes are to be placed on the plan to deal with tree protection

NOTES:

1. INSTALL TREE PROTECTION BARRIER BEFORE SITE CLEARING AND ANY CONSTRUCTION BEGINS. MAINTAIN THROUGHOUT THE DURATION OF THE CLEARING AND CONSTRUCTION PHASE ALONG THE PERIMETER OF THE THE DESIGNATED RETENTION AREA.
2. STORAGE OF BUILDING MATERIALS & LITTER WITHIN OR AGAINST PROTECTION BARRIER IS PROHIBITED.
3. DEVELOPER RESPONSIBLE FOR MAINTENANCE WITHIN TREE PROTECTION BARRIER.
4. DAMAGED TREES WILL BE REPLACED AT DEVELOPER'S COST.
5. ANY CONSTRUCTION WITHIN THE TREE RETENTION AREA IS TO BE SUPERVISED BY THE PROJECT ARBOURIST.
6. NO EXCAVATIONS, DRAIN OR SERVICE TRENCHES OR ANY OTHER DISRUPTION IS PERMITTED WITHIN THE RETENTION AREA. CONTACT THE CONSULTING ARBOURIST IF THERE ARE ANY PROPOSED DISTURBANCES

PRIOR TO PROCEEDING.

7. SEASONAL WATERING IS NECESSARY AND SHALL BE IMPLEMENTED BY THE SITE SUPERINTENDENT UNDER THE DIRECTION OF THE CONSULTING ARBOURIST.

8. REPLANTING WITHIN THE TREE RETENTION AREA SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE IMPACT TO ROOT ZONES OF RETAINED TREES.

9. TREE REMOVAL, PRUNING AND MODIFICATIONS SHOULD BE UNDER THE DIRECTION OF THE CONSULTING ARBOURIST.

10. HUMUS LAYER AROUND EXISTING TREES TO REMAIN UNDISTURBED.

11. MAINTAIN EXISTING GRADES AT PROTECTION BARRIER FOR ALL PROTECTED RETAINED AND EXISTING TREES.

12. GRADES WITHIN THE TREE RETENTION AREA ARE TO REMAIN UNDISTURBED. MAINTAIN EXISTING GRADES AT PROTECTION BARRIER FOR ALL PROTECTED EXISTING RETAINED TREES.

13. REGRADING OUTSIDE OF PROTECTION BARRIER SHALL NOT ADVERSELY COMPROMISE RETAINED TREES.

In summary, we would accept a Tree Survey document that complies with the Tree Bylaw (call Yolanda for more details) as well as a coordinated ESC plan with the appropriate "tree retention and protection information" for review. Also, we have an **Erosion & Sediment Control Bylaw Open House** here at the hall from 4 to 8 pm today that you and your engineers/contractor may want to attend.

Dave

From: [Laura Kennelly-Mohr](#)
To: [Joel Nagtegaal](#); [Anita Lacki](#)
Cc: [Brenda Alder](#)
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Wednesday, May 17, 2017 8:49:51 AM
Attachments: [image001.png](#)
[image002.png](#)
[LTO Search - PID-030-127-289 \(May 15, 2017\).pdf](#)
[MR17-732REF Form9 signed 1.pdf](#)

Hi Joel,

Anita will need to update the properties in all the Prospero folders once they become dead in the system (they are still showing as active). The DP should show the new legal description when you get to that stage. We don't need anything more from Beedie. We usually have to beg people for updated information so I am actually impressed they let us know!

Anita – can you update this information when it becomes dead?

Thanks. ☺

Laura Kennelly-Mohr | Senior Clerk - Development Planning
 604.532.7545

From: Joel Nagtegaal
Sent: Wednesday, May 17, 2017 8:34 AM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Laura,
 It looks like Beedie has completed a lot consolidation in Gloucester for properties involved in ToL Project No. 14-05-0098 in the 4800 block of 275 Street (see below email and attached plan and title).
 Is there anything they or we need to do as a result?
 Thanks,

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

www.beediigroup.ca



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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]

Sent: Tuesday, May 09, 2017 11:57 AM

To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>

Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

Staff's review of the DP application is progressing. Once we have received comments from external agencies and internal departments, we will incorporate their comments with comments from Planning and compile them in a file review letter.

Staff will be in touch if we require any clarification or have questions.

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]

Sent: Tuesday, May 09, 2017 11:00 AM

To: Joel Nagtegaal <jnagtegaal@tol.ca>

Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.

All the best,

Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediengroup.ca

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From: Andrew Peterson

Sent: Monday, May 01, 2017 9:18 AM

To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>

Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediengroup.ca

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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]

Sent: Monday, May 01, 2017 9:14 AM

To: Andrew Peterson <Andrew.Peterson@beediegroupp.ca>

Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

I am the Planner who has been assigned to the subject development application. Could you please send me digital drawings (PDF) of the site plan and elevations?

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Joel Nagtegaal](#)
To: [Rod Shead](#)
Cc: [Paul Albrecht](#); [Ana Velazquez](#)
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Wednesday, May 17, 2017 2:50:00 PM
Attachments: [image001.png](#)
[image002.png](#)
[LTO Search - PID-030-127-289 \(May 15, 2017\).pdf](#)
[MR17-732REF Form9 signed 1.pdf](#)

Hi Rod,
 As per discussion, Beedie says they have consolidate the two lots which are part of the subject application.
 See attached title search and subdivision plan.
 Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley
 604.533.6044

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Sent: Tuesday, May 16, 2017 2:41 PM
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Please let me know if any additional documentation is required.

All the best,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

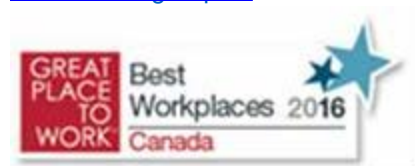
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 All the best,
 Andrew

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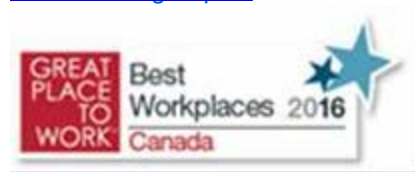
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[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Joel Nagtegaal](#)
To: [Ramin Seifi](#)
Cc: [Robert Knall](#); [Stephen Richardson](#)
Subject: GM To Consider Waiving Developer Held PIM | 14-05-0098 - 5345 – 275 Street
Date: Friday, May 12, 2017 8:58:00 AM

Good morning Ramin,

We have received a Development Permit and Development Variance Permit application for a property located at 5345 – 275 Street. The property is currently zoned General Industrial Zone M-2A. The applicant is proposing to vary Section 111.3 – Landscaping, Screening and Fencing requirements of the Township of Langley Zoning Bylaw to reduce the minimum landscaping depth requirement from 3.0 m (9.8 ft) along a rear and interior side lot line to 1.5 m (4.9 ft) to facilitate the construction of a building addition to an existing industrial building. The applicant's rationale to support the proposed Development Variance Permit is that the existing 1.5 metre deep landscaping along the rear and interior side lot line is mature and adding to it will impede truck maneuvering. Staff note that the existing 1.5 metre deep landscaping along the rear and interior side lot line was approved by Council in September, 2003 as part of the original development permit (DP100246).

Developer Held Public Information Meetings Policy adopted by Council on March 7, 2016 requires applicants to hold a Public Information Meeting for Development Variance Permit applications. The Policy, however, provides an option for waiving this requirement based on the minor nature of a specific application.

Staff is asking if you might consider waiving the Public Information Meeting requirement for this application as the existing landscaping depth has been previously approved by Council and includes existing, mature vegetation. Additionally, staff note that surrounding neighbours will be provided an opportunity to provide feedback at the public hearing portion of the Development Variance Permit process.

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

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LANGLEY ENVIRONMENTAL PARTNERS SOCIETY

#201- 4839- 221 Street, Langley, B.C. Canada V3A 2P1 (604) 532.3511

Revenue Canada Charitable Number: 14057 9962 RR 0001

www.leps.bc.ca

November 24, 2017

RE: Development Permit Application No. 100890 (161884 Canada Inc. / Beedie Development Group / 4825 275 St.)

To: Mayor and Council;

We wish to alert you to information regarding the Class B creek that has been omitted from the development permit application No. 100890 (please refer to attached map). This application came before council on November 6. The application refers to the modification of "Statutory Right of Way BB184653 (Plan BCP 34343)" (page 2, item f., under "... *the following items will need to be finalized*") but does not note the stream classification.

We are concerned that the omission of this information could have adverse impacts to West Creek and upstream habitat.

This channelized creek is actually one of the main branches of West Creek, **draining upstream agricultural lands, as well as the highway**. The creek is **Class B or yellow coded** according to the Township of Langley's Watercourse Classification map; yellow coded streams are significant source of food, nutrient or cool water to salmon populations downstream. Yellow coded streams require a 20m setback from both banks (Township of Langley's Streamside Protection Regulation):

<https://webfiles.tol.ca/CommDev/Brochures/Streamside%20Protection%20&%20Enhancement%20Brochure.pdf>).

This creek enters a Class A or red coded (salmon bearing) stream only 160m downstream of this development permit area.

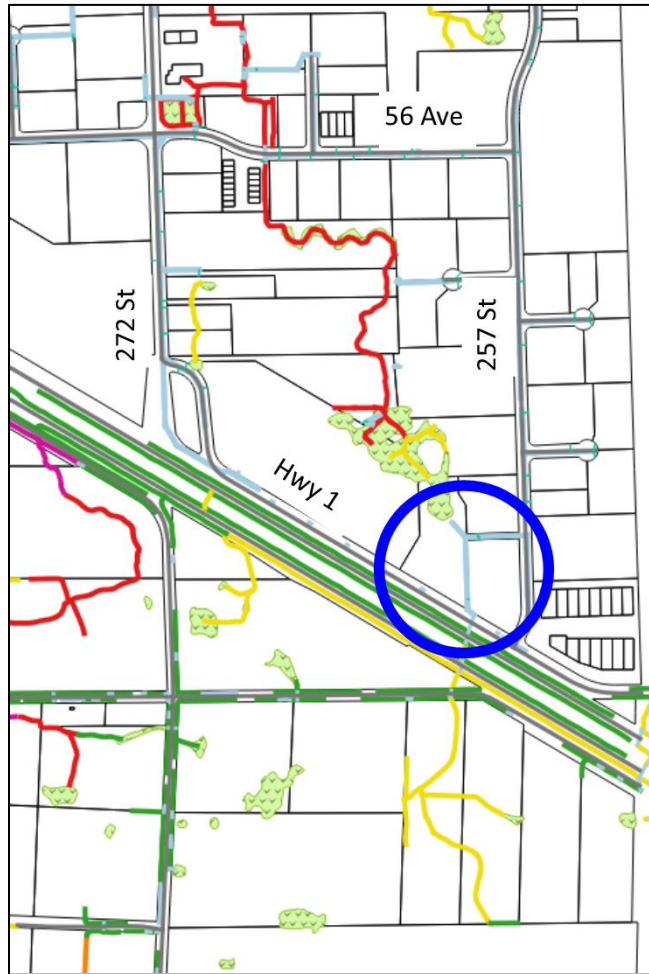
It is our hope that in sharing this information, the creek will be considered with due respect as a nutrient value stream and an important section of West Creek.

Sincerely,

Tracy Stobbe
Chair, LEPS Board of Directors

Encl. Stream details up and downstream of application property

Stream details up and downstream of application property:
(source: Township of Langley's online mapping system, Geosource)



Blue circle indicates the properties associated with this application, please note Class B stream south of Hwy 1 that flows under the highway and 48 Ave to these properties.



Pêches
et Océans

Authorization # 99-HPAC-PA2-000-000217
MELP File #A2004880

AUTHORIZATION FOR WORKS OR UNDERTAKINGS AFFECTING FISH HABITAT

Authorization issued to:

Name: 161884 Canada Inc.: Gloucester Industrial Estates (herein also referred to as "Gloucester")

Address: 310 - 1001 West Broadway, Vancouver, BC V6H 4B1

Contact: Mr. Dave Gormley

Telephone: (604) 856-3156

Facsimile No: (604) 856-3384

Location of Project:

Tributaries to West and Nathan creeks within the Gloucester Industrial Estates in Langley, generally encompassing lands north of the Trans-Canada Highway, west of the Langley-Abbotsford boundary, east of 264th Street and south of 60th Avenue.

Valid Authorization Period:

The valid authorization period for the harmful alteration associated with various land development activities is from 01 May, 2000 through 15 September, 2005.

As specified herein, this document only authorizes the destruction of the fish habitat and associated compensatory works until 15 September, 2005. If any phase of the project is not completed by that date, such that fish habitat may be affected, a new application pursuant to Section 35(2) of the Fisheries Act may be required. Should this Authorization expire without the works proceeding, and no alterations to the project design or DFO policy, legislation and/ or guidelines have occurred, an amendment for an extension to this authorization may be considered.

Description of Works or Undertakings:

The harmful alteration hereby authorized includes a number of undertakings which are listed below and numerically referenced to a plan of existing drainage (refer to ECL Drawing No. 467-02-11, Rev. 03, attached in Appendix A).

In the Northeast Quadrant of the development -

- Site 1. realignment and permanent elimination of riparian vegetation associated with the fisheries sensitive zone (i.e. relaxation of the setback boundary) adjacent to a watercourse;
- Site 2. elimination of a watercourse; and,
- Site 3. elimination of a ravine, elimination of a portion of a wetland, and permanent elimination of riparian vegetation associated with the fisheries sensitive zone (i.e. relaxation of the setback boundary) adjacent to a wetland.

In the Southeast Quadrant of the development -

- Site 8. elimination of a watercourse;
- Site 9. realignment of a watercourse;
- * Site 10. elimination of a watercourse; and,
- Site 23. elimination of 5 m of watercourse.

Site 10 is shown on the "Existing Drainage" map (see page 14). The "Ultimate Drainage" map (page 15) shows the watercourse no longer present.

In the Southwest Quadrant of the development -

- Site 11. elimination of a watercourse;
- Site 12. elimination of a watercourse;
- Site 13. elimination of a pond;
- Site 14. elimination of a pond;
- Site 15. elimination of a pond;
- Site 16. elimination of a pond and watercourse;
- Site 17. realignment of a watercourse;
- Site 18. elimination of a watercourse;
- Site 19. elimination of a pond and watercourse;
- Site 20. elimination of a pond;
- Site 21. elimination of riparian vegetation; and,
- Site 22. elimination of a watercourse.

These works are more specifically described in the following submissions and drawings:

Appendices:

- a). Appendix A: ECL Envirowest Consultants Limited (ECL) Drawing No. 467-02-11, Revision 03 entitled "Existing Drainage" dated May 2000, and ECL Dwg No. 467-02-12, Revision 05 entitled "Ultimate Drainage", dated May 2000;
- b). Appendix B: Habitat balance prepared by ECL;
- c). Appendix C: The application for Environmental Review submitted by ECL on behalf of

161884 Canada Inc., dated June 8, 1999;

- d). ✓ Appendix D: ECL Drawing Nos.:
- ✓ 467-06-01R (dated March 1999);
 - ✓ 467-02-09, Revision 00 (dated April 12, 1999);
 - ✓ 467-04-06, Revision 01 (dated August 27, 1998);
 - ✓ 467-02-08, Revision 01 (dated September 13, 1999);
 - ✓ 467-02-10A, Revision 01 (dated August 9, 1999);
 - ✓ 467-02-10B, Revision 01 (dated August 9, 1999);
 - ✓ 467-02-13, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-14, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-15, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-16, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-17, Revision 00 (dated May 8, 2000).
- e). Appendix E: Aplin & Martin Consultants Ltd. Drawing Nos. 96025SR-1, Revision 1; 96025SR-2, Revision 2; and 96025SR-3, Revision 2, all dated May 1997;
- f). Appendix F: Hunter Laird Engineering Ltd. Job No. 4518, Sheets 9 of 14 and 10 of 14, both Revision A and dated July 29, 1999.
- g). Appendix G: Copies of Letters of Credit totalling \$100,000.00 and the Letter of Credit Reduction Schedule;
- h). Appendix H: Copies of the restrictive covenant documents, registered in favour of the BC Ministry of Environment, Lands and Parks under Section 219 of the provincial Land Titles Act;
- i). Appendix I: Gloucester Industrial Estates 1998 Stormwater Management Plan: Final Report by Stantec Consulting Ltd.

Schedules:

Schedule A: DFO/ MELP Riparian Planting Guidelines.

Conditions of Authorization:

1. Gloucester confirms that all plans and specifications relating to this Authorization have been duly prepared and reviewed by appropriate professionals working on behalf of Gloucester. Gloucester acknowledges that it is solely responsible for all design, safety and workmanship aspects of all of the works associated with this Authorization.
2. Gloucester confirms that the location and general design of the works are to be consistent with the information provided to the agencies and that any material deviations from such designs must be reviewed and approved by all agencies having jurisdiction in this matter.
3. The conditions of this Authorization notwithstanding, DFO may at any time and at their

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sole discretion, direct the Gloucester and/ or their agents and/ or contractors, to suspend or alter any work or activity associated with this project, to avoid or mitigate adverse impacts to fisheries resources. Further, DFO may at any time and at their sole discretion direct the Gloucester and/or their agents and/ or their contractors, to carry out at the Gloucester's own expense any works or activities deemed necessary by DFO to avoid or mitigate adverse impacts to fisheries resources.

4. DFO must be notified of any future modifications to the existing drawings referred to in this Authorization and upon notification, may require plans and specifications to review and/ or approve prior to any work commencing.

Conditions that relate to works in or near watercourses:

5. Instream works may only be undertaken during the period between 01 August and 15 September of any year of this development. Any extensions to the work window will be considered on a case by case basis (season and weather dependent) and must have approval for extension from DFO and/ or MELP. An environmental monitor must be present full time during all instream works, unless otherwise agreed to by DFO and/ or MELP. The environmental monitor must have the authority to alter or halt works should they feel the works are detrimental to fisheries resources. Gloucester must provide a copy of the written authority, providing the name of the environmental monitor, contact number and a brief outline of relevant experience related to the proposed works to DFO, MELP and the Township.
6. All other works within the fisheries sensitive zones (i.e. setback areas) must be monitored daily during construction and during or following any storm event which may occur during the construction phase.
7. The environmental monitor must have experience in stream construction or restoration as well as sediment and erosion control.
8. All instream work must be undertaken and completed in isolation of flowing water. Generally, this is accomplished by diverting, enclosing or pumping the water around the work site. Flow to downstream portions of the stream must not be cut off at any time during construction. In addition, the point of discharge to the creek must be located immediately downstream of the work site.
9. Prior to commencement of instream works, an environmental consultant or other qualified professional who is acceptable to DFO and/ or MELP must conduct a fish and amphibian salvage in and around areas potentially affected by siltation or de-watering. Appropriate fish collection permits must be obtained prior to any instream works commencing. The consultant/monitor must ensure that the appropriate DFO and MELP staff have been contacted and are advised of the commencement of instream works.
10. Sediment and erosion control measures must be installed to the standards outlined in the BC Environment/DFO "Land Development Guidelines for the Protection of Aquatic Habitat". All work must be conducted in a manner that will prevent the release of sediment or sediment-laden water into any watercourse.

5

In this regard, a sediment, erosion and runoff control plan must be prepared by a qualified, trained professional and implemented prior to any site preparation works and/ or construction. These facilities must be maintained until the occupancy permit stage, or until no longer applicable to the site conditions. These facilities must be maintained and be working adequately to control discharges from the site.

11. All disturbed areas within the leavestrips should be hydro-seeded or covered to prevent surface erosion. If work is undertaken late in the growing season, normal seeding may not be effective in preventing surface erosion. In this regard, the entire disturbed area may require stabilization through hydro-seeding with heavy mulch or by installing geotextile seed mats.
12. All constructed streambank slopes must not exceed 2:1 slopes (horizontal: vertical). All constructed slopes must be covered with a minimum 6" topsoil to ensure a reasonable plant growth medium, and an appropriate native seed mixture and biodegradable geotextile or hydro-seed (if deemed necessary by a qualified professional) to ensure stability.
13. Riparian revegetation must be completed in accordance with the specified plans, attached in Appendix D. Any other disturbed areas within the leavestrip areas, which are not included in a specified revegetation plan, must be replanted in accordance with the DFO/ MELP guidelines for riparian revegetation, attached as Schedule A.
14. Machinery is not permitted to work within the wetted perimeter of the stream. All machinery on the site must be in good repair and free of excess oil and grease. No fuels lubricants, construction wastes or other deleterious substances may enter the watercourse at any time. Emergency spill kits must be kept on site and be readily accessible at all times in case of release of a deleterious substance to the environment. Any spill of reportable quantities must be immediately reported to the Provincial Emergency Program (24 hour phone line: 1-800-663-3456).
15. All construction materials, such as fill or riprap, must consist of inert materials. Rock used as riprap must be durable and suitably graded to resist movement by stream flow. Rock and/ or riprap placement must be completed so as to ensure their stability within the creek system.
16. Topsoil, debris from construction, concrete and/ or concrete leachate, overburden, soil, grout, oil, grease or any other substance deleterious to aquatic life must be disposed of or placed in a manner that will prevent their entry into any watercourse, ravine, floodplain, or storm sewer system.

In this regard, DFO notes that if any cast in place concrete works are to be undertaken, there may exist high potential for concrete and/ or concrete leachate to enter a watercourse. Concrete leachate is alkaline and highly toxic to fish and aquatic life and DFO requires that measures be taken to prevent any incidence of concrete from entering the watercourse. In case of emergency, a concrete buffer, such as CO₂, must be kept on site to mitigate any impacts from the escape of concrete. To ensure that no concrete or concrete leachate impacts downstream fish or fish habitat, DFO advises that the downstream pH be monitored regularly until completion of the works. If a significant change in pH is noted (i.e. pH below 5.0 or above 9.0), then emergency measures must

6

be implemented to neutralize pH levels. In addition, any concrete that does escape must be cleaned out of the channel immediately. All concrete work must be carried out during dry weather and low water conditions.

17. Any future stream crossings must be clear span bridges, bottomless arch culverts, or oversized culverts with a minimum 300-mm depth of gravels throughout, unless otherwise approved by DFO and MELP. Approval for stream crossings will be considered on a site by site basis.
18. ***The following personnel must be contacted and advised of any instream works or works within the fisheries sensitive zone (i.e. setback areas), a minimum of five (5) days in advance of the commencement of works.*** In addition, DFO and/ or MELP must be contacted for site inspection for any relocated or constructed watercourses prior to the release of water into newly constructed habitat:
 - a) The Fishery Officer in charge of the Fraser Valley West Field Office at tel: (604) 607-4160 or fax: (604) 607-4199;
 - b) The DFO Habitat Biologist for the Langley area at tel: (604) 666-6310 or fax: (604) 666-6627 (current contact Suzanne Thorpe); and,
 - c) The MELP Fish and Wildlife Habitat Protection Officer for the Langley area at tel: (604) 582-5239 or fax: (604) 930-7119 (current contact John Summers).
19. For any 'individual' project completed within the specified time period, the environmental monitor must submit three (3) copies of a 'summary' monitoring report to MELP and one (1) to this Department within 90 days of project completion.

As described herein, Site numbers 1 through 23 represent 'individual' projects, as do each of the compensatory sites A through D; however, the sites may be listed and detailed within the same monitor's report, if undertaken within the same calendar year. The monitor's report must indicate that the project has been completed and shall include the following:

 - a) a complete list of all outstanding or incomplete works for any 'project' as defined herein;
 - b) date-stamped photos of the site(s) before, during and after construction;
 - c) date-stamped photos of the site post-planting;
 - d) confirmation of compliance with the Authorization; and,
 - e) details of any difficulties encountered and how they were handled.
20. In the event of any significant incident(s) which may occur during works associated with this project (i.e. oil/ gas spill, slope failure, sediment or erosion control problem), the environmental consultant should notify both DFO and MELP representatives as soon as possible. All emergency-reporting procedures must be followed on an immediate basis. The environmental monitor should have an emergency call out procedure in place prior to the commencement of works.
21. The environmental monitor must post a readily visible sign identifying their company name and telephone number at the entrance(s) to the site.

22. ***A copy of this Authorization must be forwarded to all contractors and/or crew supervisors and must be present on the site while work is proceeding.***
23. ***It is understood that by proceeding with the works specified herein, the applicant's agent(s) and/ or contractor(s) and their work crews, shall have indicated an understanding of and agreement to the conditions within this Authorization, and that both DFO and MELP have the authority to inspect, and if necessary, stop any works that are not in compliance with the agreed to terms and conditions or if the agencies have fisheries related concerns.***

Conditions relating to stormwater management for development:

24. Design of the stormwater system shall be consistent with final approval of the document "Gloucester Industrial Estates Stormwater Management Plan: Final Report" by Stantec Consulting Ltd. (attached as Appendix I), currently under review. Detailed engineering design of the stormwater system must be reviewed and approved by DFO, MELP and the Township of Langley prior to site development.
25. Water treatment shall be provided for all areas not zoned or developed for industrial purposes as at May 1, 2000. Treatment will occur in first-flush treatment wetlands where feasible, while other areas will be treated by on-site oil-water separators. Envirowest Drawing No. 467-02-13 indicates treatment type for all lands within Gloucester Estates. Envirowest Drawing Nos. 467-02-14, 467-02-15, 467-02-16 and 467-02-17 provide details for first-flush treatment wetlands.
26. Stormwater from most of the Gloucester Estates development will be detained in two large detention features to be located within the golf course. Properties downstream, or outside of the catchments of these two areas must provide onsite detention that meets or surpasses the specifications outlined in the "Land Development Guidelines for the Protection of Aquatic Habitats".
27. Stormwater outfalls must be set back at least three (3) metres from the streambank and at an angle of approximately 45 degrees to the direction of stream flow. The outfall channel should be armoured with clean angular rock or other type of energy dissipater and stream bank stabilization, as approved by MELP.

Conditions relating to the Restrictive Covenant/ Leavestrip Area:

28. All leavestrip areas shown on ECL Drawing No. 467-02-12 will be protected by a restrictive covenant to be registered against the title of the property(ies) affected under Section 219 of the Land Titles Act, as per the requirements of MELP. All leavestrips are to be left in a totally undisturbed, naturally vegetated state in perpetuity. The covenant boundary must be surveyed by a registered BC Land Surveyor and a permanent fence must be constructed at the covenant boundary between development areas and the covenant areas prior to the commencement of any site development, unless otherwise agreed to by MELP.
29. After the compensatory habitat is functioning as intended, Gloucester shall not carry on any work or undertaking that will adversely disturb or impact the compensatory habitat,

Appendix A

and it will take all reasonable steps to ensure that the compensatory habitat is not disturbed by others, so long as Gloucester is associated with Gloucester Industrial Estates.

30. Buildings must be set back a minimum of one and one-half (1.5) metres from the restrictive covenant boundary, except to the north of the railway tracks where buildings are to be setback a minimum of five (5.0) metres from the restrictive covenant boundary.

Conditions that relate to all mitigatory and compensatory habitats:

31. The compensatory habitats shall consist of a number of features which are listed below and numerically referenced to a plan of ultimate drainage (refer to ECL Drawing No. 467-02-12, Revision 03, attached in Appendix A). These works are also described in the Habitat Balance (Appendix B). Design drawings are referenced for each project on the ultimate drainage plan.

In the Northeast Quadrant of the development -

Compensatory Site A, located at or near Site 1:

- Enhancement of an existing watercourse, including partial realignment, wetland/pond creation and riparian enhancement (refer to ECL Drawing No. 467-06-01R, dated March 1999). This watercourse discharges to the existing roadside ditch at 60th Avenue, subsequently flowing in a culvert under 60th Avenue.
- Native shrubs shall include a mix of species (minimum size #2 pot) including snowberry, red elderberry, salmonberry, red-flower currant, pussy willow, red-osier dogwood and thimbleberry (no species to consist of more than 20 percent of the total). Live stakes shall be planted at a density of 5 stakes per square metre.
- Large woody debris (tree, log and rootwad) placement will be undertaken as directed by the environmental consultant. All large woody debris will be placed in such a manner so as to ensure that they are appropriately keyed into the sides of banks or are otherwise stable. Rootwads should be placed so that the gnarly portions of the root mass are below the wetted perimeter of the creek/ pond area, thus providing maximum refuge cover for juvenile salmonids. Trees and logs must have a minimum diameter of 350 mm; rootwads a minimum diameter of 2.0 metres.
- Marsh planting in the northeast quadrant of the development will be undertaken as per the specifications indicated on ECL Drawing 467-02-10A (species list). All wetland planting will meet the minimum density criteria of 4 plants per square metre. Marsh planting may be undertaken early in the spring planting season post construction, provided that appropriate sediment control measures are undertaken throughout the winter season to prevent downstream sedimentation from such areas. Marsh planting must be completed by April 30, the end of the spring planting season.

In the Southeast Quadrant of the development -

Compensatory Site B, located at or near Site 9:

- Re-alignment of a watercourse, including development of pools (each with two rootwads) at 30 metre intervals, boulder complexing (minimum 6 boulders per 30 metre interval), and riparian enhancement (refer to ECL Drawing No. 467-02-09, Revision 00, dated April 12, 1999, and Hunter Laird Engineering Ltd. Job No. 4518, Sheets 9 of 14 and 10 of 14, both Revision A and dated July 29, 1999).
- A 1 metre wide strip on each side of the channel/pools is to be live-staked with a combination of red-osier dogwood and willow at a density of 5 stakes per square metre. Densities for trees and shrubs shall be one per five square metres and one per one square metre, respectively. Trees shall be increased in number to ten percent of total plants. Salvaged plant material may be used as an alternative to nursery stock, provided that it meets the required success rate.
- Rip rap is to be deleted from the side slopes of the pools; refer to ECL Dwg. #467-02-09.
- Boulder and boulder cluster placement will be undertaken as per the direction of the environmental consultant. Boulder complexing should be undertaken to provide fish habitat, direct flow, promote flushing, prevent infilling and to ensure bank stabilization, where necessary. Boulders must be appropriately keyed into the sides of banks and placed to ensure they are stable. Boulder diameter may be varied, depending on stream cross-section and gradient, but must average 400mm.

In the Southwest Quadrant of the development -

Compensatory Site C, located at or near Site 11:

- Pond/wetland creation north of Gloucester Way within the lands designated as future golf course (refer to ECL Drawings 467-02-10A and 467-02-10B).
- Wetland plants shall be planted at a density of four plants per square metre and trees and shrubs at densities one per five square metres and one per one square metre, respectively.
- The configuration of the constructed habitat may be revised subject to advance notification to DFO and completion of a similar or greater amount of habitat.
- Large woody debris placement should provide a minimum average of 25% cover in pools/ wetland using either gnarly rootwads and/ or whole tree sections.

Compensatory Site D, located at or near Site 17:

- Re-alignment of a watercourse south of Gloucester Way (refer to Aplin & Martin Consultants Ltd. Drawing Nos. 96025SR-1, Revision 1; 96025SR-2, Revision 2; and 96025SR-3, Revision 2). The portion adjacent to Gloucester Way is to be located within a 15-metre wide corridor; habitat details for this portion are shown in ECL Drawing No. 467-04-06, Revision 01. Habitat details for the remaining portions are shown in ECL Drawing No. 467-02-08, Revision 01. The north-south portion is to be constructed with a corridor width of 25 metres. Wherever possible, existing trees and

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shrubs are to be retained along the margins of the new watercourse. Where existing vegetation is disturbed it will be re-planted in accordance with the specifications on ECL Drawing No. 467-02-08, Rev 01, and as detailed further herein.

- Deflector logs, aeration logs and rootwads shall each be installed in the channel at 10 metre intervals. Boulder clusters, each comprised of a minimum of four boulders of a minimum diameter of 400mm, are to be installed at 5 metre intervals.
- A one metre wide strip on each side of the channel is to be live-staked with a combination of red-osier dogwood and willow at a density of 5 stakes per square metre. Densities for trees and shrubs shall be one per five square metres and one per one square metre, respectively. Salvaged plant material may be used as an alternative to nursery stock.
- View/ access points around the constructed wetland/ pond areas at the "golf course" will be constructed so that access into and around the watercourse is discouraged. If access is or becomes problematic (i.e. interferes with the success of any aspect of the constructed habitat), additional measures may be required to prevent human encroachment into such areas (i.e. low fencing).

Conditions that relate to the monitoring/ evaluation program:

32. For each component of the overall habitat compensation plan, Gloucester shall carry out a monitoring program (the "Monitoring Program") which will extend for five (5) years post-construction and will include the following:
- a) if a project only involves disturbance(s) to, or removal of, riparian revegetation, a brief report describing plant survivorship and including photos is required yearly to three (3) years post-planting.
 - b) an assessment of the physical stability (see details of b) below) of any newly constructed works must be conducted a minimum of two (2) times during the first winter, in November/ December and February/ March. Any non-compliance issues or other problems with any aspect of the functioning of newly constructed habitat or that may have a negative impact to fisheries resources (e.g. erosion, slope failures) must be reported to both DFO and MELP within five (5) working days post-inspection and remediation measures implemented immediately, as approved by DFO and/ or MELP;
 - c) an annual photographic (date stamped) assessment of the compensation habitat and physical stability of the works, noting any changes in the function of the habitat for five (5) years post-construction. The assessment should also include looking for any evidence of erosion, slumping, tension cracks, movement of instream structures, bed material changes, sediment or debris accumulation and sediment transport changes. If gravels have been placed instream, an estimation of gravel depth, noting any changes, should be conducted each time the site is visited;
 - d) an annual assessment of the planted riparian vegetation for three (3) years post planting. Plant survival must be at least 80% for ground cover, forbs and shrubs

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and 100% for trees for the duration of the monitoring program. Should this survivorship not be achieved, additional planting is required to be undertaken immediately during the planting season of, or immediately following, the assessment;

- e) measurements of water temperature, pH, dissolved oxygen, and rough estimate of water flow should be recorded each time the site is visited for monitoring;
 - f) for relocated and/ or constructed watercourses and ponds, fish sampling must be undertaken using baited minnow traps, or an acceptable alternative sampling method, a minimum of once annually during the time of year that will maximize potential to determine fish presence;
 - g) for relocated and/ or constructed watercourses and ponds, assessment of in-stream aquatic invertebrate populations must be undertaken a minimum of once annually during the 2nd (second) and 5th (fifth) years of the five (5) year monitoring program and during the time of year that will yield maximum diversity and quantity of invertebrate species (usually during the late spring/ early summer). Sampling should be conducted in riffle-type habitats at a minimum of three (3) locations (upper, middle and lower stream reach) if the stream section is 15 meters in length or longer; at a minimum of one (1) location if the stream section is less than 15 meters in length. Invertebrates collected are to be counted and identified to the to the Family level. Data from the invertebrate assessment shall be submitted in the monitor's report.
 - h) the Monitoring Program shall be conducted by a qualified biologist, or other professional who has experience in this area, and who is acceptable to DFO;
 - i) the provision to DFO of the annual results of the Monitoring Program in a written report, including an as built plan (where applicable), and any other relevant documents and photographs, by the first of December of each year of the Monitoring Program;
 - j) the fifth years monitoring report for any project shall provide the results of the final year's monitoring and shall summarize the findings of the five years of annual monitoring. The final report will provide a functional assessment of the performance of the compensatory habitat and will include photographs of the constructed compensatory works;
 - k) should any deficiencies in the compensatory habitat be identified by Gloucester, the environmental monitor, any agents or contractors working on behalf of Gloucester, DFO and/ or MELP, the parties shall notify one another in a timely manner. Any identified deficiencies with regard to the form or functioning of the compensatory habitat must be addressed in a timely manner and communicated in writing to DFO and/ or MELP, and resolved as per their direction.
 - l) should the clauses in 33 b) or c) be enacted, an additional annual and final monitoring report will be required in the two years following its enactment.
33. The compensatory habitat will be deemed to functioning as intended if, in the opinion of

DFO,

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- the habitat is physically stable;
- it functions as designed,
- riparian vegetation has achieved the targeted survivorship;
- that there is sufficient aquatic invertebrate production to function to provide, in the opinion of DFO, sufficient food and nutrients to downstream habitats; and,
- where fish accessible habitat has been constructed, the site functions to provide accessible habitat for salmonids.

Following the initial monitoring period, and any extensions thereof, DFO will assess the success of the compensatory habitat and determine whether or not it is functioning as intended, and choose the appropriate course of action as outlined below:

- a) the compensatory habitat is functioning as intended and will be self-sustaining without further major remedial work. The Monitoring Program will be terminated; or
 - b) the compensatory habitat is not functioning as intended. Gloucester shall extend the Monitoring Program, including remedial work, for a minimum of an additional two years to allow more time for the habitat to become adequately established;
 - c) the compensatory habitat is not functioning as intended and further remedial work is not likely to rectify the situation. Gloucester shall then carry out alternative compensatory works of similar habitat value within the same watershed and requiring an additional monitoring period.
34. Gloucester shall ensure that the compensatory habitat is functioning as intended for the lifetime of Gloucester Industrial Estates. If at any time Gloucester becomes aware that the compensatory habitat is not functioning as intended Gloucester shall carry out any works which are necessary to enable the compensatory habitat to function as designed. If Gloucester transfers its interest in Gloucester Industrial Estates, and the transferee assumes the obligations of this Authorization in a form satisfactory to DFO, Gloucester shall thereafter be relieved of these obligations.
35. Gloucester has delivered to DFO two Letters of Credit totalling \$100,000. These Letters of Credit are to be reduced in accordance with the Letter of Credit Reduction Schedule (refer to Appendix G).
36. If the conditions of this Authorization are not met, DFO may draw upon the letters of credit to ensure that the agreed upon terms and conditions of this Authorization are duly carried out.

The holder of this authorization is hereby authorized under the authority of section 35(2) of the Fisheries Act, R.S.C., 1985, c.F.14, to carry out the work or undertaking described herein.

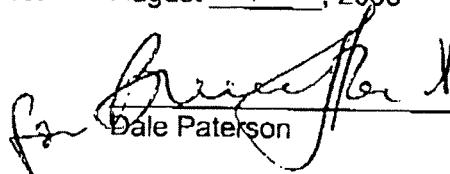
This authorization is valid only with respect to fish habitat and for no other purposes. It does not purport to release the applicant from any obligation to obtain permission form or to comply with the requirements of any other regulatory agencies.

Failure to comply with any condition of this authorization may result in charges under the Fisheries Act.

This authorization form should be held on site and work crews should be made familiar with the conditions attached.

Date of issuance: August 29, 2000

Approved by:


Dale Paterson


Title: Area Chief, Fraser River Division Habitat Unit
Habitat and Enhancement Branch

161884 Canada Inc. (Gloucester) acknowledges that Fisheries and Oceans Canada has consulted with it regarding the terms of this Authorization, and confirms that it has reviewed and understands the terms of this Authorization, and it will comply with them.

Executed by an authorized signatory of 161884 Canada Inc. on the 24th day of August, 2000 in the presence of:

161884 Canada Inc. (Gloucester)

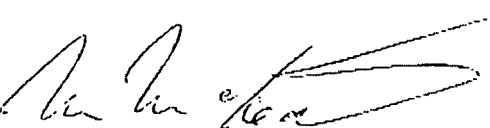
Witness (signature)


Ryan Beedle

Name (print):

Title (print):

Per:


Authorized signatory

MATTHEW McKEETHNIE

Name (print)

PRESIDENT

Title (print)

2005 Air Photo



2008 Air Photo

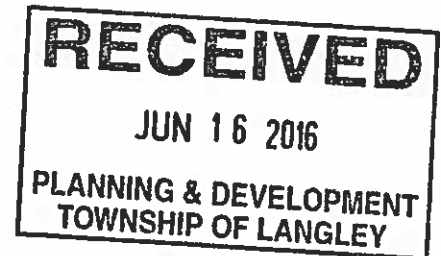


2010 Air Photo



June 14, 2016

BEEDIE DEVELOPMENT GROUP
 3030 Gilmore Diversion
 Burnaby, BC
 V5G 3B4



Attention: Mr. Adan Donnelly
Manager, Land Development

Dear Mr. Donnelly,

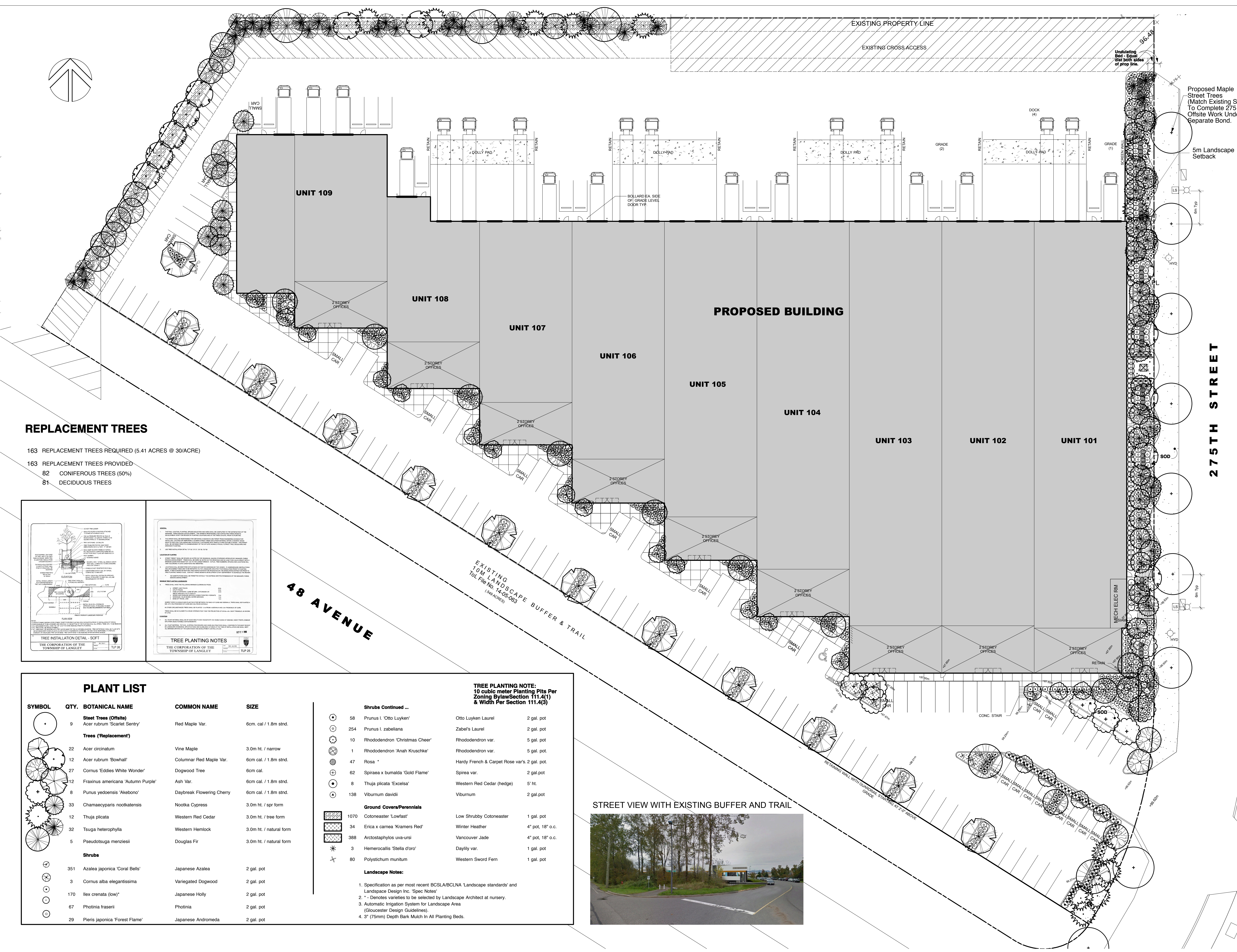
**RE: GLOUCESTER INDUSTRIAL PARK, LANGLEY
 PROPOSED OCP AMENDMENT AND REZONING**

We understand that you are seeking an amendment to the Township of Langley Official Community Plan (OCP) and rezoning in support of proposed changes to development plans at Gloucester Industrial Estates (Gloucester). In support of your proposals the Township of Langley has requested information regarding the status of senior agency approvals for works that have been completed and works that remain outstanding.

Senior Agency Approvals – Previous

Prior to 2000 all proposed works at Gloucester that affected streams and/or fish habitat required senior agency approvals on a project-by-project basis. In August 2000, Fisheries and Oceans Canada (DFO) issued an Authorization and the Ministry of Environment (now the Ministry of Forests, Lands and Natural Resource Operations, MFLNRO) issued a Water Approval that addressed all remaining foreseen works in and about watercourses, as required under the *Fisheries Act* and the *Water Act*, respectively.

In March 2007 Envirowest submitted a final habitat monitoring report to DFO that confirmed that all compensatory works had been completed and were functioning as required a minimum of five years post-construction. The only outstanding work at the time of that report was the construction (to its ultimate configuration) of the community detention pond located at the southeast corner of the 56 Avenue – 272 Street intersection. The monitoring report was accepted by DFO.



REPLACEMENT TREES

163 REPLACEMENT TREES REQUIRED (5.41 ACRES @ 30/ACRE)
 163 REPLACEMENT TREES PROVIDED
 82 CONIFEROUS TREES (50%)
 81 DECIDUOUS TREES

TREE INSTALLATION DETAIL - SOFT
 THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

TREE PLANTING NOTES
 THE CORPORATION OF THE TOWNSHIP OF LANGLEY TLP 25

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Street Trees (Offsite)				
•	9	Acer rubrum 'Scarlet Sentry'	Red Maple Var.	6cm cal. / 1.8m std.
Trees ('Replacement')				
○	22	Acer circinatum	Vine Maple	3.0m ht. / narrow
○	12	Acer rubrum 'Bowhall'	Columnar Red Maple Var.	6cm cal. / 1.8m std.
○	27	Cornus 'Eddies White Wonder'	Dogwood Tree	6cm cal.
○	12	Fraxinus americana 'Autumn Purple'	Ash Var.	6cm cal. / 1.8m std.
○	8	Punus yedoensis 'Akebono'	Daybreak Flowering Cherry	6cm cal. / 1.8m std.
○	33	Chamaecyparis nooklatensis	Nootka Cypress	3.0m ht. / spr form
○	12	Thuja plicata	Western Red Cedar	3.0m ht. / tree form
○	32	Tsuga heterophylla	Western Hemlock	3.0m ht. / natural form
○	5	Pseudotsuga menziesii	Douglas Fir	3.0m ht. / natural form
Shrubs				
⊗	351	Azalea japonica 'Coral Bells'	Japanese Azalea	2 gal. pot
⊗	3	Cornus alba elegantissima	Variiegated Dogwood	2 gal. pot
⊗	170	Ilex crenata (low)	Japanese Holly	2 gal. pot
⊗	67	Photinia fraserii	Photinia	2 gal. pot
⊗	29	Pieris japonica 'Forest Flame'	Japanese Andromeda	2 gal. pot
Shrubs Continued ...				
⊗	58	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	2 gal. pot
⊗	254	Prunus l. zabeliana	Zabel's Laurel	2 gal. pot
⊗	10	Rhododendron 'Christmas Cheer'	Rhododendron var.	5 gal. pot
⊗	1	Rhododendron 'Anah Kruschke'	Rhododendron var.	5 gal. pot
⊗	47	Rosa *	Hardy French & Carpet Rose var's	2 gal. pot
⊗	62	Spiraea x bumalda 'Gold Flame'	Spiraea var.	2 gal. pot
⊗	8	Thuja plicata 'Excelsa'	Western Red Cedar (hedge)	5' ht.
⊗	138	Viburnum davidii	Viburnum	2 gal. pot
Ground Covers/Perennials				
■	1070	Cotoneaster 'Lowfast'	Low Shrubby Cotoneaster	1 gal. pot
■	34	Erica x carnea 'Kramers Red'	Winter Heather	4" pot, 18" o.c.
■	388	Arctostaphylos uva-ursi	Vancouver Jade	4" pot, 18" o.c.
✱	3	Hemerocallis 'Stella d'oro'	Daylily var.	1 gal. pot
✱	80	Polystichum munium	Western Sword Fern	1 gal. pot
Landscape Notes:				
1. Specification as per most recent BCSLA/BCLNA 'Landscape standards' and Landscape Design Inc. 'Spec Notes'				
2. * - Denotes varieties to be selected by Landscape Architect at nursery.				
3. Automatic Irrigation System for Landscape Area (Gloucester Design Guidelines).				
4. 3" (75mm) Depth Bark Mulch in All Planting Beds.				

STREET VIEW WITH EXISTING BUFFER AND TRAIL



Beedie | Development Group
 3030 GILMORE DYSN., BURNABY, V5G 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7349



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4	OCT 2017 REISSUE FOR BP (screen wall confers)
3	SEP 0117 ISSUE FOR BUILDING PERMIT
2	AUG 1617 REISSUE FOR DEVELOPMENT PERMIT
1	MAR 1417 ISSUE FOR DEVELOPMENT PERMIT
NO.	DATE DESCRIPTION
SEAL	

PROJECT PROPOSED:
275TH MULTI
 ADDRESS: 275th & 48th Ave., Langley, B.C.
 LEGAL: Lot 1 Section 5 Township 14 NWD Plan EPP70774
 DRAWING
LANDSCAPE PLAN
 TOL FILE # 14-05-0098

DRAWN	ACT
DESIGNED	
SCALE:	1"=20'-0"
PLOT DATE:	FEB 17/17

PROJECT - DRAWING NUMBER
L-1

TITLE SEARCH PRINT

2017-05-15, 19:22:59

File Reference: 34118-0001

Requestor: Winnie Wong

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under	SECTION 98 LAND TITLE ACT
Land Title District Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
Title Number From Title Number	CA5956010 BB21275 BB773415
Application Received	2017-04-27
Application Entered	2017-05-10
Registered Owner in Fee Simple Registered Owner/Mailing Address:	161884 CANADA INC., INC.NO. 28204A 3030 GILMORE DIVERSION BURNABY, BC V5G 3B4
Taxation Authority	MUNICIPALITY OF LANGLEY
Description of Land Parcel Identifier: Legal Description:	030-127-289 LOT 1 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP70774
Legal Notations	NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932 FILED 2008-04-03 HERETO IS ANNEXED EASEMENT BE200470 OVER (PLAN LMP1416) LOT 2 PLAN NWP87490

TITLE SEARCH PRINT

File Reference: 34118-0001

2017-05-15, 19:22:59

Requestor: Winnie Wong

Charges, Liens and Interests

Nature:	UNDERSURFACE RIGHTS
Registration Number:	271665C
Registration Date and Time:	1959-10-16 14:32
Registered Owner:	WDPL HOLDINGS LIMITED
Transfer Number:	BA181654
Remarks:	INTER ALIA SEE 447728E AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193) EXCEPT: PART ON HIGHWAY PLAN 23336 AND PART LYING SOUTH AND WEST OF HIGHWAY PLAN 23336
Nature:	UNDERSURFACE RIGHTS
Registration Number:	271666C
Registration Date and Time:	1959-10-16 14:32
Registered Owner:	WDPL HOLDINGS LIMITED
Transfer Number:	BA181655
Remarks:	INTER ALIA SEE 447728E AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193) EXCEPT: PART ON HIGHWAY PLAN 23336 AND PARTS LYING SOUTH AND WEST OF HIGHWAY PLAN 23336
Nature:	STATUTORY BUILDING SCHEME
Registration Number:	BP281646
Registration Date and Time:	2000-11-24 09:33
Remarks:	INTER ALIA
Nature:	STATUTORY RIGHT OF WAY
Registration Number:	BP285970
Registration Date and Time:	2000-11-28 14:51
Registered Owner:	BRITISH COLUMBIA HYDRO AND POWER AUTHORITY
Remarks:	INTER ALIA PART FORMERLY LOT 5 PLAN NWP87490
Nature:	STATUTORY RIGHT OF WAY
Registration Number:	BP285971
Registration Date and Time:	2000-11-28 14:51
Registered Owner:	TELUS COMMUNICATIONS (B.C.) INC. INCORPORATION NO. A51167
Remarks:	INTER ALIA PART FORMERLY LOT 5 PLAN NWP87490

TITLE SEARCH PRINT

2017-05-15, 19:22:59

File Reference: 34118-0001

Requestor: Winnie Wong

Nature: EASEMENT
 Registration Number: BA602677
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27811
 APPURTENANT TO LOT 2 PLAN BCP27810

Nature: EASEMENT
 Registration Number: BA602679
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27812
 APPURTENANT TO LOT 3 PLAN BCP27810

Nature: COVENANT
 Registration Number: BB129084
 Registration Date and Time: 2007-10-17 14:52
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB184649
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184651
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34342

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184653
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34343

Nature: COVENANT
 Registration Number: BB184655
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA
 PART FORMERLY LOT 3 PLAN BCP34340

TITLE SEARCH PRINT

2017-05-15, 19:22:59

File Reference: 34118-0001

Requestor: Winnie Wong

Nature: COVENANT
 Registration Number: BB184656
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB184657
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BB184659
 Registration Date and Time: 2008-01-11 10:11
 Remarks: PART ON PLAN BCP34345
 APPURTENANT TO LOTS 1 AND 2 PLAN BCP34340
 PARTIAL RELEASE CA5956009 REC'D ON 04-26-2017 AS
 TO LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB773417
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40898

Nature: COVENANT
 Registration Number: BB773418
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART FORMERLY LOT 4 PLAN BCP40897

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB773420
 Registration Date and Time: 2009-05-13 14:08
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40899

Nature: COVENANT
 Registration Number: BB773425
 Registration Date and Time: 2009-05-13 14:09
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 4 PLAN BCP40897

TITLE SEARCH PRINT

File Reference: 34118-0001

2017-05-15, 19:22:59
Requestor: Winnie Wong

Duplicate Indefeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

**NO
TRESPASSING**

**ENVIRONMENTALLY
SENSITIVE AREA**

**TRESPASSERS
WILL BE
PROSECUTED.**

Beedie | Development Group

**Township
of Langley**



Est. 1873

**Township of Langley Fire Department
Plan Review
Fire Prevention Division
Phone: 604-532-7514 Fax 604-532-7530**

DATE OF REVIEW:	REVIEWED BY:	PERMIT NUMBER
May/09/2017	Pat Walker	DP100890
ADDRESS		
4800 275 St		
NAME OF BUSINESS		
Canada Inc Beedie Development		
CONTACT NUMBERS		
CONTRACTOR		
Beedie		
ENGINEER		
TYPE OF PLAN CHECKED		
Planning and Development		
DEFICIENCY		
<p>No issues noted</p> <p>Addressing signage as per Fire Prevention bylaw 4956 section section 2.21.01</p> <p>2.21.00 Civic Addresses - Signage</p> <p>2.21.01 Every owner of real property in the Township shall ensure that the civic street address assigned to that property by the Township is displayed in accordance with the following requirements:</p> <p>a)the address must be legible from a minimum distance of fifteen (15) metres, with each address number assigned to each building being not less than the minimum size specified in Table 1 below;</p> <p>b)where such property includes multiple buildings with separate addresses assigned to each of the buildings, the building address must be displayed on each building in accordance with paragraph (a);</p>		

Tuesday, May 09, 2017

Permit Number DP100890

Page 1

c)where a building is set back from the street or roadway fronting the property such that the assigned civic address is not clearly identifiable due to the distance from the street or roadway, or where landscaping or architectural appendages or other obstructions would obstruct the visibility of the address, the assigned civic addresses shall be displayed at the driveway entrance from the highway serving the building as well as on the building itself;

d)the address must be displayed on a weather-resistant sign permanently mounted and must be highly visible from all directions of traffic flow;

e)where unusual circumstances exist, the Fire Chief may require that a direction indicator or other means of readily identifying and locating a building be provided;

f)letters or numbers must be of a colour which contrasts with the background colour of the building;

g)if an emergency access route is from a street or route other than that to which has been assigned a civic address, a sign must be posted indicating the civic address in a location approved by the Fire Chief; and

h)the civic address must conform to the prescriptions set out in Table 2 below:

Table 2

Building Type Sign Type and Minimum Size

Residential Rural Reflective 5 inch/127mm

Residential Urban 5 inch/127mm

Commercial/Institutional up to and including 4 metres 10 inch/254mm

Commercial/Institutional over 4 metres 18 inch/457.2mm

From: [Joel Nagtegaal](#)
To: [Andrew Peterson](#)
Subject: Project: 14-05-0098 | Folder: DP100890
Date: Thursday, October 12, 2017 9:19:00 AM
Attachments: [image001.png](#)
[14-05-0098 Dev Eng Comments.pdf](#)
[image005.png](#)

Good morning Andrew,

Staff have completed a review of your revised development application (received September 26, 2017) located at the 4800 block of 275 Street and provide the following comments to you and your consultant(s).

General Comments:

1. Thank you for providing a colour and material board.
2. Section 702A.5(a) of the Township of Langley Zoning Bylaw requires a 10 metre setback from a front lot line. The definition of "Front Lot Line" in the Township of Langley Zoning Bylaw defines the front lot line as the following:

Means the lot line common to the lot and an abutting street:

a) In the case where a lot has lot lines abutting two or more streets, the front lot line is the lot line with the shorter distance, excluding corner truncations, abutting a street;

b) In the case where the frontage of a lot abuts a lane, the front lot line is the lot line opposite to, not adjoining and most distant from the frontage;

c) In the case of a panhandle lot, the front lot line shall be the lot line of the main body of the lot closest to the highway from which the lot is accessed, including the width of the panhandle.

As per (a) above, the front lot line is the 275 Street frontage. Drawing A-1 indicates a 5 metre setback from the front lot line. As per Section 702A.5(a) of the Township's Zoning Bylaw, a 10 metre set back is required from the front lot line in the General Industrial Zone M-2A. As previously indicated, please revise the plan or indicate if a variance is being requested. If a variance is being requested, please provide a rationale for why the variance should be considered. Note that as the 275 Street lot line is the front of the building, it should receive additional architectural consideration, particularly if you are seeking a variance for the siting.

3. Section 111.4(1) of the Zoning Bylaw requires one tree per six parking stalls. This requirement is not being met at a key location on the site. Provide a rationale why this requirement can not be met. Consider relocating landscape islands from the southwest portion of the site to be located in front of "Unit 103" and "Unit 102."
4. Thank you for providing copies of the encumbrances (restrictive covenants and statutory rights-of-way) registered on the title of the properties under application.
5. Thank you for providing electronic copies of plans and renderings. Staff note that there appears to be a discrepancy between the renderings and the elevations.
6. Details of the proposed screening wall have been received. As a variance is being requested, this wall should receive additional treatment. The screen wall should extend north to further screen the loading area. The landscaping in front of the screen wall should also include coniferous plantings in order to further screen the loading area.

7. Staff note that in response to previous comments regarding further architectural treatment of the east elevation, a variation in paint colour has been added. As a variance is being requested to reduce the setback along this lot line to have the building be closer to the street, this building face should receive additional architectural / design treatment, particularly on the southeast corner which serves as the main entrance to the site and is located at an intersection. Additional treatment could include additional materials, additional glazing, additional building articulation and / or other design features.
8. Council-adopted Exterior Lighting Impact Policy (Policy No. 07-156) applies to properties within 150 metres of land zoned or designated for residential or rural purposes. As the subject property is within 150 metres of land zoned or designated for residential or rural purposes, compliance with this Policy will be a condition of Building Permit.

Green Infrastructure Services Comments:

9. Note that your landscape architect and Green Infrastructure Services (GIS) continue to coordinate and address GIS comments sent in a previous letter.

If you require clarification on any Green Infrastructure Services items, please contact Ana Velazquez at 604.533.6090 x 3471 or avelazquez@tol.ca.

Development Engineering Comments:

10. Attached for your information are comments from the Development Engineering Department. If you require clarification on any of these items, please contact Paul Albrecht at 604.533.6080 or palbrecht@tol.ca.

Please address these comments in writing and through the provision of a revised design package consisting of three reduced (11" x 17") sets. Your revised submission will be further reviewed by Township Departments. You may also need to engage other professionals to address specific items as they arise.

The comments provided in this letter and its attachments are by no means exhaustive. Any matters which arise after the date of this letter may result in additional deficiencies to be satisfied prior to final approval. If you have any questions or concerns regarding the above listed comments, please contact me at 604. 533.6044 or jnagtegaal@tol.ca.

Thank you,

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Andrew Peterson
To: [Joel Nagtegaal](mailto:Joel.Nagtegaal)
Subject: RE: 08-35-0124 | 9228 - 200 Street
Date: Friday, September 29, 2017 10:57:11 AM
Attachments: [image007.png](#)
[image001.png](#)
[image002.png](#)
[Consolidated Planning Drawing Set.pdf](#)

Joel,
Please find attached.
Andrew

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



The contents of this communication, including any attachment(s), are confidential and may be privileged. Unauthorized use or dissemination is prohibited. The contents of this email are intended only for the internal use of the recipient(s) listed above. If you are not the intended recipient, you are directed not to read, disclose, distribute or otherwise use this transmission. If you have received this email in error, please notify the sender immediately and delete the transmission. Delivery of this message is not intended to waive any applicable privileges.

From: Joel Nagtegaal [mailto:jnagtegaal@tol.ca]
Sent: Friday, September 29, 2017 9:37 AM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: 08-35-0124 | 9228 - 200 Street

Good morning Andrew,

Could you please send me a PDF of the DP drawings for the subject application at 9228 – 200 Street?

Thank you,

Joel Nagtegaal | Planner
 Development Services | Community Development
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 604.533.6044
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#); [Paul Albrecht](#)
Subject: RE: 14-05-0098 | Beedie - 4800 block of 275 Street
Date: Wednesday, October 04, 2017 2:29:00 PM
Attachments: [Consolidated Planning Drawing Set.pdf](#)
[image001.png](#)
[image004.png](#)

Hi Ana,
 See attached DP drawing set for the subject application. Note this resubmission was submitted Sept. 26, 2017.
 Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
 604.533.6044

From: Ana Velazquez
Sent: Wednesday, October 04, 2017 1:15 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Paul Albrecht <palbrecht@tol.ca>
Subject: RE: 14-05-0098 | Beedie - 4800 block of 275 Street

Joel

I have to see the plans for your new DP submission and check if they are consistent with the latest plans I received.

If the plans are consistent then I could accept the current landscape plans with conditions.

Ana

From: Joel Nagtegaal
Sent: Wednesday, October 04, 2017 12:57 PM
To: Ana Velazquez <avelazquez@tol.ca>; Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 | Beedie - 4800 block of 275 Street

Hi Ana and Paul,
 I have received a revised DP drawing set for the subject application. Depending on the quality of the resubmission, I am targeting having a report to Council on the November 6 Council agenda. This means the report needs to be complete by October 23.
 Could you please confirm the status of GIS and Dev. Eng. requirements?
 Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Ana Velazquez](#)
To: [Joel Nagtegaal](#); [Paul Albrecht](#)
Subject: RE: 14-05-0098 | Beedie - 4800 block of 275 Street
Date: Wednesday, October 04, 2017 1:14:52 PM
Attachments: [image001.png](#)
[image002.png](#)

Joel

I have to see the plans for your new DP submission and check if they are consistent with the latest plans I received.

If the plans are consistent then I could accept the current landscape plans with conditions.

Ana

From: Joel Nagtegaal
Sent: Wednesday, October 04, 2017 12:57 PM
To: Ana Velazquez <avelazquez@tol.ca>; Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 | Beedie - 4800 block of 275 Street

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Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#); [Paul Albrecht](#)
Subject: RE: 14-05-0098 | Beedie - 4800 block of 275 Street
Date: Wednesday, October 04, 2017 2:40:00 PM
Attachments: [Consolidated Planning Drawing Set.pdf](#)
[image001.png](#)
[image004.png](#)

Hi Ana,
See attached DP drawings for the subject application submitted Sept. 26, 2017.
Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Ana Velazquez
Sent: Wednesday, October 04, 2017 1:15 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Paul Albrecht <palbrecht@tol.ca>
Subject: RE: 14-05-0098 | Beedie - 4800 block of 275 Street

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If the plans are consistent then I could accept the current landscape plans with conditions.

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To: Ana Velazquez <avelazquez@tol.ca>; Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 | Beedie - 4800 block of 275 Street

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Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Paul Albrecht](#)
Subject: RE: 14-05-0098 | Beedie
Date: Wednesday, October 11, 2017 12:57:00 PM
Attachments: [image001.png](#)
[image002.png](#)
Importance: High

Hi Paul,

This is the project we met with Ana about earlier this week. It doesn't look like we have a memo from Dev. Eng. to the Planner outlining engineering comments for this one. Are you able to complete and send to me ASAP?

Thanks!

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Paul Albrecht
Sent: Wednesday, July 12, 2017 1:50 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: 14-05-0098 | Beedie

Yes, will get it done next week. I am currently reviewing their design drawings as well.

From: Joel Nagtegaal
Sent: Wednesday, July 12, 2017 10:12 AM
To: Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 | Beedie

Hi Paul,

Are you able to draft the Dev. Eng. requirements / memo for the subject DP application in the next week or so? I had sent them a file review letter indicating that Development Engineering comments would be sent under separate cover. This is the application in which they are proposing to relocate the Storm SRW.

Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Paul Albrecht](#)
Subject: RE: 14-05-0098 | Beedie
Date: Tuesday, July 25, 2017 11:32:00 AM
Attachments: [image001.png](#)
[image002.png](#)

Hi Paul,

Are you able to add a Dev. Eng requirements / memo for the subject DP to the DE folder in prosper for this application? The guys from Beedie are hoping to resubmit some DP material and I wanted to make sure they had all of our comments.

Thanks!

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Paul Albrecht
Sent: Wednesday, July 12, 2017 1:50 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: 14-05-0098 | Beedie

Yes, will get it done next week. I am currently reviewing their design drawings as well.

From: Joel Nagtegaal
Sent: Wednesday, July 12, 2017 10:12 AM
To: Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 | Beedie

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Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Paul Albrecht](#)
To: [Joel Nagtegaal](#)
Subject: RE: 14-05-0098 | Beedie
Date: Wednesday, July 12, 2017 1:50:30 PM
Attachments: [image001.png](#)
[image002.png](#)

Yes, will get it done next week. I am currently reviewing their design drawings as well.

From: Joel Nagtegaal
Sent: Wednesday, July 12, 2017 10:12 AM
To: Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 | Beedie

Hi Paul,
Are you able to draft the Dev. Eng. requirements / memo for the subject DP application in the next week or so? I had sent them a file review letter indicating that Development Engineering comments would be sent under separate cover. This is the application in which they are proposing to relocate the Storm SRW.
Thanks!

Joel Nagtegaal | Planner

Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Paul Albrecht](#)
To: [Joel Nagtegaal](#)
Subject: RE: 14-05-0098 | Beedie
Date: Wednesday, October 11, 2017 1:56:57 PM
Attachments: [image001.png](#)
[image002.png](#)

I will get on this and let you know.

From: Joel Nagtegaal
Sent: Wednesday, October 11, 2017 12:58 PM
To: Paul Albrecht <palbrecht@tol.ca>
Subject: RE: 14-05-0098 | Beedie
Importance: High

Hi Paul,
This is the project we met with Ana about earlier this week. It doesn't look like we have a memo from Dev. Eng. to the Planner outlining engineering comments for this one. Are you able to complete and send to me ASAP?
Thanks!

Joel Nagtegaal | Planner
Community Development | Township of Langley
604.533.6044

From: Paul Albrecht
Sent: Wednesday, July 12, 2017 1:50 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: 14-05-0098 | Beedie

Yes, will get it done next week. I am currently reviewing their design drawings as well.

From: Joel Nagtegaal
Sent: Wednesday, July 12, 2017 10:12 AM
To: Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 | Beedie

Hi Paul,
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Thanks!

Joel Nagtegaal | Planner
Development Services | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Shirley Johnson](#)
Subject: RE: 14-05-0098 Referral Letters
Date: Friday, April 28, 2017 8:52:00 AM

Good morning Shirley,

As it turns out, we do not send referrals to MOTI for Development Permit applications. We only send them for RZ, RO, or Subdivision applications.

Sorry for the mix up! We can delete the MOTI referral from the DP100890 (Project No. 14-05-0098) folder.

Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Shirley Johnson
Sent: Friday, April 28, 2017 8:40 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: 14-05-0098 Referral Letters

Hi Joel,

Would you mind finishing up the second page of the MOTI referral for 14-05-0098? Let me know when it's completed and I will print it.

Thanks,

Shirley Johnson | Support Clerk

Community Development
604.533.6152

From: [Shirley Johnson](#)
To: [Joel Nagtegaal](#)
Subject: RE: 14-05-0098 Referral Letters
Date: Friday, April 28, 2017 8:55:23 AM

Okay! I've already learned something today! I'll delete the referral.

Thanks,
Shirley

From: Joel Nagtegaal
Sent: Friday, April 28, 2017 8:53 AM
To: Shirley Johnson <spjohnson@tol.ca>
Subject: RE: 14-05-0098 Referral Letters

Good morning Shirley,
As it turns out, we do not send referrals to MOTI for Development Permit applications. We only send them for RZ, RO, or Subdivision applications.
Sorry for the mix up! We can delete the MOTI referral from the DP100890 (Project No. 14-05-0098) folder.
Thanks,

Joel Nagtegaal | Planner
Community Development | Township of Langley
604.533.6044

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Sent: Friday, April 28, 2017 8:40 AM
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Thanks,

Shirley Johnson | Support Clerk
Community Development
604.533.6152

From: [Ana Velazquez](#)
To: [Joel Nagtegaal](#)
Subject: RE: 14-05-0098
Date: Friday, September 08, 2017 10:09:50 AM
Attachments: [image001.png](#)
[image002.png](#)

Joel,

I updated the letter [here](#)

Cheers

Ana

From: Joel Nagtegaal
Sent: Friday, September 08, 2017 8:37 AM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: RE: 14-05-0098

I had sent them a file review letter in June with previous comments. They are apparently revising their original submission to incorporate comments from the first file review letter.

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Ana Velazquez
Sent: Friday, September 08, 2017 8:33 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: 14-05-0098

No worries 😊

I'll let you know when I am done so you can update the letter.

Cheers

Ana

From: Joel Nagtegaal
Sent: Friday, September 08, 2017 8:31 AM
To: Ana Velazquez <avelazquez@tol.ca>
Subject: RE: 14-05-0098

Hi Ana,

Sorry about that! I accidentally left the document open and then forgot to close it before going to meetings yesterday afternoon.

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Ana Velazquez
Sent: Thursday, September 07, 2017 4:19 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: 14-05-0098

Hi Joel

I got a call from Andrew Petterson from Beedie.
Although the LA had stated that, there were no significant trees on site, a recent arborist report outlines the existence of 14 trees along the south lot line.
Because this lot was granted a clearing permit under a previous Rezoning application and because the trees are not in optimal condition to be retained, Dave decided we will not ask them to provide an ISDC.
I would like to edit the preliminary file review comments and noticed that you have the file open. Would you please close it so I can modify it?

Thanks

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#)
Subject: RE: 14-05-0098
Date: Friday, September 08, 2017 8:36:00 AM
Attachments: [image001.png](#)
[image002.png](#)

I had sent them a file review letter in June with previous comments. They are apparently revising their original submission to incorporate comments from the first file review letter.

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

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Sent: Friday, September 08, 2017 8:33 AM
To: Joel Nagtegaal
Subject: RE: 14-05-0098

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Cheers

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Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

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Ana Velazquez Martin | Landscape Design Technician
 Green Infrastructure Services | Community Development Division
 604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#)
Subject: RE: 14-05-0098
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604.533.6044

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Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Joel Nagtegaal](#)
To: [Ana Velazquez](#)
Subject: RE: 14-05-0098
Date: Monday, September 25, 2017 11:51:00 AM
Attachments: [image001.png](#)
[image002.png](#)

Hi Ana,

No, they can not start construction prior to issuance of a development permit.

Section 4.0 of the Gloucester Plan:

4.0 DEVELOPMENT PERMIT GUIDELINES

#2812 **In a Development Permit Area, before a building permit may be obtained, a Development Permit must first be issued by Council.** Council may set forth conditions under which development may take place that may be in addition to normal zoning requirements and the developer's Statutory Building Scheme registered as a charge against the lands pursuant to Section 216(1) of the Land Title Act.

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Ana Velazquez
Sent: Monday, September 25, 2017 11:46 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: 14-05-0098

Hi Joel,

I got a pre construction-meeting request for this application.
Are they able to start construction when the DP application is not finalized or accepted?

Ana Velazquez Martin | Landscape Design Technician
Green Infrastructure Services | Community Development Division
604-533-6090 x3471 20338-65 Avenue, Langley, BC V2Y3J1
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Ramin Seifi](#)
To: [Daniel Graham](#); [Cathy Porter](#)
Cc: [Joel Nagtegaal](#); [Stephen Richardson](#); [Robert Knall](#)
Subject: RE: Beedie DP - slides for today
Date: Monday, December 04, 2017 11:56:36 AM
Attachments: [image001.png](#)
[image005.png](#)

Thank you.

Cathy: for today's Council please.

From: Daniel Graham
Sent: Monday, December 04, 2017 11:46 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>; Stephen Richardson <srichardson@tol.ca>; Robert Knall <rknall@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: RE: Beedie DP - slides for today

Good Morning Ramin,

As requested, find slides attached for your consideration. Please let me know if staff can provide additional assistance.

Best Regards,

Daniel Graham | Planning Technician
Development Planning | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
Direct line: 604.533.6090x2239
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Joel Nagtegaal
Sent: Monday, December 04, 2017 11:34 AM
To: Daniel Graham <dxgraham@tol.ca>
Subject: FW: Beedie DP - slides for today

Joel Nagtegaal | Planner
Community Development | Township of Langley
604.533.6044

From: Ramin Seifi
Sent: Monday, December 04, 2017 11:29 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>

Cc: Stephen Richardson <srichardson@tol.ca>; Cathy Porter <cporter@tol.ca>

Subject: Beedie DP - slides for today

Can you please arrange for a couple of slides to be available for today's council meeting reflecting what we have told council as part of a memo on today's distribution list with respect to the water course that was eliminated in 05-08 and replaces with a storm sewer pipe and SRS?

Thank you.

From: [Daniel Graham](#)
To: [Ramin Seifi](#)
Cc: [Joel Nagtegaal](#); [Stephen Richardson](#); [Robert Knall](#); [Cathy Porter](#)
Subject: RE: Beedie DP - slides for today
Date: Monday, December 04, 2017 11:45:56 AM
Attachments: [image001.png](#)
[Beedie Item.pptx](#)
[image002.png](#)

Good Morning Ramin,

As requested, find slides attached for your consideration. Please let me know if staff can provide additional assistance.

Best Regards,

Daniel Graham | Planning Technician
 Development Planning | Community Development
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 Direct line: 604.533.6090x2239
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Joel Nagtegaal
Sent: Monday, December 04, 2017 11:34 AM
To: Daniel Graham <dxgraham@tol.ca>
Subject: FW: Beedie DP - slides for today

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 604.533.6044

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Sent: Monday, December 04, 2017 11:29 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Cc: Stephen Richardson <srichardson@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: Beedie DP - slides for today

Can you please arrange for a couple of slides to be available for today's council meeting reflecting what we have told council as part of a memo on today's distribution list with respect to the water course that was eliminated in 05-08 and replaces with a storm sewer pipe and SRS?

Thank you.

From: [Cathy Porter](#)
To: [Ramin Seifi](#)
Cc: [Joel Nagtegaal](#); [Stephen Richardson](#); [Robert Knall](#); [Daniel Graham](#)
Subject: RE: Beedie DP - slides for today
Date: Monday, December 04, 2017 12:05:46 PM
Attachments: [image001.png](#)
[image002.png](#)

Slides saved to flash drive, as per Wendy and Mark.

Cathy Porter | Clerk Typist IV

Direct line: 604.532.7511

From: Ramin Seifi
Sent: Monday, December 04, 2017 11:57 AM
To: Daniel Graham <dxgraham@tol.ca>; Cathy Porter <cporter@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>; Stephen Richardson <srichardson@tol.ca>; Robert Knall <rknall@tol.ca>
Subject: RE: Beedie DP - slides for today

Thank you.

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Sent: Monday, December 04, 2017 11:46 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>; Stephen Richardson <srichardson@tol.ca>; Robert Knall <rknall@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: RE: Beedie DP - slides for today

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Best Regards,

Daniel Graham | Planning Technician
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 20338 – 65 Avenue, Langley, BC V2Y 3J1
 Direct line: 604.533.6090x2239
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Joel Nagtegaal
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To: Daniel Graham <dxgraham@tol.ca>
Subject: FW: Beedie DP - slides for today

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

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Cc: Stephen Richardson <srichardson@tol.ca>; Cathy Porter <cporter@tol.ca>
Subject: Beedie DP - slides for today

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Thank you.

From: [Joel Nagtegaal](#)
To: [Rod Shead](#)
Subject: RE: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester
Date: Thursday, May 18, 2017 1:00:00 PM

Hi Rod,

I am working on the file review letter for the subject application. Further to our meeting yesterday, as the owner of the subject site has had the two lots consolidated, do you think I should remove the red font from the below text when I insert the text in a file review letter?
 Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley
 604.533.6044

From: Rod Shead
Sent: Friday, April 28, 2017 11:06 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester

The subject property contains a streamside restrictive covenant (RC) that was registered with Fisheries and Oceans Canada as part of the DFO Authorization for the Gloucester area. A streamside RC applies to the land and use at the time the RC was established and subsequent development of the land (e.g building permit, development permit) must comply with the terms and conditions of the RC. **If a parcel containing a streamside RC is redeveloped (e.g. rezoned, subdivided) the proposed redevelopment must comply with the most current streamside requirements.**

In the case of this proposed lot consolidation (i.e. subdivision) the streamside area must be protected in accordance with Township streamside protection requirements outlined in Schedule 3 (Streamside Protection and Enhancement) of the Official Community Plan. Accordingly, the proponent will need to retain a Qualified Environmental Professional to assess the proposed development and confirm if protections outlined in the existing streamside RC meets minimum Township streamside protection requirements. If minimum Township streamside protection requirements are not met the applicant will need to revised the plan accordingly.

You are welcome to forward this to the applicant.

Rod Shead, RPBio, PAg
 Development Planning
 Environmental Coordinator
 Township of Langley 20338-65 Avenue, Langley, BC V2Y 3J1
 604.533.6090 ext. 3436 | rshead@tol.ca | www.tol.ca

From: Joel Nagtegaal
Sent: Thursday, April 27, 2017 1:14 PM
To: Rod Shead <rshead@tol.ca>

Subject: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester

Hi Rod,

Further to our conversation, see attached site plan for a proposed industrial development at 275 Street and 48 Avenue in Gloucester.

As part of the development, the applicant is proposing to consolidate two lots.

It appears that there is a waterbody on the north portion of one of the western parcel. The application mentions this area was perhaps protected by an RC with a previous rezoning process (?).

Could you confirm what streamside requirements ToL would have for this development?

Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Rod Shead](#)
To: [Joel Nagtegaal](#)
Subject: RE: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester
Date: Thursday, May 18, 2017 1:28:35 PM

Yes, remove text as consolidation via LTO means they only need to ensure development complies with conditions of the streamside restrictive covenant. Township streamside requirements don't apply.

From: Joel Nagtegaal
Sent: Thursday, May 18, 2017 1:00 PM
To: Rod Shead <rshead@tol.ca>
Subject: RE: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester

Hi Rod,
I am working on the file review letter for the subject application. Further to our meeting yesterday, as the owner of the subject site has had the two lots consolidated, do you think I should remove the red font from the below text when I insert the text in a file review letter?
Thanks,

Joel Nagtegaal | Planner
Community Development | Township of Langley
604.533.6044

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Sent: Friday, April 28, 2017 11:06 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
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Environmental Coordinator
Township of Langley 20338-65 Avenue, Langley, BC V2Y 3J1
604.533.6090 ext. 3436 | rshead@tol.ca | www.tol.ca

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To: Rod Shead <rshead@tol.ca>
Subject: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester

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It appears that there is a waterbody on the north portion of one of the western parcel. The application mentions this area was perhaps protected by an RC with a previous rezoning process (?).
Could you confirm what streamside requirements ToL would have for this development?
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Joel Nagtegaal | Planner
Community Development | Township of Langley
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Joel Nagtegaal](#)
To: ["Andrew Peterson"](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Wednesday, September 20, 2017 1:13:00 PM
Attachments: [image001.png](#)
[image002.png](#)

Hi Andrew,

I just wanted to check in and see if you were preparing to send a revised development permit drawing set for the subject application.

Please note that a building permit can not be issued until Council has issued a development permit.

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Andrew Peterson [mailto:Andrew.Peterson@beediigroup.ca]
Sent: Monday, May 29, 2017 2:18 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hello Joel,

I just wanted to check in on the review process here. Please let me know if I can provide any additional information or clarification.

Thank you,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

www.beediigroup.ca



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From: Andrew Peterson
Sent: Wednesday, May 17, 2017 3:24 PM

To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Great to hear Joel! As always, do not hesitate to reach out with any questions that pop up.
Andrew

From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Wednesday, May 17, 2017 3:16 PM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good afternoon Andrew,
Thank you for sending. I will add this to the file and forward to legal. That will be one less condition of the DP!
Thank you,

Joel Nagtegaal | Planner
Community Development | Township of Langley
604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson
Development Manager, Industrial
Beedie | Development Group
andrew.peterson@beediigroup.ca
p. 604.435.3321 | f. 604.432.7349
d. 604.909.8714 | c.778.939.7754
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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Tuesday, May 09, 2017 11:57 AM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,
 Staff's review of the DP application is progressing. Once we have received comments from external agencies and internal departments, we will incorporate their comments with comments from Planning and compile them in a file review letter.
 Staff will be in touch if we require any clarification or have questions.
 Thank you,

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,
 I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.
 All the best,
 Andrew

Andrew Peterson
 Development Manager, Industrial
Beedie | Development Group
andrew.peterson@beediigroup.ca
 p. 604.435.3321 | f. 604.432.7349
 d. 604.909.8714 | c.778.939.7754
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From: Andrew Peterson
Sent: Monday, May 01, 2017 9:18 AM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson
 Development Manager, Industrial
Beedie | Development Group
andrew.peterson@beediigroup.ca
 p. 604.435.3321 | f. 604.432.7349
 d. 604.909.8714 | c.778.939.7754
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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Monday, May 01, 2017 9:14 AM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,
 I am the Planner who has been assigned to the subject development application.
 Could you please send me digital drawings (PDF) of the site plan and elevations?
 Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Anita Lacki](#)
To: [Brenda Alder](#); [Laura Kennelly-Mohr](#)
Cc: [Joel Nagtegaal](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Tuesday, August 29, 2017 9:22:34 AM
Attachments: [image003.png](#)
[image004.png](#)
[image007.png](#)
[image008.png](#)

Yes, I will do that.

Anita Lacki | Support Clerk
 604.533.6154

From: Brenda Alder
Sent: Tuesday, August 29, 2017 9:10 AM
To: Anita Lacki <alacki@tol.ca>; Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Should we attach a copy of the updated title search in the Prospero folders?

Regards,

Brenda Alder | Sr Clerk - Development Planning
 Development Services | Community Development
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 Direct line: 604.532.7546
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Anita Lacki
Sent: Tuesday, August 29, 2017 8:41 AM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>; Brenda Alder <balder@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning;

I'm finally getting around to this because the old properties are now dead. Is there anything special I should be aware of?

Thanks,
Anita Lacki | Support Clerk
 604.533.6154

From: Laura Kennelly-Mohr
Sent: Wednesday, May 17, 2017 8:50 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Anita Lacki <alacki@tol.ca>

Cc: Brenda Alder <balder@tol.ca>

Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

Anita will need to update the properties in all the Prospero folders once they become dead in the system (they are still showing as active). The DP should show the new legal description when you get to that stage. We don't need anything more from Beedie. We usually have to beg people for updated information so I am actually impressed they let us know!

Anita – can you update this information when it becomes dead?

Thanks. 😊

Laura Kennelly-Mohr | Senior Clerk - Development Planning
604.532.7545

From: Joel Nagtegaal

Sent: Wednesday, May 17, 2017 8:34 AM

To: Laura Kennelly-Mohr <kennellymohr@tol.ca>

Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Laura,

It looks like Beedie has completed a lot consolidation in Gloucester for properties involved in ToL Project No. 14-05-0098 in the 4800 block of 275 Street (see below email and attached plan and title).

Is there anything they or we need to do as a result?

Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]

Sent: Tuesday, May 16, 2017 2:41 PM

To: Joel Nagtegaal <jnagtegaal@tol.ca>

Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

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Sent: Tuesday, May 09, 2017 11:57 AM

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Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

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Staff will be in touch if we require any clarification or have questions.

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

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Sent: Tuesday, May 09, 2017 11:00 AM

To: Joel Nagtegaal <jnagtegaal@tol.ca>

Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.

All the best,

Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

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From: Andrew Peterson

Sent: Monday, May 01, 2017 9:18 AM

To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>

Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

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Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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From: [Brenda Alder](#)
To: [Anita Lacki](#); [Laura Kennelly-Mohr](#)
Cc: [Joel Nagtegaal](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Tuesday, August 29, 2017 9:10:04 AM
Attachments: [image004.png](#)
[image008.png](#)
[image009.png](#)
[image001.png](#)

Should we attach a copy of the updated title search in the Prospero folders?

Regards,

Brenda Alder | Sr Clerk - Development Planning

Development Services | Community Development

20338 – 65 Avenue, Langley, BC V2Y 3J1

Direct line: 604.532.7546

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: Anita Lacki
Sent: Tuesday, August 29, 2017 8:41 AM
To: Laura Kennelly-Mohr <kennellymohr@tol.ca>; Brenda Alder <balder@tol.ca>
Cc: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning;

I'm finally getting around to this because the old properties are now dead. Is there anything special I should be aware of?

Thanks,
Anita Lacki | Support Clerk
 604.533.6154

From: Laura Kennelly-Mohr
Sent: Wednesday, May 17, 2017 8:50 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Anita Lacki <alacki@tol.ca>
Cc: Brenda Alder <balder@tol.ca>
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

Anita will need to update the properties in all the Prospero folders once they become dead in the system (they are still showing as active). The DP should show the new legal description when you get to that stage. We don't need anything more from Beedie. We usually have to beg people for updated information so I am actually impressed they let us know!

Anita – can you update this information when it becomes dead?

Thanks. ☺

Laura Kennelly-Mohr | Senior Clerk - Development Planning
604.532.7545

From: Joel Nagtegaal
Sent: Wednesday, May 17, 2017 8:34 AM
To: Laura Kennelly-Mohr <lakennelymohr@tol.ca>
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Laura,
It looks like Beedie has completed a lot consolidation in Gloucester for properties involved in ToL Project No. 14-05-0098 in the 4800 block of 275 Street (see below email and attached plan and title).
Is there anything they or we need to do as a result?
Thanks,

Joel Nagtegaal | Planner
Community Development | Township of Langley
604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson
Development Manager, Industrial
Beedie | Development Group
andrew.peterson@beediigroup.ca
p. 604.435.3321 | f. 604.432.7349
d. 604.909.8714 | c.778.939.7754
3030 Gilmore Diversion, Burnaby, BC V5G 3B4
www.beediigroup.ca



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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Tuesday, May 09, 2017 11:57 AM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,
 Staff's review of the DP application is progressing. Once we have received comments from external agencies and internal departments, we will incorporate their comments with comments from Planning and compile them in a file review letter.
 Staff will be in touch if we require any clarification or have questions.
 Thank you,

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,
 I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.
 All the best,
 Andrew

Andrew Peterson
 Development Manager, Industrial
Beedie | Development Group
andrew.peterson@beediigroup.ca
 p. 604.435.3321 | f. 604.432.7349
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From: Andrew Peterson
Sent: Monday, May 01, 2017 9:18 AM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

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 Could you please send me digital drawings (PDF) of the site plan and elevations?
 Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

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From: [Anita Lacki](#)
To: [Laura Kennelly-Mohr](#); [Brenda Alder](#)
Cc: [Joel Nagtegaal](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Tuesday, August 29, 2017 8:40:40 AM
Attachments: [image001.png](#)
[image002.png](#)

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Is there anything they or we need to do as a result?
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Community Development | Township of Langley
604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

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Please let me know if any additional documentation is required.

All the best,

Andrew Peterson

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Community Development | Township of Langley
604.533.6044

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Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

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All the best,
Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediegroupp.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

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Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

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 Could you please send me digital drawings (PDF) of the site plan and elevations?
 Thank you,

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 604.533.6044
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: Andrew Peterson
To: [Joel Nagtegaal](mailto:Joel.Nagtegaal)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Monday, May 29, 2017 2:15:41 PM
Attachments: [image001.png](#)
[image002.png](#)

Hello Joel,

I just wanted to check in on the review process here. Please let me know if I can provide any additional information or clarification.

Thank you,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

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From: Andrew Peterson
Sent: Wednesday, May 17, 2017 3:24 PM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Great to hear Joel! As always, do not hesitate to reach out with any questions that pop up.
 Andrew

From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Wednesday, May 17, 2017 3:16 PM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good afternoon Andrew,
 Thank you for sending. I will add this to the file and forward to legal. That will be one less condition of the DP!

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

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All the best,

Andrew Peterson

Development Manager, Industrial

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 All the best,
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Andrew Peterson

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Thank you Joel. Great to hear it. Please find the plans attached.

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Good morning Andrew,

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Could you please send me digital drawings (PDF) of the site plan and elevations?

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604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Rod Shead](#)
To: [Joel Nagtegaal](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Thursday, May 18, 2017 2:22:44 PM
Attachments: [image001.png](#)
[image002.png](#)

Thanks Joel.

From: Joel Nagtegaal
Sent: Wednesday, May 17, 2017 2:50 PM
To: Rod Shead <rshead@tol.ca>
Cc: Paul Albrecht <palbrecht@tol.ca>; Ana Velazquez <avelazquez@tol.ca>
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Rod,
 As per discussion, Beedie says they have consolidate the two lots which are part of the subject application.
 See attached title search and subdivision plan.
 Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley
 604.533.6044

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Beedie | Development Group

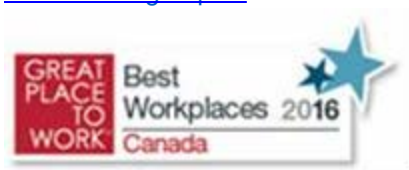
andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Tuesday, May 09, 2017 11:57 AM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,
 Staff's review of the DP application is progressing. Once we have received comments from external agencies and internal departments, we will incorporate their comments with comments from Planning and compile them in a file review letter.
 Staff will be in touch if we require any clarification or have questions.
 Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,
 I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.
 All the best,
 Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

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From: Andrew Peterson
Sent: Monday, May 01, 2017 9:18 AM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson
 Development Manager, Industrial
Beedie | Development Group
andrew.peterson@beediegroupp.ca
 p. 604.435.3321 | f. 604.432.7349
 d. 604.909.8714 | c.778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
www.beediegroupp.ca



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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Monday, May 01, 2017 9:14 AM
To: Andrew Peterson <Andrew.Peterson@beediegroupp.ca>
Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,
 I am the Planner who has been assigned to the subject development application.
 Could you please send me digital drawings (PDF) of the site plan and elevations?
 Thank you,

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 604.533.6044
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Anita Lacki](#)
To: [Laura Kennelly-Mohr](#); [Joel Nagtegaal](#)
Cc: [Brenda Alder](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Wednesday, May 17, 2017 8:50:50 AM
Attachments: [image001.png](#)
[image002.png](#)

You got it!

Anita Lacki | Support Clerk
 604.533.6154

From: Laura Kennelly-Mohr
Sent: Wednesday, May 17, 2017 8:50 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Anita Lacki <alacki@tol.ca>
Cc: Brenda Alder <balder@tol.ca>
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

Anita will need to update the properties in all the Prospero folders once they become dead in the system (they are still showing as active). The DP should show the new legal description when you get to that stage. We don't need anything more from Beedie. We usually have to beg people for updated information so I am actually impressed they let us know!

Anita – can you update this information when it becomes dead?

Thanks. ☺

Laura Kennelly-Mohr | Senior Clerk - Development Planning
 604.532.7545

From: Joel Nagtegaal
Sent: Wednesday, May 17, 2017 8:34 AM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Laura,
 It looks like Beedie has completed a lot consolidation in Gloucester for properties involved in ToL Project No. 14-05-0098 in the 4800 block of 275 Street (see below email and attached plan and title).
 Is there anything they or we need to do as a result?
 Thanks,

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

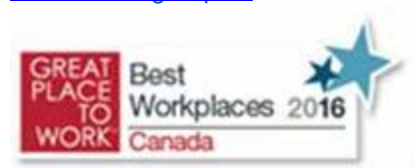
andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Tuesday, May 09, 2017 11:57 AM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,
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 Staff will be in touch if we require any clarification or have questions.

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediegroupp.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.

All the best,
Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediegroupp.ca

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From: Andrew Peterson
Sent: Monday, May 01, 2017 9:18 AM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediegroupp.ca

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Could you please send me digital drawings (PDF) of the site plan and elevations?
Thank you,

Joel Nagtegaal | Planner
Community Development | Township of Langley
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: Andrew Peterson
To: [Joel Nagtegaal](mailto:Joel.Nagtegaal)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Tuesday, May 16, 2017 2:39:32 PM
Attachments: [image001.png](#)
[image002.png](#)
[LTO Search - PID-030-127-289 \(May 15, 2017\).pdf](#)
[MR17-732REF Form9 signed 1.pdf](#)

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

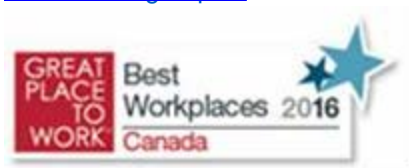
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Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

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All the best,
Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

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To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

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From: Joel Nagtegaal [<mailto:joel.nagtegaal@tol.ca>]

Sent: Monday, May 01, 2017 9:14 AM

To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>

Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

I am the Planner who has been assigned to the subject development application.

Could you please send me digital drawings (PDF) of the site plan and elevations?

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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From: [Joel Nagtegaal](#)
To: [Andrew Peterson](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Tuesday, May 09, 2017 11:56:00 AM
Attachments: [image001.png](#)
[image002.png](#)

Good morning Andrew,
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Joel Nagtegaal | Planner

Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [mailto:Andrew.Peterson@beediigroup.ca]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.

All the best,

Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

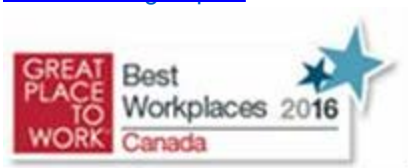
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Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

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Good morning Andrew,
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 Thank you,

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Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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From: Andrew Peterson
To: [Joel Nagtegaal](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Tuesday, May 09, 2017 10:58:40 AM
Attachments: [image001.png](#)
[image002.png](#)

Hi Joel,

I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.

All the best,
 Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

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Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]

Sent: Monday, May 01, 2017 9:14 AM

To: Andrew Peterson <Andrew.Peterson@beediegroupp.ca>

Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

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Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: Andrew Peterson
To: [Joel Nagtegaal](mailto:Joel.Nagtegaal)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Monday, May 01, 2017 9:18:33 AM
Attachments: [image002.png](#)
[image003.png](#)
[Consolodated DP Drawing Package 3-21-17.pdf](#)

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediengroup.ca

p. 604.435.3321 | f. 604.432.7349

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Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

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604.533.6044

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From: Andrew Peterson
To: [Joel Nagtegaal](#)
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Wednesday, September 20, 2017 1:18:37 PM
Attachments: [image006.png](#)
[image007.png](#)
[image001.png](#)

Hi Joel,

Absolutely, it will be in very shortly. We have been prioritizing the Servicing Agreement and ESC works at this time but will be resubmitting the DP very shortly.

If you could kindly let me know if you will be taking any holidays in the next month, it would be greatly appreciated.

Thank you,

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
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From: Joel Nagtegaal [mailto:jnagtegaal@tol.ca]
Sent: Wednesday, September 20, 2017 1:13 PM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Andrew,

I just wanted to check in and see if you were preparing to send a revised development permit drawing set for the subject application.

Please note that a building permit can not be issued until Council has issued a development permit.

Thank you,

Joel Nagtegaal | Planner
 Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Monday, May 29, 2017 2:18 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hello Joel,

I just wanted to check in on the review process here. Please let me know if I can provide any additional information or clarification.

Thank you,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

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From: Andrew Peterson
Sent: Wednesday, May 17, 2017 3:24 PM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Great to hear Joel! As always, do not hesitate to reach out with any questions that pop up.
Andrew

From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Wednesday, May 17, 2017 3:16 PM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good afternoon Andrew,
Thank you for sending. I will add this to the file and forward to legal. That will be one less condition of the DP!

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediegroupp.ca>]
Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediegroupp.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

www.beediegroupp.ca



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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]
Sent: Tuesday, May 09, 2017 11:57 AM
To: Andrew Peterson <Andrew.Peterson@beediegroupp.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,
 Staff's review of the DP application is progressing. Once we have received comments from external agencies and internal departments, we will incorporate their comments with comments from Planning and compile them in a file review letter.
 Staff will be in touch if we require any clarification or have questions.
 Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
 604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,
 I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.
 All the best,
 Andrew

Andrew Peterson

Development Manager, Industrial

Beedie | Development Group

andrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

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From: Andrew Peterson
Sent: Monday, May 01, 2017 9:18 AM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson

Development Manager, Industrial

Beedie | Development Groupandrew.peterson@beediigroup.ca

p. 604.435.3321 | f. 604.432.7349

d. 604.909.8714 | c.778.939.7754

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From: Joel Nagtegaal [<mailto:jnagtegaal@tol.ca>]**Sent:** Monday, May 01, 2017 9:14 AM**To:** Andrew Peterson <Andrew.Peterson@beediigroup.ca>**Subject:** TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

I am the Planner who has been assigned to the subject development application.

Could you please send me digital drawings (PDF) of the site plan and elevations?

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

From: [Rod Shead](#)
To: [Stephen Richardson](#)
Cc: [Joel Nagtegaal](#)
Subject: RE: Watercourse Response: Development Permit Application No. 100890
Date: Monday, November 27, 2017 10:28:40 AM
Attachments: [Item 1 - LEPS Letter.pdf](#)
[Item 2 - DFO Authorization \(markup\).pdf](#)
[Item 3 - Air Photo sequence.pdf](#)
[Item 4 - Envirowest Authorization works confirmation.pdf](#)

A few point for our 11:30 meeting....

1. The watercourse identified in the November 24, 2017 LEPS letter (attached as Item 1) was Authorized by DFO for elimination in 2000. The DFO Authorization with comments on pages 2, 14 and 15 highlighting relevant information is attached (Item 2).
2. Based on the attached air photo sequence (attached as Item 3), the watercourse elimination took place between 2005 and 2008.
3. Envirowest has confirmed that, with exception of works at 272 St/56 Avenue, all Authorization works completed an accepted by DFO. An excerpt from an Envirowest letter is attached as Item 4.

-Rod

-----Original Appointment-----

From: Stephen Richardson
Sent: Sunday, November 26, 2017 3:12 PM
To: Rod Shead; Joel Nagtegaal; Robert Knall
Subject: Watercourse Response: Development Permit Application No. 100890
When: Monday, November 27, 2017 11:30 AM-12:00 PM (UTC-08:00) Pacific Time (US & Canada).
Where: SR Office

As per attached

Township of
Langley



Est. 1873

2017-706

April 28, 2017

Folder: DP100890

FortisBC
Land Services Department
16705 Fraser Highway
Surrey, BC V3S 2X7

Attention: Alisa Corscadden

**Re: Development Application Project 14-05-0098
161884 CANADA INC/BEEDIE DEVELOPMENT**

Please be advised that the Community Development Division is in receipt of the aforementioned application for property located at:

CIVIC: 4800 Block of 275 Street

LEGAL: Lot 2 Plan BCP34340 and Lot 4 Plan BCP40897; both of Section 5 Township 14 NWD

The applicant proposes to construct an industrial strata building with accessory office space totaling 9,805.5 m². As part of the development, the applicant proposes to consolidate two existing parcels. Existing zoning is General Industrial Zone (M-2A).

Enclosed are preliminary plans for the development.

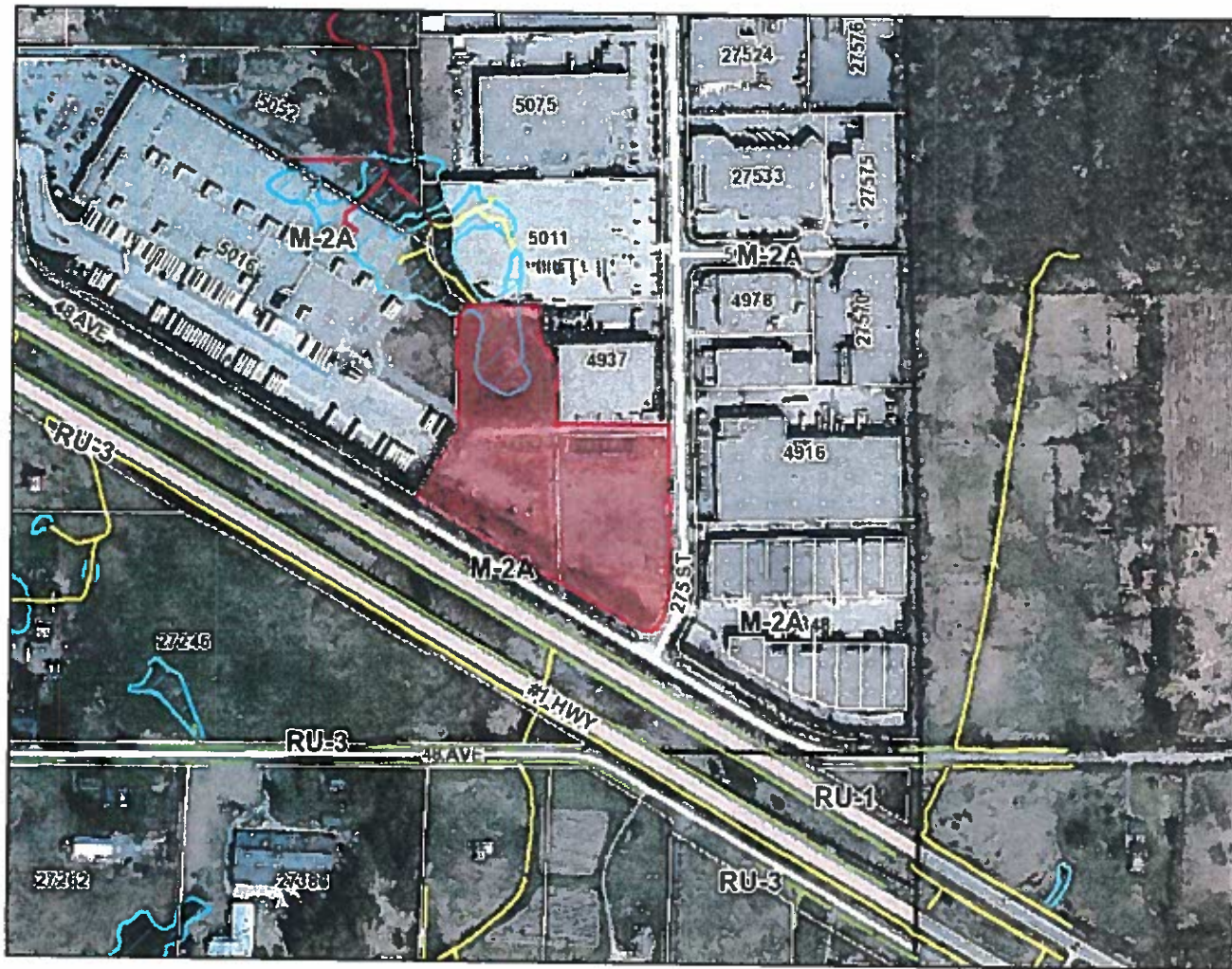
Please review the application from your agency's perspective and advise as soon as possible as to what requirements you are recommending be imposed as conditions of this application proceeding. Responses can be sent by ground mail to the Township of Langley or by e-mail to jnagtegaal@tol.ca. Please include the Project and Folder Numbers in the subject line.

Yours truly,

Joel Nagtegaal
DEVELOPMENT PLANNER







JN/sj
Encl.

f:\data\tempes\prosporo\plandev\dp\dp100890\fortis bc.docx



Legend

Watercourses (Working)

-  UNOFFICIAL Class 'A' - Red
-  UNOFFICIAL Class 'A(OD)' - Orange
-  UNOFFICIAL Class 'A(OW)' - Magen
-  UNOFFICIAL Class 'B' - Yellow
-  UNOFFICIAL Class 'C' - Green
-  UNOFFICIAL Unclassified - Blue

 Zoning

 Parks

 Water Bodies

0 200 400 m



The data provided is a compilation of geographic information drawn together from a variety of sources, historic and current, and does not necessarily include everything and anything for a particular purpose; and the person utilizing this information does so entirely at their risk as the Township of Langley assumes no obligation or liability for the use of this information by any person and makes no representations or promises regarding the completeness or accuracy of the information or its fitness for a particular purpose.

Map printed on: 01 May 2017 at 09:43:23

From: CF-2-ENGBSS@tol.ca
To: [Joel Nagtegaal](#)
Subject: Scanned from a Xerox Multifunction Printer
Date: Friday, January 26, 2018 12:06:18 PM
Attachments: [Scanned from a Xerox Multifunction Printer.pdf](#)

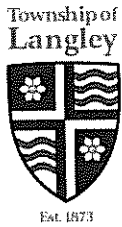
Please open the attached document. It was scanned and sent to you using a Xerox Multifunction Printer.

Attachment File Type: pdf, Multi-Page

Multifunction Printer Location: Civic Facility - 2nd Floor - Engineering Business Support Services
Device Name: CF-2-ENGBSS

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DEVELOPMENT PLANNING REVIEW SHEET



Project Number: 14-05-0098

Building Permit: BP137038

Civic Address: 4825 275th Street

Date sent to *Development Planning*: October 6, 2017

Please review the attached drawings for conformance and return to **John Szarapka** in Permits, Licence, and Inspection Services.

These drawings have been found to conform / not conform to the DP requirements for this project as they pertain to building permit issuance.

DP Folder #: 100890 Acceptable Not Acceptable
 Approved by: JOEL NAGTEGAAL

Are legal documents (R/C's) required for this project? Yes No

Is 5% Park Acquisition fee required to be paid? Yes No

Are supplemental DP fees required to be paid? Yes No

Comments or additional requirements: A-10 INDICATES "FUTURE RTU'S TO BE PLACED AS FAR BACK FROM ROOF EDGE AS POSSIBLE." IF VISIBLE FROM ADJACENT ROADS, SCREENING WILL BE REQUIRED AS PER D.P.

Date Completed: JANUARY 26, 2018



REGULAR EVENING MEETING OF COUNCIL

Monday, December 11, 2017 at 7:00 PM
 Fraser River Presentation Theatre
 4th Floor, 20338 – 65 Avenue, Langley, BC

MINUTES

PRESENT: Mayor J. Froese

Councillors P. Arnason, D. Davis, C. Fox, B. Long, A. Quaale, K. Richter,
 and M. Sparrow

M. Bakken, S. Gamble, R. Seifi, K. Sinclair, and J. Winslade

W. Bauer and K. Stepto

A. ADOPTION AND RECEIPT OF AGENDA ITEMS

A.1 Regular Evening Council Meeting - December 11, 2017

Moved by Councillor Fox,
 Seconded by Councillor Sparrow,
 That Council adopt the agenda and receive the agenda items of the
 Regular Evening Council meeting held December 11, 2017.
 CARRIED

B. ADOPTION OF MINUTES

B.1 Regular Evening Council Meeting - November 27, 2017

Moved by Councillor Fox,
 Seconded by Councillor Davis,
 That Council adopt the Minutes of the Regular Evening Council meeting
 held November 27, 2017.
 CARRIED

B.2 Public Hearing Meeting - November 27, 2017

Moved by Councillor Fox,
 Seconded by Councillor Davis,
 That Council adopt the Minutes of the Public Hearing meeting held
 November 27, 2017.
 CARRIED

C. PRESENTATIONS**C.1 DW Poppy Secondary School Choir**

DW Poppy Secondary School Choir provided a Christmas performance.

D. DELEGATIONS**D.1 Amy Hennessy
Empower Me
File 0550-07**

Amy Hennessy, Program Development Manager and Kylie Vallee, Energy Mentor, appeared before Council to introduce the Empower Me program. They noted that Empower Me helps immigrant homeowners learn about saving energy, reducing greenhouse gas emissions, and making their homes more comfortable and safe. Empower Me will provide home visits and community events to promote saving energy and safety in the home. Empower Me will also work with the Welcome Wagon and Langley libraries.

E. REPORTS TO COUNCIL**F. BYLAWS FOR FIRST AND SECOND READING****F.1 Official Community Plan Amendment and
Rezoning Application No. 100135
Development Permit Application Nos. 100836 and 100837
(Wesmont Homes (Yorkson) Ltd. / Township of Langley /
20511 - 82 Avenue and 20542 - 84 Avenue)
Bylaw No. 5325
Bylaw No. 5326
Report 17-132
File CD 08-26-0175**

Moved by Councillor Fox,
Seconded by Councillor Long,
That Council give first and second reading to Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Yorkson Neighbourhood Plan) Bylaw 2001 No. 4030 Amendment (Wesmont Homes (Yorkson) Ltd. / TOL) Bylaw 2017 No. 5325 and Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Wesmont Homes (Yorkson) Ltd. / TOL) Bylaw 2017 No. 5326, to amend the "Mixed Residential" designation and rezone 0.48 ha (1.18 ac) of land located at 20511 – 82 Avenue and a portion of 20542 – 84 Avenue to Comprehensive Development Zone CD-117, to facilitate the development of five townhouses and seven strata detached single family

units, subject to the following development prerequisites being satisfied prior to final reading:

1. A Servicing Agreement being entered into with the Township to secure required road and utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw, to the acceptance of the Township;
2. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw to the acceptance of the Township;
3. Provision of road dedications, widenings, and necessary traffic improvements on 82 Avenue in accordance with the Township's Master Transportation Plan, Subdivision and Development Servicing Bylaw and the Yorkson Neighbourhood Plan, to the acceptance of the Township;
4. Dedication and construction of a 4.5 metre wide street greenway on the north side of 82 Avenue and the remainder portion of 20511 – 82 Avenue (including streamside and protection and enhancement areas) to the acceptance to the Township, including final acceptance of greenway landscape design plans, sidewalk/trail alignment, fencing, signage, landscaping details and security;
5. Provision of pedestrian connections through the site to connect northerly and southerly portions of the public trail;
6. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
7. Compliance with Age Friendly Amenity Area requirements to the acceptance of the Township;
8. Registration of restrictive covenants acceptable to the Township:
 - a. Prohibiting parking on internal strata roadways (other than in clearly identified parking spaces);
 - b. Prohibiting garages from being developed for purposes other than the parking of vehicles, and prohibiting the development of secondary suites within individual units; and
 - c. Identifying the units (minimum 5%) required to incorporate the Basic Adaptable Housing Requirements Policy;
 - d. Statutory right of way through the subject property to access northerly and southerly portions of the public trail;
9. Compliance with the requirements of the Yorkson Greenway Amenity Zoning Policy including payment of applicable Yorkson amenity fee; and further
10. Payment of applicable Neighbourhood Planning Administration fees, supplemental Rezoning fees, Site Servicing Review fee, ISDC review fee, Development Works Agreement (DWA) and Latecomer charges, and compliance with the Township's 5% Neighbourhood Park Land Acquisition Policy;

That Council consider that Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Yorkson Neighbourhood Plan) Bylaw 2001 No. 4030 Amendment (Wesmont Homes (Yorkson) Ltd. / TOL) Bylaw 2017 No. 5325, is consistent with the Township's Five Year Financial Plan as updated annually and with Metro Vancouver's Integrated Liquid Waste Resource Management Plan and Integrated Solid Waste Resource Management Plan, and with the consultation requirement of Official Community Plan Consultation Policy (07-160);

That Council at time of final reading of Rezoning Bylaw No. 5326 authorize issuance of Development Permit No. 100836 (Streamside Protection), to modify the SPEA widths in accordance with Section 4.20 of Schedule 3 of the Official Community Plan, subject to the following conditions:

- a. Dedication and protection of Streamside Protection and Enhancement Areas as shown on Schedule A to the acceptance of the Township;
- b. Streamside restoration and enhancement works to be completed to the acceptance of the Township and in accordance with Envirowest Consultants Inc. assessment "Proposed Development - 20511 - 82 Avenue, Langley, BC Updated Streamside Protection Development Permit Application Revision 2" (June 29, 2017) including the following drawings (attached as Schedule A):
 - Envirowest Drawing No. 2179-01-01, "Habitat Balance", Rev 03, June 26, 2017;
 - Envirowest Drawing No. 2179-01-02 "Streamside Enhancement; and Restoration Plan", Rev 03, June 29, 2017;
- c. Written designation of an Environmental Monitor for the project acknowledging the Environmental Monitor has the authority to stop any work(s) that, in the Environmental Monitor's opinion, have the potential to impact on the Streamside Protection and Enhancement Development Permit Area; and
- d. Obtainment of relevant senior government environmental regulatory agency approvals and/or submission of notifications and provision of copies of approvals/submissions to the Township; and further

That Council at the time of final reading of Rezoning Bylaw No. 5326 authorize the issuance of Development Permit No. 100837 (Form and Character), subject to the following conditions:

- a. Building plans being in substantial compliance with Schedules "A" through "L"; and
- b. On-site landscaping plans being in substantial compliance with

Schedule "M", and in compliance with Subdivision and Development Servicing Bylaw (Schedule I Tree Protection) and the Township's Street Trees and Boulevard Plantings Policy, to the acceptance of the Township;

Although not part of the development permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. On-site landscaping to be secured by letter of credit at building permit stage;
- b. Written confirmation from the owner and landscape architect or arborist that tree protection fencing identified in the tree management plan is in place;
- c. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and
- d. Payment of supplemental development permit application fees, Development Cost Charges, and building permit administration fees; and further

That Council authorize staff to schedule the required Public Hearing for the Neighbourhood Plan amendment and Rezoning Bylaws in conjunction with the hearing for proposed Development Permit Nos. 100836 and 100837.
CARRIED

**F.2 Rezoning Application No. 100483
 (Thunderbird Centre / 20159 - 88 Avenue)
 Bylaw No. 5328
 Report 17-129
 File CD 08-35-0260**

Moved by Councillor Davis,
Seconded by Councillor Fox,

That Council give first and second reading to Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Thunderbird Centre) Bylaw 2017 No. 5328 amending Comprehensive Development Zone CD-29, as it pertains to land located at 20159 – 88 Avenue to allow a non accessory licensee retail store, subject to the following development prerequisite being satisfied prior to final reading:

1. Approval of the rezoning bylaw by the Ministry of Transportation and Infrastructure; and further

That Council authorize staff to schedule the required public hearing for

Rezoning Bylaw No. 5328.
DEFEATED

Mayor Froese and Councillors Davis, Fox, Long, Quaale, Richter, and Sparrow opposed

G. BYLAWS FOR FIRST, SECOND AND THIRD READING

**G.1 2018 Revenue Anticipation Borrowing Bylaw
Bylaw No. 5329
Report 17-134
File FIN 3900-25**

Moved by Councillor Davis,
Seconded by Councillor Fox,
That Council give first, second, and third reading to 2018 Revenue
Anticipation Borrowing Bylaw 2017 No. 5329.
CARRIED

H. BYLAWS FOR CONSIDERATION AT THIRD READING

**H.1 Rezoning Application No. 100476
(Wagner Hills Farm Society / 8061 - 264 Street)
Bylaw No. 5313
Report 17-117
File CD 11-25-0031**

Moved by Councillor Fox,
Seconded by Councillor Sparrow
That Council give third reading to "Township of Langley Zoning Bylaw
1987 No. 2500 Amendment (Wagner Hills Farm Society) 2017 Bylaw No.
5313".
CARRIED

I. BYLAWS FOR FINAL ADOPTION

J. MAYOR AND COUNCIL REPORT

J.1 Year in Review

Mayor Froese attended several events during the course of his duties
including the Day of Giving, Emergency Volunteers Banquet, Christmas in
Williams Park opening, and Aldergrove Christmas Light Parade.

Mayor Froese then provided a "Year in Review" presentation.

K. METRO VANCOUVER REPRESENTATIVES REPORT

L. ITEMS FROM PRIOR MEETINGS

The following items was referred at the November 27, 2017 Regular Evening Council meeting:

**L.1 Highway Closing and Dedication Removal (Lynterra)
Bylaw No. 5322
Report 17-37
File ADM PM002403**

Moved by Councillor Long,
Seconded by Councillor Quaale,
That Council give final reading to "Highway Closing and Dedication Removal (Lynterra) Bylaw 2017 No. 5322".

REFERRAL

Moved by Councillor Richter
Seconded by Councillor Arnason
That Bylaw No. 5322 be referred to staff to work with the neighbouring residents to come to an amicable agreement.

DEFEATED

Mayor Froese and Councillor Fox, Long, Quaale and Sparrow opposed

MAIN MOTION

The question was called on the Main Motion, and it was
CARRIED

Councillors Arnason, Davis, and Richter opposed

M. ITEMS BROUGHT FORWARD FOR PUBLIC INFORMATION FROM SPECIAL CLOSED MEETINGS**N. OTHER BUSINESS**

**N.1 Development Permit Application No. 100890
(161884 Canada Inc. / Beedie Development Group /
4825 - 275 Street)
Report 17-114
File CD 14-05-0098**

Development Permit Application No. 100890
(161884 Canada Inc. / Beedie Development Group /
4825 - 275 Street)
Report 17-114
File CD 14-05-0098

Moved by Councillor Arnason,
Seconded by Councillor Richter,
Whereas Development Permit 100890 to permit construction of a building at 4825 - 275th Street in Gloucester Industrial Park with a variety of conditions attached was granted on November 6, 2017 to Beedie Corporation;

Whereas the accompanying staff report contained information regarding the relocation of the existing Statutory Right of Way (SRW) within the overall development plan, which condition elicited a number of inquiries from Council with respect to West Creek and associated stormwater management for the site;

Whereas Council subsequently requested further information based on the SRW relocation arising from correspondence from Langley Environmental Partners (LEPS) further to West Creek and its tributaries, and referred the matter to staff with respect to a report which has now been forwarded for Council review;

Whereas the information provided in the report is not dispositive regarding why the DFO should not be engaged in the application and associated processes given that Beedie's VP of Land Development referenced the presence of fish in and around the area of Highway 1 and the subject property at the November 6, 2017 DP Hearing;

Whereas the original DFO Authorization #99-HPAC-A2 000 000217 MELP File# A 20004880 cited in the staff report states:

"The valid authorization period for the harmful alteration associated with various land development activities is from 10 May, 2000 through 15 September, 2005" .. and ... "If any phase of the project is not completed by that date, such that fish habitat may be affected, a new Authorization pursuant to Section 35(2) of the Fisheries Act may be required."; and

Whereas the subject development proposal will now potentially adversely affect new fish populations which have resulted from the enhancement works undertaken in and around the subject property, thereby triggering the involvement of the DFO in the proposed SRW relocation in order to ensure that the original conditions of Authorization are still applicable;

Therefore be it resolved that Council request that Beedie Corporation provide the following:

1. Beedie Corporation and/or its Qualified Professional confirms that the location and general design of the works are consistent with the

information originally provided to the DFO and that any substantive deviations be forwarded to them for review prior to current Authorization;

2. That the DFO be requested to conduct a site review in order to determine the number and species of fish potentially affected by the re-location of the SRW;

3. That the Ministry Environment be consulted further to the application in order to ascertain compliance with all related provincial policies further to fish and riparian guidelines and legislation.

CARRIED

Mayor Froese and Councillors Fox and Quaale opposed

Councillor Davis provided the following Notice of Motion for consideration at the next Regular Evening Meeting:

**N.2 Development Permit Application No. 100890
(161884 Canada Inc. / Beedie Development Group /
4825 - 275 Street)
Report 17-114**

That a legal opinion be obtained as to:

The liabilities of relocation and extension of the stream; and

The liabilities of relocation of the stormwater pipe from private to public property.

O. TERMINATE

Moved by Councillor Davis,
Seconded by Councillor Fox,
That the meeting terminate at 8:16pm.
CARRIED

CERTIFIED CORRECT:

Mayor

Township Clerk

From: [Joel Nagtegaal](#)
To: [Andrew Peterson](#)
Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Date: Monday, May 01, 2017 9:14:00 AM

Good morning Andrew,
I am the Planner who has been assigned to the subject development application.
Could you please send me digital drawings (PDF) of the site plan and elevations?
Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley
20338 – 65 Avenue, Langley, BC V2Y 3J1
604.533.6044

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



Dear Mayor and Council,

We are pleased to share a video (<https://www.youtube.com/watch?v=N6qJXoUjclY&feature=share>) that was made with the co-operation and input of several local environmental stewardship groups. It highlights the healthy and vibrant water course, West Creek, that traverses through Gloucester Industrial Estates on its way to the Fraser River.

As the video depicts, there is a wealth of natural wildlife, flora and fauna in the Gloucester area, all supported by the waters of West Creek. The recent confirmation of juvenile Coho Salmon in the creek is absolutely amazing, a testament to the power of Mother Nature and an asset we need to protect.

As stewards of our natural environment we wanted to bring the value of West Creek to our Mayor and Council's attention as well as sharing it with the general public. An asset like this can be easily forgotten in an industrial area like Gloucester where there are limited residents and we are hopeful that this council will appreciate the efforts of all to provide protection and ongoing health for West Creek.

With the above in mind we are hopeful that very shortly consideration will be given to improving some of the recent works done at the start of West Creek as it enters Gloucester from south of Highway 1, in particular the huge development at 48th and 275th St. Leaving West Creek In hundreds of metres of pipe (storm water right of way) should NOT be an option . In discussion with experts on fish habitat and water management, some very good ideas have emerged for possible improvements:- fish friendly box culverts, more day-lighting of the creek and establishing riparian setbacks. The relatively low cost and nature of these improvements should be of interest to all parties. Environmental protection regulations are significantly more stringent now than when Gloucester Industrial Estates was initiated and current works undertaken will be serving the community for many years to come so it is vital that we operate to the highest possible standards.

We hope that you enjoy the video and we welcome any inquires for more information or clarification. We would also welcome the opportunity to discuss some ideas for improvements to ensure the ongoing health of this natural habitat, a valuable asset for the whole community.

Province of British Columbia
MINISTRY OF ENVIRONMENT, LANDS AND PARKS
WATER MANAGEMENT
10470 152 STREET
SURREY BC V3R 0Y3

APPROVAL

WATER ACT - Subsection 9(1), Clauses (a), (b) and (c)
 (Changes in and about a stream)

Gloucester Industrial Estates Ltd.
5525 – 272 Street
Langley, British Columbia, V4W 1P1
 is hereby authorized to make changes in and about a stream as follows:

- (a) The name of the stream is **West Creek, Unnamed tributaries and Unnamed Creek**, herein referred to as "the stream".
- (b) The changes to be made in and about the stream are:

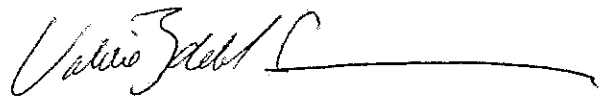
To realign water courses; to eliminate water courses and ponds; to construct land improvement ponds all within Northwest ¼ and Southwest ¼ of Section 5, Northwest ¼ and Northeast ¼ of Section 6, South ½ of Southeast ¼ of Section 7 and Southwest ¼ of Section 8, all of Township 14, East of the Coast Meridian, New Westminster District.
- (c) This Approval does not authorize entry on privately held land or Crown land.
- (d) This Approval does not constitute authority of any other agency.
- (e) The holder of this Approval shall take reasonable care to avoid damaging any land, works, trees, or other property and shall make full compensation to the owners for any damage or loss resulting from the exercise of rights granted hereunder.
- (f) The work authorized shall be completed on or before **September 15, 2005**, and the holder of this approval shall advise the Engineer for the New Westminster Water District (Phone: 582-5200), when the changes have been completed.
- (g) Work within the wetted perimeter of the stream shall be undertaken during the period **August 1 to September 15, 2000, 2001, 2002, 2003, 2004 or 2005 or as extended by the fisheries agencies**, so that the fisheries interests are protected.
- (h) All instream work shall be undertaken during low flows.
- (i) Upon commencement of the project, the work shall be pursued to completion as quickly as possible.
- (j) All proposed work shall be completed in isolation of the stream flows.
- (k) Care shall be exercised during all phases of the work to prevent siltation of the stream and to eliminate the release of raw concrete, concrete leachate, and any other debris or deleterious substances.
- (l) All excavated material and debris shall be removed from the site or placed in a stable area above the high water mark of the stream and protected from erosion by planting grass and/or vegetation.
- (m) All disturbed areas of the banks of the stream shall be restored to their original condition and protected from erosion.

A2004880

Page 2

- (n) Site preparation and construction of the works is to be carried out from the banks of the stream, thus minimizing disturbance to the stream.
- (o) The new channel of the stream must have a cross-sectional area equal to or greater than the present cross-sectional area and with the same gradient and side slopes as the present watercourse.
- (p) Rock used as rip-rap shall be clean, durable, angular in shape and suitably graded and sized to resist movement by stream flow.
- (q) On completion of the project, the stream bed shall be left in as smooth a condition as possible, with no depressions that could trap fish or initiate erosion of the stream bed.
- (r) Adequate rip-rap or wing walls shall be placed at the upstream and downstream ends of the culvert to protect the road embankment and the stream channel from erosion.
- (s) The backfill around the culvert shall be placed and compacted in accordance with standard engineering procedures.
- (t) All exposed areas of the stream channel and the culvert shall be protected from erosion.
- (u) All works shall comply to submissions and drawings stated in Appendices A, B, C and D, prepared by ECL Envirowest Consultants Ltd., Appendix E, prepared by Aplin Martin Consultants Ltd. and Appendix F, prepared by Hunter Laird Engineering Ltd. as listed on pages 2 and 3 of the Fisheries and Oceans Canada Authorization #99-HPAC-PA2-000-000217.
- (v) Approval holder shall be responsible for repair, operation and maintenance of works to the satisfaction of the Regional Water Manager, Lower Mainland Region.
- (w) Prior to carrying out any maintenance of the works authorized under this approval, the holder is to obtain the consent of the Engineer for the New Westminster Water District, Phone 582-5200.

Verbal approval was given by Narinder Singh to proceed with the works on Friday, September 8, 2000, subject to the conditions in Fisheries and Ocean Canada Authorization #99-HPAC-PA2-000-000217 dated August 29, 2000.



Valerie Z. Cameron, P. Geo.
Assistant Regional Water Manager

File No: A2004880

Date Issued: September 21, 2000

Approval No: 2004880

Precinct: Cloverdale

From: [Laura Kennelly-Mohr](#)
To: ["Andrew Peterson"](#)
Cc: [Paul Albrecht](#)
Subject: 14-05-0098 Beedie Group
Date: Wednesday, September 20, 2017 11:34:00 AM
Attachments: [All Utilities.doc](#)
[image001.png](#)
[Undertaking LT for Solicitors.doc](#)

Hi Andrew,

Further to our recent telephone conversation, please have your lawyer provide the following:

- Current title search of all related properties
- Draft statutory right of way in the form attached
- Draft release of existing right of way
- Copy of existing right of way
- Draft letter of undertaking in the form attached (please reference Project 14-08-0098/DE102017 in the subject line).

Staff will review and provide comments at our earliest convenience. Please note that additional legal documents may be required prior to building permit once DP100890 has been issued by Council.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning
 604.532.7545

From: Andrew Peterson [mailto:Andrew.Peterson@beedie.ca]
Sent: Wednesday, September 20, 2017 11:30 AM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Subject: Contact info

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



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From: [Laura Kennelly-Mohr](#)
To: "Shauna Towriss"
Subject: 14-05-0098 Beedie Group
Date: Tuesday, January 02, 2018 11:25:00 AM
Attachments: [image001.png](#)
[image005.png](#)

Hi Shauna,

Happy New Year. I am pleased to advise the SRW and release have now been executed and are ready for pick up. Please direct your courier to the 2nd Floor, Development Services Counter at the address noted below.

Thank you!

Regards,

Laura Kennelly-Mohr | Senior Clerk-Development Planning

Development Planning | Community Development

20338 – 65 Avenue, Langley, BC V2Y 3J1

Direct line: 604.532.7545

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

UTILITIES SRW
Instructions are in *bold and italics*

UPDATED MAY '14

TERMS OF INSTRUMENT - PART II

STATUTORY RIGHT OF WAY FOR PUBLIC UTILITIES

WITH PRIORITY OVER

THIS AGREEMENT made the _____ day of _____, 2010

BETWEEN:

(the "Grantor")

OF THE FIRST PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 20338 – 65th Avenue, Langley, BC V2Y 3J1

(the "Grantee")

OF THE SECOND PART

AND:

INSERT NAME AND ADDRESS OF MORTGAGE HOLDER

(the "Mortgage Co.")

OF THE THIRD PART

WHEREAS:

- A. The Grantor is the owner in fee simple of that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and being more particularly known and described as follows:

Parcel Identifier:

(the "Lands")

- B. To facilitate the construction, improvement, alteration, repair, maintenance, cleaning, protection, enlargement, reconstruction, inspection and otherwise operation and servicing of **sanitary sewer works/storm drainage works/water works** including any apparatus, piping, or connections thereto (the "Works") to and through the Lands, with or without vehicles, machinery or workmen, the Grantor has agreed to grant for those purposes the statutory right of way hereinafter mentioned.
- C. Section 218 of the Land Title Act allows a statutory right of way to be granted over land without a dominant or servient tenement, and the statutory right of way hereinafter provided for is essential to the operation and maintenance of the Grantee's undertaking.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the premises and the mutual covenants and agreements herein contained and the sum of One Dollar (\$1.00), now paid by the

Grantee to the Grantor (the receipt and sufficiency whereof is hereby acknowledged), the Grantor and the Grantee hereby covenant and agree as follows:

1. THE GRANTOR, for himself, his heirs, executors, administrators, successors and assigns, DOES HEREBY GIVE AND GRANT unto the Grantee, its successors and assigns a statutory right of way and the full, free and unrestricted right and liberty for the Grantee, its licensees, servants, officials, workmen, machinery and vehicles, at any time and at their will and pleasure for the benefit of the Grantee, to:
 - a) enter in, over and upon ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and being more particularly known and described as:

all that portion of the Lands shown boldly outlined on Statutory Right of Way Plan No. BCP _____ prepared by _____, B.C.L.S. dated the _____ day of _____, a reduced copy of which is attached hereto as Schedule "A" (the "Statutory Right of Way");
 - b) enter, labour, go, return, pass and repass upon the Statutory Right of Way by the Grantee for the purposes of constructing, improving, altering, repairing, maintaining, cleaning, protecting, enlarging, inspecting, reconstructing and otherwise servicing and operating all or any part of the Works;
 - c) make surveys, tests and examinations in and about and on the Statutory Right of Way and to excavate the soil thereof and to construct, install, lay down, place and maintain works related to carrying out and maintaining the Works;
 - d) clear the Statutory Right of Way or any part thereof of any or all trees, shrubs, plants, damaging growth, buildings, fences, or obstructions of any kind, now or hereafter;
 - e) generally do all acts reasonably necessary or incidental to the business of the Grantee in connection with the foregoing Works and the use of the Statutory Right of Way for the aforesaid purposes,

TO HAVE AND TO HOLD unto the Grantee, its successors and assigns, from and after the date hereof, forever.

2. THE GRANTOR HEREBY COVENANTS AND AGREES with the Grantee that the Grantor:
 - a) will not erect, place or maintain any building, structure, concrete driveway, concrete patio, concrete foundation or footings or any other obstruction of a permanent nature, on, under or above any portion of the Statutory Right of Way;
 - b) will not do or knowingly permit to be done any act or thing which will interfere with the purpose of the Statutory Right of Way or interfere or damage the Works and, in particular, will not carry out blasting or excavation work on the Statutory Right of Way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
 - c) will be permitted to install and maintain fencing including any crossing gates in and about the perimeter boundaries of the Statutory Right of Way, provided that such fencing does not limit, prevent or restrict access to the Statutory Right of Way or the Works in any way and such fencing is of such a standard, condition and state of repair acceptable in writing to the Grantee;
 - d) will not diminish or increase the depth of the ground cover on, under or about the Statutory Right of Way including any piping which may be installed over the Statutory Right of Way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
 - e) will from time to time and at all time upon every reasonable request and at the cost and charges of the Grantee, do and execute or cause to be made, done or executed all such further and other lawful acts, deeds, things, devices, conveyances and assurances in law

whatsoever for the better assuring unto the Grantee of the Statutory Right of Way hereby granted;

- f) will allow the Grantee, its agents and servants, to enter upon the Statutory Right of Way as aforesaid and not to interfere with in any way nor prevent any such person coming on the Statutory Right of Way for purposes provided herein; and
 - g) does hereby release and forever discharge the Grantee from and against all manner of actions, causes of action, suits and demands, whatsoever at law or equity other than negligence which the Grantor may at any time have by reason of the laying, construction, repair, renewal, maintenance, inspection, operation, servicing or removal of the Works or any portions thereof on, under, and about the Statutory Right of Way.
3. In the event that the Grantor erects, places or maintains any building, structure, or obstruction of a permanent nature including any fencing, trees, shrubs, plants or damaging growth on, under or above any portion of the Statutory Right of Way and such erection, placement or maintenance interferes with the purposes of the Statutory Right of Way, the Grantee and its employees, agents or contractors may enter upon the Statutory Right of Way at any time to undertake any work which it deems necessary to remove such building, structure, or obstruction, and any costs which the Grantee may incur in doing so including any administrative and interest costs, shall be due and payable by the Grantor on demand from the Grantee, or recoverable by the Grantee as part of any municipal tax payment, levies or any other fees in respect to the Lands. In carrying out such removal work, the Grantee shall, as far as reasonably necessary, carry out such work in a proper and workmanlike manner so as to do as little injury as possible.
4. THE GRANTEE COVENANTS AND AGREES with the Grantor that the Grantee:
- a) will not bury debris or rubbish of any kind in excavations or backfill, and will remove shoring and like temporary structures as backfilling proceeds during the course of the initial construction of the Works and the subsequent renewal, alteration, servicing, operation or removal thereof;
 - b) will thoroughly clean the Statutory Right of Way, raking up all rubbish and construction debris and leaving the Statutory Right of Way in a neat and tidy condition during the course of the initial construction of the Works and the subsequent renewal, alteration, servicing, operation or removal thereof;
 - c) subject to Clause 3 hereof, will, as far as reasonably necessary, carry out the construction, maintenance, repair, servicing and/or replacement and renewal of the Works in a proper and workmanlike manner so as to do as little injury as possible; and
 - d) will indemnify and save harmless the Grantor and its heirs, executors, administrators, successors and assigns from and against any and all actions, causes of actions, claims, suits, proceedings, costs and expenses of whatever kind, for any loss, damage, injury or death to any person or persons of any public or private property arising directly or indirectly out of the use by the Grantee or any persons claiming through or under the Grantee arising from the Statutory Right of Way, save and except to the extent that such loss, injury, damage or death is caused by the negligence or wilful act or omission of the Grantor or its servants and agents.
5. IT IS MUTUALLY UNDERSTOOD, agreed and declared by and between the parties hereto that:
- a) this Agreement shall be construed as a covenant running with the Lands and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Grantor's seisin or ownership of any interest in the Lands and with respect only to that portion of the Lands of which the Grantor shall be seised or which he shall have an interest, but that the Lands shall, nevertheless, be and remain at all times charged therewith;

- b) save as aforesaid, nothing in this Agreement shall be interpreted so as to restrict or prevent the Grantor from using the Statutory Right of Way in any manner which does not interfere with the unobstructed access over the Statutory Right of Way by the Grantee;
- c) **INSERT THIS CLAUSE AS c) IF WORK INITIALLY DONE BY THE MUNICIPALITY**
all expenses incurred in the initial installation of the Works (including any preliminary soil studies, surveys, and related legal and design work) and the maintenance, replacement, renewal and repair thereof shall be at the sole expense of the Grantee;

OR, INSERT THIS CLAUSE AS c) IF WORK INITIALLY DONE BY OWNER OR DEVELOPER ON BEHALF OF THE MUNICIPALITY

- all expenses incurred in the initial installation of the Works (including any preliminary soil studies, surveys, and related legal and design work) and the maintenance and repair thereof for a period of one (1) year from the date of completion of such Works, as certified as acceptable by or on behalf of authorized representatives of the Grantee, shall initially be carried out on behalf of the Grantee at the sole expense of the Grantor, and thereafter all expenses incurred in the maintenance, replacement, renewal and repair of the Works and the performance of any and all covenants herein provided for shall be at the sole expense of the Grantee;
- d) any and all chattels and fixtures installed by the Grantee on or over the Statutory Right of Way shall be and shall remain chattels, any rule of law to the contrary notwithstanding and shall belong solely and exclusively to the Grantee;
- e) notwithstanding anything contained in these presents, there are hereby reserved to the Grantee all its rights and powers of expropriation or other powers or privileges granted to the Grantee, or enjoyed by it, by or under any act or the legislature of the Province of British Columbia;
- f) nothing herein contained shall be deemed to include or imply any covenant or agreement on the part of the Grantee with the Grantor or with any other person or persons as a condition hereof or otherwise to construct, install, or maintain the Works, or any of them, or any public works or utility whatsoever provided for in this Statutory Right of Way or any portion thereof;
- g) this Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns; and
- h) wherever the singular or the masculine is used in this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic where the context or the parties hereto so require.

6. The Mortgage Co., in consideration of the payment of ONE (\$1.00) DOLLAR and other good and valuable consideration (the receipt and sufficiency of which is hereby acknowledged) hereby agrees and consents to the registration of the Statutory Right of Way herein granted under Section 218 of the *Land Title Act*, running with the Lands and against the Lands in priority to the said Mortgage Co. mortgage documents registered under instrument number _____ in the same manner and to the same effect as if it had been dated, granted and registered prior to the said Mortgage Co. mortgage documents.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written.

SCHEDULE "A"

END OF DOCUMENT

11 JAN 2008 10 11

BB184653

LAND TITLE ACT
FORM C

(Section 233)
Province of British Columbia

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office use)

Page 1 of 10 pages

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

Lynn Copeland, McCarthy Tétrault LLP
1300-777 Dunsmuir Street, Vancouver, BC V7Y 1K2
Phone: (604) 643-7100 Client No. 010452

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND: *
(PID) (LEGAL DESCRIPTION)

SEE SCHEDULE

3. NATURE OF INTEREST: *

DESCRIPTION

DOCUMENT REFERENCE
(PAGE AND PARAGRAPH)

PERSON ENTITLED TO INTEREST

SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only):

- (a) Filed Standard Charge Terms D.F. Number:
- (b) Express Charge Terms Annexed as Part 2
- (c) Release There is no Part 2 of this instrument.

ML 08/01/11 10:11:15 01 LM 819451
CHARGE \$65.65

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

5. TRANSFEROR(S): *

161884 CANADA INC., Reg. no. A28204

6. TRANSFEREE(S): (including postal address(es) and postal code(s)):

THE CORPORATION OF THE TOWNSHIP OF LANGLEY, a Municipal Corporation under the
Local Government Act having its municipal offices at 20338 - 65th Avenue, Langley, BC V2Y 3J1

7. ADDITIONAL or MODIFIED TERMS: *

NIL

8. EXECUTION(S): **This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

USE BLACK INK ONLY

Officer Signature(s)

MARK P. TINDLE
Barrister & Solicitor
McCarthy Tétrault LLP
1300 - 777 DUNSMUIR STREET
VANCOUVER, B.C. V7Y 1K2
DIRECT 604-643-7168

Execution Date

Y	M	D
07	11	6

USE BLACK INK ONLY

Party(ies) Signature(s)

161884 CANADA INC. by its
authorized signatory:

MATTHEW MCKECHNIE

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

* If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.

** If space insufficient, continue executions on additional page(s) in Form D.

DYE & DURHAM CLIENT No. 11061
SURVEY DEPT.

SRW - storm sewer
181202-392397
VDO_DOCS #1642002 v. 1

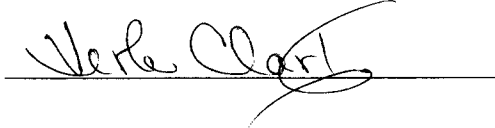
8/1

LAND TITLE ACT
FORM D

EXECUTIONS CONTINUED

USE BLACK INK ONLY

Officer Signature(s)



VERLE CLARK
A Commissioner for
Taking Affidavits in the
Province of British Columbia
20338 65 Ave.
Langley, BC V2Y 3J1

Execution Date

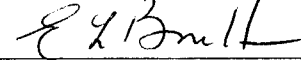
Y M D

07	12	05
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USE BLACK INK ONLY

Party(ies) Signature(s)

**THE CORPORATION OF THE
TOWNSHIP OF LANGLEY**
by its authorized signatory:



ERIC BRITTON,
Township Clerk

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E

SCHEDULE

Page 3 of 10 pages

ENTER THE REQUIRED INFORMATION IN THE SAME ORDER AS THE INFORMATION MUST APPEAR ON THE FREEHOLD TRANSFER FORM,
MORTGAGE FORM OR GENERAL DOCUMENT FORM.

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:
(PID) (LEGAL DESCRIPTION)

N/A

Lot 3 Section 5 Township 14 NWD Plan BCP

34340

3. NATURE OF INTEREST: *
DESCRIPTION

DOCUMENT REFERENCE
(PAGE AND PARAGRAPH)

PERSON ENTITLED TO INTEREST

Statutory Right of Way for Storm
Sewer Services over part on Plan
BCP 34343

Entire Instrument
Pages 4 to 10

Transferee

LAND TITLE ACT

TERMS OF INSTRUMENT – PART 2

Page 4 of 10 pages

**STATUTORY RIGHT OF WAY FOR
STORM SEWER SERVICES**

This Agreement made the _____ day of _____, 2007,

BETWEEN:

161884 CANADA INC., Reg. no. A28204, 300-1001
West Broadway, Vancouver, BC, V6H 4B1

(the “Grantor”)

OF THE FIRST PART

AND:

THE CORPORATION OF THE TOWNSHIP OF LANGLEY
a Municipal Corporation under the “Local Government Act”,
R.S.B.C. 1996, and having its municipal offices at 20338 – 65th
Avenue, Langley, BC V2Y 3J1

(the “Grantee”)

OF THE SECOND PART

WHEREAS:

A. The Grantor is the owner in fee simple of those certain parcels or tracts of land and premises situate, lying and being in the Municipality of Langley, the Province of British Columbia, and being more particularly known and described as follows:

PARCEL IDENTIFIER: N/A

Lot 3 Section 5, Township 14, NWD, Plan BCP 34340

(the “said lands”).

B. To facilitate the construction, improvement, alteration, repair, maintenance, cleaning, protection, enlargement, reconstruction, inspection and otherwise operation and servicing of storm sewer services and any apparatus, piping, or connections thereto (the “Works”) to and through the said lands, with or without vehicles, machinery or workmen, the Grantor has agreed to grant for those purposes the statutory right-of-way hereinafter mentioned.

SRW – storm sewer
181202-392397
VDO_DOCS #1642002 v. 1

C. Section 218 of the *Land Title Act* allows a statutory right-of-way to be granted over land without dominant or servient tenement, and the statutory right-of-way hereinafter provided for is essential to the operation and maintenance of the Grantee's undertaking.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the premises and the mutual covenants and agreement herein contained and the sum of One Dollar (\$1.00), now paid by the Grantee to the Grantor (the receipt and sufficiency whereof is hereby acknowledged), the Grantor and the Grantee hereby covenant and agree as follows:

1. The Grantor, for itself, its executors, successors and assigns, does hereby give and grant unto the Grantee, its successors and assigns a statutory right-of-way and the full, free and unrestricted right and liberty for the Grantee, its licensees, servants, officials, workmen, machinery and vehicles, at any time and at their will and pleasure for the benefit of the Grantee, to:

- (a) enter, labour, go, return, pass and repass upon all and singular that certain parcel or tract of land and premises situate, lying and being in the Municipality of Langley, in the Province of British Columbia, and being more particularly known and described as:

PARCEL IDENTIFIER: N/A

All that portion of Lot 3 Section 5, Township 14, NWD, Plan
BCP 34340

shown boldly outlined on the Statutory Right of Way Plan no.
BCP 34343 prepared by A.M. Osman, B.C.L.S., a reduced copy
of which is attached hereto as Schedule "A"

(the "statutory right-of-way")

for the purposes of constructing, improving, altering, repairing, maintaining, cleaning, protecting, enlarging, inspecting, reconstructing and otherwise servicing and operating all or any part of the Works;

- (b) free and uninterrupted access to the statutory right-of-way, with or without vehicles, machinery or workmen, for the purposes of carrying out the Works at the Grantee's sole expense;
- (c) make surveys, test and examinations in and about and on the statutory right-of-way, and to excavate the soil thereof and to construct, install, lay down, place and maintain works related to carrying out and maintaining the Works;
- (d) clear the statutory right-of-way or any part thereof of any or all trees, shrubs, plants, damaging growth, buildings, fences, or obstructions of any kind, now or hereafter;

- (e) trim or cut down those trees or damaging growth on the said lands in close proximity to the statutory right-of-way, which in the opinion of the Grantee, may reasonably damage the Works or any part thereof or limit, restrict or obstruct the use of the statutory right-of-way;
- (f) enter upon an additional 3.0 metres of the said lands adjacent to the statutory right-of-way to initially install and construct the Works; and
- (g) generally do all acts reasonably necessary or incidental to the business of the Grantee in connection with the foregoing Works and the use of the statutory right-of-way for the aforesaid purposes.

TO HAVE AND TO HOLD unto the Grantee, its successors and assigns, from and after the date hereof, forever.

2.

The Grantor hereby covenants and agrees with the Grantee that the Grantor:

- (a) will not erect, place or maintain any building, structure, concrete driveway, concrete patio, concrete foundation or footings or any other obstruction of any permanent nature, on, under or above any portion of the statutory right-of-way;
- (b) will not do or knowingly permit to be done any act or thing which will interfere with the purpose of the statutory right-of-way or interfere or damage the Works and, in particular, will not carry out blasting or excavation work on or adjacent to the statutory right-of-way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
- (c) will be permitted to install and maintain fencing including any crossing gates in and about the perimeter boundaries of the statutory right-of-way, provided that such fencing does not limit, prevent or restrict access to the statutory right-of-way or the Works in any way and such fencing is of such a standard, condition and state of repair acceptable in writing to the Grantee;
- (d) will not diminish or increase the depth of the ground cover on, under or about the statutory right-of-way including any piping which may be installed over the statutory right-of-way, without the prior written consent of the Grantee, which consent shall not be unreasonably withheld;
- (e) will from time to time and at all time upon every reasonable request and at the cost and charges of the Grantee, do and execute or cause to be made, done or executed all such future and other lawful acts, deeds, things, devices, conveyances and assurances in law whatsoever for the better assuring unto the Grantee of the statutory right-of-way hereby granted;

- (f) will allow the Grantee, its agents servants, to enter upon the said lands as aforesaid and not to interfere with in any way nor prevent any such person coming on the said lands for purposes provided herein; and
 - (g) does hereby release and forever discharge the Grantee from and against all manner of actions, causes of action, suits and demands, whatsoever at law or equity other than negligence which the Grantor may at any time have by reason of the laying, construction, repair, renewal, maintenance, inspection, operation, servicing or removal of the Works or any portion thereof on, under, and about the statutory right-of-way.
3. In the event that the Grantor erects, places or maintains any building, structure, or obstruction of a permanent nature including any fencing, trees, shrubs, plants or damaging growth on, under or above any portion of the statutory right-of-way and such erection, placement or maintenance interferes with the purposes of the statutory right-of-way, the Grantee and its employees, agents or contractors may enter upon the said lands at any time to undertake any work which it deems necessary to remove such building, structure or obstruction, and any costs which the Grantee may incur doing so including any administrative and interest costs, shall be due and payable by the Grantor on demand from the Grantee, or recoverable by the Grantee as part of any municipal tax payment, levies or any other fees in respect to the said lands. In carrying out such removal work, the Grantee shall, as far as reasonably necessary, carry out such work in a proper and workmanlike manner so as to do as little injury as possible.
4. The Grantee covenants and agrees with the Grantor that the Grantee:
- (a) will not bury debris or rubbish of any kind in excavations or backfill, and will remove shoring and like temporary structures as backfilling proceeds during the course of the initial construction of the Works and the subsequent renewal, alteration, servicing, operation or removal thereof;
 - (b) will thoroughly clean the said lands in and about the statutory right-of-way, raking up all rubbish and construction debris and leaving the said lands in a neat and tidy condition during the course of the initial construction of the Works and the subsequent renewal, alteration, servicing, operation or removal thereof;
 - (c) subject to clause 3, will, as far as reasonably necessary, carry out the construction, maintenance, repair, servicing and/or replacement and renewal of the Works in a proper and workmanlike manner so as to do as little injury as possible; and
 - (d) will indemnify and save harmless the Grantor and its heirs, executors, administrators, successors and assigns from and against any and all actions, causes of actions, claims, suits, proceedings, costs and expenses of whatever kind, for any loss, damage, injury or death to any person or

persons of any public or private property arising directly or indirectly out of the use by the Grantee or any persons claiming through or under the Grantee arising from the statutory right-of-way, save and except to the extent that such loss, injury, damage or death is caused by the negligence of wilful act or omission of the Grantor or its servants and agents.

5. It is mutually understood and agreed and declared by and between the parties hereto that:
- (a) this Agreement shall be construed as a covenant running with the said lands and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Grantor's seisin or ownership of any interest in the said lands and with respect only to that portion of the said lands of which the Grantor shall be seised or which he shall have an interest, but that the said lands shall, nevertheless, be and remain at all times charged therewith;
 - (b) save as aforesaid, nothing in this Agreement shall be interpreted so as to restrict or prevent the Grantor from using the statutory right-of-way in any manner which does not interfere with the unobstructed access to and through the said lands by the Grantee and the public;
 - (c) all expenses incurred in the initial installation of the Works (including any preliminary soil studies, surveys, and related legal and design work) and the maintenance and repair thereof for a period of one (1) year from the date of completion of such Works, as certified as acceptable by or on behalf of the Grantee at the sole expense of the Grantor, and thereafter all expenses incurred in the maintenance, replacement, renewal and repair of the Works and the performance of any and all covenants herein provided for shall be at the sole expense of the Grantee;
 - (d) any and all chattels and fixtures installed by the Grantee on or over the statutory right-of-way shall be and shall remain chattels, any rule or law to the contrary notwithstanding and shall belong solely and exclusively to the Grantee;
 - (e) notwithstanding anything contained in these presents, there are hereby reserved to the Grantee all its rights and powers of expropriation or other powers or privileges granted to the Grantee, or enjoyed by it, by or under any act or the legislature of the Province of British Columbia;
 - (f) nothing herein contained shall be deemed to include or imply any covenant or agreement on the part of the Grantee with the Grantor or with any other person or persons as a condition hereof or otherwise to construct, install, or maintain the Works, or any of them, or any public works or utility whatsoever provided for in this statutory right-of-way or any portion thereof;

Page 9 of 10 pages

- (g) this Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns; and
- (h) wherever the singular or the masculine is used in this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic where the context or the parties hereto so require.

STATUTORY RIGHT OF WAY PLAN OVER A PORTION OF LOT 3 SECTION 5, TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN BCP34340

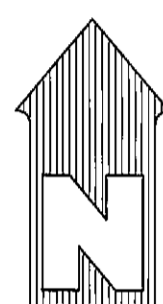
PURSUANT TO SECTION 99 (1) (e) OF THE L. T. A.
FOR DRAINAGE PURPOSES
B. C. G. S. 92G. 018
SCALE 1: 1000

INTEGRATED SURVEY AREA No. 41

TOWNSHIP OF LANGLEY, NAD83 (CSRS)

GRID BEARINGS ARE DERIVED FROM OBSERVATION BETWEEN CONTROL MONUMENTS 89H5033 AND 89H5034. THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL MEASURED DISTANCES. PRIOR TO COMPUTATION OF U. T. M. CO-ORDINATES MULTIPLY BY COMBINED FACTOR OF 0.9996063. DISTANCES ARE IN METRES AND DECIMALS THEREOF, UNLESS SHOWN OTHERWISE.

- ▲ DENOTES CONTROL MONUMENT
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD IRON POST PLACED
- W# DENOTES WITNESS



89H5033

SECTION 5

TOWNSHIP 14

PLAN NWP 87490

PLAN BCP 27810

PLAN BCP 27810

PLAN BCP 27810

PLAN BCP34340

PLAN BCP34340

PLAN BCP34340

48 AVENUE

TRANS CANADA HIGHWAY

PLAN 23336

50 AVENUE

275 STREET

48 AVE

PLAN BCP34343

DEPOSITED IN THE LAND TITLE OFFICE AT NEW WESTMINSTER, B. C.

THIS 11TH DAY OF JANUARY, 2008

Sam MacDonald
DEPUTY REGISTRAR
SEE BB184652

AREA = 0.119 ha

I, A. M. OSMAN, A BRITISH COLUMBIA LAND SURVEYOR OF LANGLEY, BRITISH COLUMBIA, CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE SURVEY WAS COMPLETED ON THE 24TH DAY OF JULY, 2007. THE PLAN WAS COMPLETED AND CHECKED, AND THE CHECKLIST FILED UNDER ECP-69628 ON THE 28TH DAY OF AUGUST, 2007.

A. M. Osman BCLS
ORIGINAL

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

Isaak, Osman & Associates
B. C. LAND SURVEYORS
20609 LOGAN AVENUE
LANGLEY B. C. V3A-7R3
TEL: 604-533-2411
FILE: SE217-26. SRW

Reply to: **Shauna K.H. Towriss**
 Direct Tel: 604.891.7749
 Email: STowriss@cwilson.com
 File No: 29497-0334

CLARK WILSON LLP
 Barristers & Solicitors
 Patent & Trade-Mark Agents
 900 – 885 West Georgia Street
 Vancouver, BC V6C 3H1 Canada
 T. 604.687.5700 F. 604.687.6314
cwilson.com

September 21, 2017

BY EMAIL [LKENNELLYMOHR@TOL.CA & PALBRECHT@TOL.CA]

The Corporation of the Township of Langley
 20338 – 65th Avenue
 Langley BC V2Y 3J1

Attention: Laura Kennelly-Mohr

Dear Sirs/Mesdames:

Re: Subdivision/Development Permit
Application No.: 14-08-0098/DE102017

We enclose herewith the following documents for final approval and execution by the authorized signatory for the Corporation of the Township of Langley ("**Township**"):

1. copy of Statutory Right of Way BB184653 (the "**Old SRoW**") currently charging PID: 030-127-289 Lot 1 Section 5 Township 14 New Westminster District Plan EPP70774 (the "**Property**");
2. draft Form C: Release of the Old SRoW (the "**Release**");
3. draft Form C: Statutory Right of Way (the "**SRoW**");
4. Statutory Right of Way Plan EPP76011 (the "**SRoW Plan**");
5. Application to Deposit the SRoW Plan (the "**ATD**") and collectively with the Release, the SRoW and the SRoW Plan, the "**LTO Documents**";

(collectively, the "**Documents**"); and
6. Recent copy of land title search of the Property.

Except for the ATD which does not require signatures, once the Documents have been executed, please return them to our office upon our following undertakings:

- A. not to file the LTO Documents at the New Westminster Land Title Office ("**LTO**") for registration, unless we have been advised by the Township that they are in accordance with the Township's document standard;

- B. not to use the Documents until such time as we have in our possession all priority consents in favour of the Township over all charges;
- C. not to use the Documents until such time as we have in our possession all originally executed pages of the Documents;
- D. to file the LTO Documents concurrently with the priority consents, if any, in the LTO;
- E. to provide the Township with one copy of each Document, including the LTO Documents bearing registration particulars noted thereon as soon as they become available, together with a title search of the Property confirming registration in the LTO;
- F. if for any reason we cannot comply with our aforementioned undertakings, to forthwith return the Documents to the Township, unused, or if we have submitted the LTO Documents for registration, we will make application to the LTO to withdraw the Documents and return them to the Township; and
- G. to advise the Township immediately if the LTO requires any changes to be made to any of the LTO Documents.

We trust you find the above in order. If you have any questions, please do not hesitate to contact our office.

Yours truly,

CLARK WILSON LLP

Per:

Shauna K.H. Towriss

SKT/jmp

Encl.

From: [Paul Albrecht](#)
To: [Laura Kennelly-Mohr](#)
Subject: FW: 275th and 48th - SRW Plan (Project 14-05-0098)
Date: Friday, September 15, 2017 9:48:58 AM
Attachments: [image001.png](#)
[MR17-732SRW Form9 signed.pdf](#)

Hi Laura

Here is the Beedie plan as discussed. It does provide a little more info than I thought. Let me know how you want to proceed.

The project number for this site is 14-05-0098 and is a relocation of a storm sewer system. Any questions please let me know.

Thanks

Paul

From: Andrew Peterson [mailto:Andrew.Peterson@beedie.ca]
Sent: Thursday, September 14, 2017 1:34 PM
To: Paul Albrecht <palbrecht@tol.ca>
Subject: 275th and 48th - SRW Plan

Hello Paul,

Further to our previous discussion, please find attached the SRW Plan for the Servicing works at 275th and 48th.

Thank you,

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349

D604.909.8714 C778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

andrew.peterson@beedie.ca

www.beedie.ca



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CLARK WILSON LLP

Reply to: **Shauna K.H. Towriss**
 Direct Tel: 604.891.7749
 Email: STowriss@cwilson.com
 File No: 29497-0334

CLARK WILSON LLP
 Barristers & Solicitors
 Patent & Trade-Mark Agents
 900 – 885 West Georgia Street
 Vancouver, BC V6C 3H1 Canada
 T. 604.687.5700 F. 604.687.6314
cwilson.com

December 6, 2017

BY EMAIL [LKENNELLYMOHR@TOL.CA & PALBRECHT@TOL.CA]

The Corporation of the Township of Langley
 20338 – 65th Avenue
 Langley BC V2Y 3J1

Attention: Laura Kennelly-Mohr

Dear Sirs/Mesdames:

Re: Subdivision/Development Permit
Application No.: 14-08-0098/DP100890

We enclose herewith the following documents for final approval and execution by the authorized signatory for the Corporation of the Township of Langley ("**Township**");

1. Form C Release of Statutory Right of Way BB184653;
 2. Form C Statutory Right of Way;
 3. Application to Deposit Statutory Right of Way Plan EPP76011
 4. Statutory Right of Way Plan EPP76011;
- (collectively, the "**Documents**");
5. Copy of Statutory Right of Way BB184653; and
 6. Recent copy of land title search of the Property.

Once the Documents have been executed (if required), please return them to our office upon our following undertakings:

- A. not to file the LTO Documents at the New Westminster Land Title Office ("**LTO**") for registration, unless we have been advised by the Township that they are in accordance with the Township's document standard;
- B. not to use the Documents until such time as we have in our possession all priority consents in favour of the Township over all charges;

- C. not to use the Documents until such time as we have in our possession all originally executed pages of the Documents;
- D. to file the Documents concurrently with the priority consents, if any, in the LTO;
- E. to provide the Township with one copy of each Document, including the Documents bearing registration particulars noted thereon as soon as they become available, together with a title search of the Property confirming registration in the LTO;
- F. if for any reason we cannot comply with our aforementioned undertakings, to forthwith return the Documents to the Township, unused, or if we have submitted the Documents for registration, we will make application to the LTO to withdraw the Documents and return them to the Township; and
- G. to advise the Township immediately if the LTO requires any changes to be made to any of the Documents.

We trust you find the above in order. If you have any questions, please do not hesitate to contact our office.

Yours truly,

CLARK WILSON LLP

Per:

Shauna K.H. Towniss



SKT/skt

Encl.

TITLE SEARCH PRINT

2017-09-20, 17:29:29

File Reference: 34118-0001

Requestor: Joanne Petitclerc

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under	SECTION 98 LAND TITLE ACT
Land Title District Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
Title Number From Title Number	CA5956010 BB21275 BB773415
Application Received	2017-04-27
Application Entered	2017-05-10
Registered Owner in Fee Simple Registered Owner/Mailing Address:	161884 CANADA INC., INC.NO. 28204A 3030 GILMORE DIVERSION BURNABY, BC V5G 3B4
Taxation Authority	Langley, The Corporation of the Township of
Description of Land Parcel Identifier: Legal Description:	030-127-289 LOT 1 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP70774
Legal Notations	NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932 FILED 2008-04-03 HERETO IS ANNEXED EASEMENT BE200470 OVER (PLAN LMP1416) LOT 2 PLAN NWP87490

TITLE SEARCH PRINT

2017-09-20, 17:29:29

File Reference: 34118-0001

Requestor: Joanne Petitclerc

Charges, Liens and Interests

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271665C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181654
 Remarks: INTER ALIA
 SEE 447728E
 AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST
 QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER
 DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193)
 EXCEPT: PART ON HIGHWAY PLAN 23336 AND PART
 LYING SOUTH AND WEST OF HIGHWAY PLAN 23336

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271666C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181655
 Remarks: INTER ALIA
 SEE 447728E
 AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST
 QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER
 DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193)
 EXCEPT: PART ON HIGHWAY PLAN 23336 AND PARTS LYING
 SOUTH AND WEST OF HIGHWAY PLAN 23336

Nature: STATUTORY BUILDING SCHEME
 Registration Number: BP281646
 Registration Date and Time: 2000-11-24 09:33
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BP285970
 Registration Date and Time: 2000-11-28 14:51
 Registered Owner: BRITISH COLUMBIA HYDRO AND POWER AUTHORITY
 Remarks: INTER ALIA
 PART FORMERLY LOT 5 PLAN NWP87490

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BP285971
 Registration Date and Time: 2000-11-28 14:51
 Registered Owner: TELUS COMMUNICATIONS (B.C.) INC.
 INCORPORATION NO. A51167
 Remarks: INTER ALIA
 PART FORMERLY LOT 5 PLAN NWP87490

TITLE SEARCH PRINT

2017-09-20, 17:29:29

File Reference: 34118-0001

Requestor: Joanne Petitclerc

Nature: EASEMENT
 Registration Number: BA602677
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27811
 APPURTENANT TO LOT 2 PLAN BCP27810

Nature: EASEMENT
 Registration Number: BA602679
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27812
 APPURTENANT TO LOT 3 PLAN BCP27810

Nature: COVENANT
 Registration Number: BB129084
 Registration Date and Time: 2007-10-17 14:52
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB184649
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184651
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34342

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184653
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34343

Nature: COVENANT
 Registration Number: BB184655
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA
 PART FORMERLY LOT 3 PLAN BCP34340

TITLE SEARCH PRINT

2017-09-20, 17:29:29

File Reference: 34118-0001

Requestor: Joanne Petitclerc

Nature: COVENANT
 Registration Number: BB184656
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB184657
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BB184659
 Registration Date and Time: 2008-01-11 10:11
 Remarks: PART ON PLAN BCP34345
 APPURTENANT TO LOTS 1 AND 2 PLAN BCP34340
 PARTIAL RELEASE CA5956009 REC'D ON 04-26-2017 AS
 TO LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB773417
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40898

Nature: COVENANT
 Registration Number: BB773418
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART FORMERLY LOT 4 PLAN BCP40897

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB773420
 Registration Date and Time: 2009-05-13 14:08
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40899

Nature: COVENANT
 Registration Number: BB773425
 Registration Date and Time: 2009-05-13 14:09
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 4 PLAN BCP40897

TITLE SEARCH PRINT

File Reference: 34118-0001

2017-09-20, 17:29:29

Requestor: Joanne Petitclerc

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

TITLE SEARCH PRINT

File Reference: 29497-0334

2017-12-06, 16:55:41

Requestor: Christy-Ann Labelle

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under	SECTION 98 LAND TITLE ACT
Land Title District Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
Title Number From Title Number	CA5956010 BB21275 BB773415
Application Received	2017-04-27
Application Entered	2017-05-10
Registered Owner in Fee Simple Registered Owner/Mailing Address:	161884 CANADA INC., INC.NO. 28204A 3030 GILMORE DIVERSION BURNABY, BC V5G 3B4
Taxation Authority	Langley, The Corporation of the Township of
Description of Land Parcel Identifier: Legal Description:	030-127-289 LOT 1 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP70774
Legal Notations	NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932 FILED 2008-04-03 HERETO IS ANNEXED EASEMENT BE200470 OVER (PLAN LMP1416) LOT 2 PLAN NWP87490

TITLE SEARCH PRINT

File Reference: 29497-0334

2017-12-06, 16:55:41

Requestor: Christy-Ann Labelle

Charges, Liens and Interests

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271665C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181654
 Remarks: INTER ALIA
 SEE 447728E
 AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST
 QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER
 DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193)
 EXCEPT: PART ON HIGHWAY PLAN 23336 AND PART
 LYING SOUTH AND WEST OF HIGHWAY PLAN 23336

Nature: UNDERSURFACE RIGHTS
 Registration Number: 271666C
 Registration Date and Time: 1959-10-16 14:32
 Registered Owner: WDPL HOLDINGS LIMITED
 Transfer Number: BA181655
 Remarks: INTER ALIA
 SEE 447728E
 AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST
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 DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193)
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Nature: STATUTORY BUILDING SCHEME
 Registration Number: BP281646
 Registration Date and Time: 2000-11-24 09:33
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BP285970
 Registration Date and Time: 2000-11-28 14:51
 Registered Owner: BRITISH COLUMBIA HYDRO AND POWER AUTHORITY
 Remarks: INTER ALIA
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Nature: STATUTORY RIGHT OF WAY
 Registration Number: BP285971
 Registration Date and Time: 2000-11-28 14:51
 Registered Owner: TELUS COMMUNICATIONS (B.C.) INC.
 INCORPORATION NO. A51167
 Remarks: INTER ALIA
 PART FORMERLY LOT 5 PLAN NWP87490

TITLE SEARCH PRINT

2017-12-06, 16:55:41

File Reference: 29497-0334

Requestor: Christy-Ann Labelle

Nature: EASEMENT
 Registration Number: BA602677
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27811
 APPURTENANT TO LOT 2 PLAN BCP27810

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 Registration Number: BA602679
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27812
 APPURTENANT TO LOT 3 PLAN BCP27810

Nature: COVENANT
 Registration Number: BB129084
 Registration Date and Time: 2007-10-17 14:52
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB184649
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184651
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34342

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184653
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34343

Nature: COVENANT
 Registration Number: BB184655
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA
 PART FORMERLY LOT 3 PLAN BCP34340

TITLE SEARCH PRINT

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File Reference: 29497-0334

Requestor: Christy-Ann Labelle

Nature: COVENANT
 Registration Number: BB184656
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB184657
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BB184659
 Registration Date and Time: 2008-01-11 10:11
 Remarks: PART ON PLAN BCP34345
 APPURTENANT TO LOTS 1 AND 2 PLAN BCP34340
 PARTIAL RELEASE CA5956009 REC'D ON 04-26-2017 AS
 TO LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB773417
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40898

Nature: COVENANT
 Registration Number: BB773418
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART FORMERLY LOT 4 PLAN BCP40897

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB773420
 Registration Date and Time: 2009-05-13 14:08
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40899

Nature: COVENANT
 Registration Number: BB773425
 Registration Date and Time: 2009-05-13 14:09
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 4 PLAN BCP40897

TITLE SEARCH PRINT

File Reference: 29497-0334

2017-12-06, 16:55:41

Requestor: Christy-Ann Labelle

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

TITLE SEARCH PRINT

File Reference: 29497-0334

2018-01-24, 08:38:51

Requestor: Skye Hsieh

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Title Issued Under	SECTION 98 LAND TITLE ACT
Land Title District Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
Title Number From Title Number	CA5956010 BB21275 BB773415
Application Received	2017-04-27
Application Entered	2017-05-10
Registered Owner in Fee Simple Registered Owner/Mailing Address:	161884 CANADA INC., INC.NO. 28204A 3030 GILMORE DIVERSION BURNABY, BC V5G 3B4
Taxation Authority	Langley, The Corporation of the Township of
Description of Land Parcel Identifier: Legal Description:	030-127-289 LOT 1 SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT PLAN EPP70774
Legal Notations	NOTICE OF INTEREST, BUILDERS LIEN ACT (S.3(2)), SEE BB217932 FILED 2008-04-03
	THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 14 OF THE LOCAL GOVERNMENT ACT, SEE CA6498908
	HERETO IS ANNEXED EASEMENT BE200470 OVER (PLAN LMP1416) LOT 2 PLAN NWP87490

TITLE SEARCH PRINT

File Reference: 29497-0334

2018-01-24, 08:38:51

Requestor: Skye Hsieh

Charges, Liens and Interests

Nature:	UNDERSURFACE RIGHTS
Registration Number:	271665C
Registration Date and Time:	1959-10-16 14:32
Registered Owner:	WDPL HOLDINGS LIMITED
Transfer Number:	BA181654
Remarks:	INTER ALIA SEE 447728E AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193) EXCEPT: PART ON HIGHWAY PLAN 23336 AND PART LYING SOUTH AND WEST OF HIGHWAY PLAN 23336
Nature:	UNDERSURFACE RIGHTS
Registration Number:	271666C
Registration Date and Time:	1959-10-16 14:32
Registered Owner:	WDPL HOLDINGS LIMITED
Transfer Number:	BA181655
Remarks:	INTER ALIA SEE 447728E AS TO PARTS FORMERLY SOUTH HALF OF THE SOUTH WEST QUARTER SECTION 5 TOWNSHIP 14 NEW WESTMINSTER DISTRICT, INCLUDING PARCEL A (REFERENCE PLAN 5193) EXCEPT: PART ON HIGHWAY PLAN 23336 AND PARTS LYING SOUTH AND WEST OF HIGHWAY PLAN 23336
Nature:	STATUTORY BUILDING SCHEME
Registration Number:	BP281646
Registration Date and Time:	2000-11-24 09:33
Remarks:	INTER ALIA
Nature:	STATUTORY RIGHT OF WAY
Registration Number:	BP285970
Registration Date and Time:	2000-11-28 14:51
Registered Owner:	BRITISH COLUMBIA HYDRO AND POWER AUTHORITY
Remarks:	INTER ALIA PART FORMERLY LOT 5 PLAN NWP87490
Nature:	STATUTORY RIGHT OF WAY
Registration Number:	BP285971
Registration Date and Time:	2000-11-28 14:51
Registered Owner:	TELUS COMMUNICATIONS (B.C.) INC. INCORPORATION NO. A51167
Remarks:	INTER ALIA PART FORMERLY LOT 5 PLAN NWP87490

TITLE SEARCH PRINT

2018-01-24, 08:38:51

File Reference: 29497-0334

Requestor: Skye Hsieh

Nature: EASEMENT
 Registration Number: BA602677
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27811
 APPURTENANT TO LOT 2 PLAN BCP27810

Nature: EASEMENT
 Registration Number: BA602679
 Registration Date and Time: 2006-12-21 13:49
 Remarks: PLAN BCP27812
 APPURTENANT TO LOT 3 PLAN BCP27810

Nature: COVENANT
 Registration Number: BB129084
 Registration Date and Time: 2007-10-17 14:52
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: COVENANT
 Registration Number: BB184649
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB184651
 Registration Date and Time: 2008-01-11 10:10
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART IN PLAN BCP34342

Nature: COVENANT
 Registration Number: BB184655
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CROWN IN RIGHT OF CANADA
 Remarks: INTER ALIA
 PART FORMERLY LOT 3 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB184656
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 2 PLAN BCP34340

TITLE SEARCH PRINT

2018-01-24, 08:38:51

File Reference: 29497-0334

Requestor: Skye Hsieh

Nature: COVENANT
 Registration Number: BB184657
 Registration Date and Time: 2008-01-11 10:11
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA

Nature: EASEMENT
 Registration Number: BB184659
 Registration Date and Time: 2008-01-11 10:11
 Remarks: PART ON PLAN BCP34345
 APPURTENANT TO LOTS 1 AND 2 PLAN BCP34340
 PARTIAL RELEASE CA5956009 REC'D ON 04-26-2017 AS
 TO LOT 2 PLAN BCP34340

Nature: COVENANT
 Registration Number: BB773417
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40898

Nature: COVENANT
 Registration Number: BB773418
 Registration Date and Time: 2009-05-13 14:07
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART FORMERLY LOT 4 PLAN BCP40897

Nature: STATUTORY RIGHT OF WAY
 Registration Number: BB773420
 Registration Date and Time: 2009-05-13 14:08
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: INTER ALIA
 PART IN PLAN BCP40899

Nature: COVENANT
 Registration Number: BB773425
 Registration Date and Time: 2009-05-13 14:09
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART FORMERLY LOT 4 PLAN BCP40897

Nature: STATUTORY RIGHT OF WAY
 Registration Number: CA6557782
 Registration Date and Time: 2018-01-10 11:51
 Registered Owner: THE CORPORATION OF THE TOWNSHIP OF LANGLEY
 Remarks: PART ON PLAN EPP76011

TITLE SEARCH PRINT

File Reference: 29497-0334

2018-01-24, 08:38:51

Requestor: Skye Hsieh

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

From: Shauna Towriss
To: [Laura Kennelly-Mohr](#)
Cc: [Erin Ungarian](#)
Subject: RE: 14-05-0098 Beedie Group [CWILSON-C.FID1063335]
Date: Wednesday, June 13, 2018 9:44:43 AM
Attachments: [LTO Search CA5956010 PID-030-127-289 \(January 24, 2018\).pdf](#)
[EFS Form C Release of SROw BB184653 \(V.23\).pdf](#)
[EFS Form C SROw for public utilities \(V.24\).pdf](#)

Hi Laura,
 Thanks for your patience on this. Attached are the filed documents and updated title.
 Let me know if you need anything further at all, and thanks for your help on this file.
 Shauna

Shauna Towriss | Clark Wilson LLP

Partner
 900-885 West Georgia Street | Vancouver, BC | V6C 3H1
 Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com
www.cwilson.com | [Contact Information](#) | [Profile](#)

This e-mail may be confidential. Unauthorised use is prohibited. Unintended recipients are asked to return and delete this message. E-mail is inherently vulnerable to interception and we will use alternate means upon request.

From: Laura Kennelly-Mohr [<mailto:lkennellymohr@tol.ca>]

Sent: Friday, May 18, 2018 2:22 PM

To: Shauna Towriss

Subject: RE: 14-05-0098 Beedie Group

Hi Shauna,

It looks like the Township did not receive reporting for this item. Please provide at your convenience.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning

604.532.7545

From: Laura Kennelly-Mohr

Sent: Monday, January 08, 2018 2:32 PM

To: 'Shauna Towriss'

Subject: RE: 14-05-0098 Beedie Group

Hi Shauna,

Yes you can proceed with registration.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning

604.532.7545

From: Shauna Towriss [<mailto:STowriss@cwilson.com>]

Sent: Monday, January 08, 2018 2:08 PM

To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>

Subject: RE: 14-05-0098 Beedie Group

Hi Laura,

I've reviewed everything and have had it put into electronic forms for registration – are we ok to proceed with filing?

Thank you,

Shauna

Shauna Towriss | Clark Wilson LLP

Partner
 900-885 West Georgia Street | Vancouver, BC | V6C 3H1

Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com
www.cwilson.com | [Contact Information](#) | [Profile](#)

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From: Laura Kennelly-Mohr [<mailto:lkennellymohr@tol.ca>]

Sent: Friday, January 05, 2018 9:45 AM

To: Shauna Towriss

Subject: RE: 14-05-0098 Beedie Group

Hi Shauna,

Just a reminder about this. The package has not been picked up yet.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning

604.532.7545

From: Shauna Towriss [<mailto:STowriss@cwilson.com>]

Sent: Tuesday, January 02, 2018 11:27 AM

To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>

Cc: Erin Ungarian <EUngarian@cwilson.com>; Andrew Peterson <Andrew.Peterson@beedie.ca>

Subject: Re: 14-05-0098 Beedie Group

Hi Laura,

Happy New Year to you, too! Thanks so much. We will send a courier to pick this up today.

Many thanks,

Shauna

On Jan 2, 2018, at 11:25 AM, Laura Kennelly-Mohr <lkennellymohr@tol.ca> wrote:

Hi Shauna,

Happy New Year. I am pleased to advise the SRW and release have now been executed and are ready for pick up. Please direct your courier to the 2nd Floor, Development Services Counter at the address noted below.

Thank you!

Regards,

Laura Kennelly-Mohr | Senior Clerk-Development Planning

Development Planning | Community Development

20338 – 65 Avenue, Langley, BC V2Y 3J1

Direct line: 604.532.7545

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

Shauna Towriss | Clark Wilson LLP

Partner

900-885 West Georgia Street | Vancouver, BC | V6C 3H1

Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com

www.cwilson.com | [Contact Information](#) | [Profile](#)

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From: Shauna Towriss
To: [Laura Kennelly-Mohr](#)
Cc: [Erin Ungarian](#); [Andrew Peterson](#)
Subject: Re: 14-05-0098 Beedie Group
Date: Tuesday, January 02, 2018 11:27:18 AM

Hi Laura,

Happy New Year to you, too! Thanks so much. We will send a courier to pick this up today.

Many thanks,
 Shauna

On Jan 2, 2018, at 11:25 AM, Laura Kennelly-Mohr <lkennellymohr@tol.ca> wrote:

Hi Shauna,

Happy New Year. I am pleased to advise the SRW and release have now been executed and are ready for pick up. Please direct your courier to the 2nd Floor, Development Services Counter at the address noted below.

Thank you!

Regards,

<!--[if !vml]--> <image005.png> <!--[endif]-->	Laura Kennelly-Mohr Senior Clerk-Development Planning Development Planning Community Development 20338 – 65 Avenue, Langley, BC V2Y 3J1 Direct line: 604.532.7545 Web Facebook Twitter YouTube	<!--[if !vml]--> <image006.jpg> <!--[endif]-->
--	---	--

Shauna Towriss | Clark Wilson LLP

Partner
 900-885 West Georgia Street | Vancouver, BC | V6C 3H1
 Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com
www.cwilson.com | [Contact Information](#) | [Profile](#)

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From: [Laura Kennelly-Mohr](#)
To: ["Shauna Towriss"](#)
Subject: RE: 14-05-0098 Beedie Group
Date: Monday, January 08, 2018 2:31:00 PM

Hi Shauna,

Yes you can proceed with registration.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning
604.532.7545

From: Shauna Towriss [mailto:STowriss@cwilson.com]
Sent: Monday, January 08, 2018 2:08 PM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Subject: RE: 14-05-0098 Beedie Group

Hi Laura,

I've reviewed everything and have had it put into electronic forms for registration – are we ok to proceed with filing?

Thank you,
Shauna

Shauna Towriss | Clark Wilson LLP

Partner
900-885 West Georgia Street | Vancouver, BC | V6C 3H1
Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com
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From: Laura Kennelly-Mohr [<mailto:lkennellymohr@tol.ca>]
Sent: Friday, January 05, 2018 9:45 AM
To: Shauna Towriss
Subject: RE: 14-05-0098 Beedie Group

Hi Shauna,

Just a reminder about this. The package has not been picked up yet.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning
604.532.7545

From: Shauna Towriss [<mailto:STowriss@cwilson.com>]
Sent: Tuesday, January 02, 2018 11:27 AM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Cc: Erin Ungarian <EUngarian@cwilson.com>; Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: Re: 14-05-0098 Beedie Group

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Regards,

<image005.png> **Laura Kennelly-Mohr | Senior Clerk-Development Planning**
 Development Planning | Community Development
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 Direct line: 604.532.7545 <image006.jpg>
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

Shauna Towriss | Clark Wilson LLP

Partner
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From: Shauna Towriss
To: [Laura Kennelly-Mohr](#)
Subject: RE: 14-05-0098 Beedie Group
Date: Monday, January 08, 2018 2:08:28 PM

Hi Laura,

I've reviewed everything and have had it put into electronic forms for registration – are we ok to proceed with filing?

Thank you,
Shauna

Shauna Towriss | Clark Wilson LLP

Partner
900-885 West Georgia Street | Vancouver, BC | V6C 3H1
Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com
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From: Laura Kennelly-Mohr [<mailto:lkennellymohr@tol.ca>]
Sent: Friday, January 05, 2018 9:45 AM
To: Shauna Towriss
Subject: RE: 14-05-0098 Beedie Group

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Laura Kennelly-Mohr | Senior Clerk-Development Planning
604.532.7545

From: Shauna Towriss [<mailto:STowriss@cwilson.com>]
Sent: Tuesday, January 02, 2018 11:27 AM
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<image005.png> **Laura Kennelly-Mohr | Senior Clerk-Development Planning**

Development Planning | Community Development

20338 – 65 Avenue, Langley, BC V2Y 3J1

Direct line: 604.532.7545

<image006.jpg>

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

Shauna Towriss | Clark Wilson LLP

Partner

900-885 West Georgia Street | Vancouver, BC | V6C 3H1

Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com

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From: [Laura Kennelly-Mohr](#)
To: ["Shauna Towriss"](#)
Subject: RE: 14-05-0098 Beedie Group
Date: Friday, January 05, 2018 9:44:00 AM

Hi Shauna,

Just a reminder about this. The package has not been picked up yet.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning
604.532.7545

From: Shauna Towriss [mailto:STowriss@cwilson.com]
Sent: Tuesday, January 02, 2018 11:27 AM
To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Cc: Erin Ungarian <EUngarian@cwilson.com>; Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: Re: 14-05-0098 Beedie Group

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On Jan 2, 2018, at 11:25 AM, Laura Kennelly-Mohr <lkennellymohr@tol.ca> wrote:

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Thank you!

Regards,

<image005.png> **Laura Kennelly-Mohr | Senior Clerk-Development Planning**
Development Planning | Community Development
20338 – 65 Avenue, Langley, BC V2Y 3J1
Direct line: 604.532.7545 <image006.jpg>
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

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Tel: 604.891.7749 | Fax: 604.687.6314 | Email: STowriss@cwilson.com

www.cwilson.com | [Contact Information](#) | [Profile](#)

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From: [Cameron Temple](#)
To: [Mike Bernemann](#)
Cc: ["Andrew Peterson"](#); [Laura Kennelly-Mohr](#)
Subject: RE: 14-05-0098 Beedie Group
Date: Wednesday, December 13, 2017 8:30:22 AM
Attachments: [image006.png](#)
[image002.png](#)

Hi Mike,

Thank you for making the requested changes.

The attached digital files meet the requirements of our Digital Submission Standards and are accepted.

We will also accept your previously attached PDF.

Regards,

Cam Temple | GIS Technician II

Corporate Administration Division | Township of Langley
20338 – 65 Avenue, Langley, BC V2Y 3J1
Direct Line: 604.532.7393
[Web](#) | [facebook](#) | [twitter](#) | [YouTube](#)



From: Mike Bernemann [mailto:mike@terrapacific.ca]
Sent: Tuesday, December 12, 2017 9:43 PM
To: Cameron Temple <ctemple@tol.ca>
Cc: 'Andrew Peterson' <Andrew.Peterson@beedie.ca>; Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Subject: RE: 14-05-0098 Beedie Group

Hi Cameron

Attached is the revised plan as per your standards.

Regards

Mike Bernemann, BCLS



22371 St Anne Avenue
Maple Ridge, BC V2X 2E7
Phone: 604-463-2509
Fax: 604-463-4501

mike@terrapacific.ca

From: Cameron Temple [<mailto:ctemple@tol.ca>]
Sent: Tuesday, December 12, 2017 8:59 AM
To: Mike Bernemann
Cc: Andrew Peterson; Laura Kennelly-Mohr
Subject: RE: 14-05-0098 Beedie Group

Good Morning,

The attached digital file does not conform to the Township Of Langley's digital submission standards and has been rejected.

The control monument ties do not match their published values.

If you have a digital submission prepared for Parcel Map BC you could submit it to us and we could look at it to see if it will work for our purposes and may be able to accept it.

Regards,

Cam Temple | GIS Technician II

Corporate Administration Division | Township of Langley
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 Direct Line: 604.532.7393
[Web](#) | [facebook](#) | [twitter](#) | [YouTube](#)



From: Mike Bernemann [<mailto:mike@terrapacific.ca>]
Sent: Monday, December 11, 2017 10:25 AM
To: DigitalFiles <DigitalFiles@tol.ca>
Cc: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: 14-05-0098 Beedie Group

Hi Laura

Attached is the pdf and a cad version of the plan. Let me know if you need anything else.

The paper copies are on the way.

Regards

Mike Bernemann, BCLS



22371 St Anne Avenue

Maple Ridge, BC V2X 2E7
Phone: 604-463-2509
Fax: 604-463-4501
mike@terrapacific.ca

From: Mike Bernemann
To: [Cameron Temple](#)
Cc: "[Andrew Peterson](#)"; [Laura Kennelly-Mohr](#)
Subject: RE: 14-05-0098 Beedie Group
Date: Tuesday, December 12, 2017 9:43:01 PM
Attachments: [image003.png](#)
[EPP76011.dwg](#)

Hi Cameron

Attached is the revised plan as per your standards.

Regards

Mike Bernemann, BCLS



22371 St Anne Avenue
 Maple Ridge, BC V2X 2E7
 Phone: 604-463-2509
 Fax: 604-463-4501
mike@terrapacific.ca

From: Cameron Temple [<mailto:ctemple@tol.ca>]
Sent: Tuesday, December 12, 2017 8:59 AM
To: Mike Bernemann
Cc: Andrew Peterson; Laura Kennelly-Mohr
Subject: RE: 14-05-0098 Beedie Group

Good Morning,

The attached digital file does not conform to the Township Of Langley's digital submission standards and has been rejected.

The control monument ties do not match their published values.

If you have a digital submission prepared for Parcel Map BC you could submit it to us and we could look at it to see if it will work for our purposes and may be able to accept it.

Regards,

Cam Temple | GIS Technician II

Corporate Administration Division | Township of Langley
 20338 – 65 Avenue, Langley, BC V2Y 3J1
 Direct Line: 604.532.7393
[Web](#) | [facebook](#) | [twitter](#) | [YouTube](#)



From: Mike Bernemann [<mailto:mike@terrapacific.ca>]
Sent: Monday, December 11, 2017 10:25 AM
To: DigitalFiles <DigitalFiles@tol.ca>
Cc: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: 14-05-0098 Beedie Group

Hi Laura

Attached is the pdf and a cad version of the plan. Let me know if you need anything else.

The paper copies are on the way.

Regards

Mike Bernemann, BCLS



22371 St Anne Avenue
Maple Ridge, BC V2X 2E7
Phone: 604-463-2509
Fax: 604-463-4501
mike@terrapacific.ca

From: Andrew Peterson
To: [Laura Kennelly-Mohr](mailto:Laura.Kennelly-Mohr@tol.ca)
Subject: RE: 14-05-0098 Beedie Group
Date: Tuesday, October 31, 2017 1:06:04 PM
Attachments: [image004.png](#)
[image006.png](#)
[image007.png](#)
[EFS Form C SRoW for public utilities.pdf](#)

Hi Laura,
 Is the attached what you are looking for?
 Andrew

Andrew Peterson
 Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
 3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



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From: Laura Kennelly-Mohr [mailto:lkennellymohr@tol.ca]
Sent: Tuesday, October 31, 2017 12:38 PM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: RE: 14-05-0098 Beedie Group

Hi Andrew,

Please also provide the completed Form C Charge for the SRW. Only the Part 2 Terms were provided.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning
 604.532.7545

From: Andrew Peterson [<mailto:Andrew.Peterson@beedie.ca>]
Sent: Friday, October 27, 2017 1:57 PM

To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>
Cc: Paul Albrecht <palbrecht@tol.ca>
Subject: RE: 14-05-0098 Beedie Group

Hello Laura,
My apologies on the delay here.

As per your below email please find attached:

1. Current Title Search "LTO PID 030-127-289"
2. Draft statutory right of way "BLACKLINE TOL Statutory Right of Way for Public Utilities"
3. Draft Release of Existing ROW "EFS Form C Release of SRoW BB184653.pdf"
4. Copy of Existing right of way "BCP34343.pdf"
5. Application to Deposit SRoW Plan EPP76011 "SRoW Plan EPP76011.pdf"
6. Draft Letter of Undertaking "draft Subdivision Undertaking Letter.docx"

Please let me know if anything else is required.

Thank you,
Andrew

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
D604.909.8714 C778.939.7754
3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



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From: Laura Kennelly-Mohr [<mailto:lkennellymohr@tol.ca>]
Sent: Wednesday, September 20, 2017 11:35 AM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Cc: Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 Beedie Group

Hi Andrew,

Further to our recent telephone conversation, please have your lawyer provide the following:

- Current title search of all related properties
- Draft statutory right of way in the form attached
- Draft release of existing right of way
- Copy of existing right of way
- Draft letter of undertaking in the form attached (please reference Project 14-08-0098/DE102017 in the subject line).

Staff will review and provide comments at our earliest convenience. Please note that additional legal documents may be required prior to building permit once DP100890 has been issued by Council.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning

604.532.7545

From: Andrew Peterson [<mailto:Andrew.Peterson@beedie.ca>]

Sent: Wednesday, September 20, 2017 11:30 AM

To: Laura Kennelly-Mohr <lkennellymohr@tol.ca>

Subject: Contact info

Andrew Peterson

Development Manager

Beedie/

P604.435.3321 F604.432.7349

D604.909.8714 C778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

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From: Andrew Peterson
To: [Laura Kennelly-Mohr](#)
Cc: [Paul Albrecht](#)
Subject: RE: 14-05-0098 Beedie Group
Date: Friday, October 27, 2017 1:56:05 PM
Attachments: [image006.png](#)
[image002.png](#)
[LTO PID-030-127-289.pdf](#)
[BLACKLINE_TOL Statutory Right of Way for Public Utilities.docx](#)
[EFS Form C_Release of SRoW BB184653.pdf](#)
[SRoW Plan EPP76011.pdf](#)
[EFS ATD SRoW Plan EPP76011.pdf](#)
[draft Subdivision Undertaking Letter.docx](#)
[BCP34343.pdf](#)

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6. Draft Letter of Undertaking "draft Subdivision Undertaking Letter.docx"

Please let me know if anything else is required.

Thank you,
 Andrew

Andrew Peterson
 Development Manager

Beedie/

P604.435.3321 F604.432.7349
 D604.909.8714 C778.939.7754
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From: Laura Kennelly-Mohr [mailto:lkennellymohr@tol.ca]

Sent: Wednesday, September 20, 2017 11:35 AM
To: Andrew Peterson <Andrew.Peterson@beedie.ca>
Cc: Paul Albrecht <palbrecht@tol.ca>
Subject: 14-05-0098 Beedie Group

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- Draft statutory right of way in the form attached
- Draft release of existing right of way
- Copy of existing right of way
- Draft letter of undertaking in the form attached (please reference Project 14-08-0098/DE102017 in the subject line).

Staff will review and provide comments at our earliest convenience. Please note that additional legal documents may be required prior to building permit once DP100890 has been issued by Council.

Thanks.

Laura Kennelly-Mohr | Senior Clerk-Development Planning
604.532.7545

From: Andrew Peterson [<mailto:Andrew.Peterson@beedie.ca>]
Sent: Wednesday, September 20, 2017 11:30 AM
To: Laura Kennelly-Mohr <kennellymohr@tol.ca>
Subject: Contact info

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
D604.909.8714 C778.939.7754
3030 Gilmore Diversion, Burnaby, BC V5G 3B4
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SUBDIVISION/DP SAMPLE LETTER OF UNDERTAKING

The Corporation of the Township of Langley
20338 – 65th Avenue
Langley BC V2Y 3J1

Attention: Laura Kennelly-Mohr

Dear Sirs/Mesdames:

RE: Subdivision/Development Permit
Application No.:

We enclose herewith the following documents for final approval and execution by the authorized signatory for the Corporation of the Township of Langley (“Township”):

1. **List relevant documents;**
2. ;
- (collectively the “Documents”); and
3. Recent copy(ies) of land title search(es).

Once the Documents have been executed please return them to our office upon our following undertakings:

- A. not to register the Documents unless we have been advised by the Township that they are in accordance with the Township’s document standard;
- B. not to use the Documents until such time as we have in our possession all priority consents in favour of the Township over all charges;
- C. not to use the Documents until such time as we have in our possession all originally executed pages of the Documents;
- D. to file the Documents concurrently with the priority consents in the New Westminster Land Title Office;
- E. to provide the Township with one copy of each Document, including survey plans, with registration particulars noted thereon as soon as they become available together with a title search confirming registration in the Land Title Office;
- F. if for any reason we cannot comply with our aforementioned undertakings, to forthwith return the Documents to the Township, unused, or if we have submitted the Documents for registration we will make application to the Land Title Office to withdraw the Documents and return them to the Township; and
- G. to advise the Township immediately if the Land Title Office requires any changes to be made to any of the Documents.

We trust you find the above in order. If you have any questions, please do not hesitate to contact our office.

Yours truly,

f:\data\property\standard\charges\undertaking lt for solicitors.doc

From: Ian Whyte <whyte@envirowest.ca>
Sent time: 11/30/2017 10:34:04 AM
To: Ramin Seifi
Cc: Stephen Richardson
Subject: RE: DP100890 - 4825 275 St.
Attachments: image002.png image003.jpg Seifi Nov. 30, 2017.pdf

Hi Ramin,

Please find my letter attached. Call or e-mail me if you have any questions.

Ian

From: Ramin Seifi [mailto:rseifi@tol.ca]
Sent: Thursday, November 30, 2017 9:57 AM
To: Jason Tonin (jason.tonin@beediegroupp.ca)
Cc: Ian Whyte; Stephen Richardson
Subject: DP100890 - 4825 275 St.
Importance: High

Jason:

Further to our telephone conversation of yesterday, I am awaiting letter form your environmental consultant confirming current status with respect to the storm sewer pipe and environmental implications, if any.

Please advise if we can expect something today.

Thank you.

Ramin Seifi, P. Eng., MCIP, RPP, R.I.

General Manager | Engineering and Community Development

Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

Direct Line: 604.533.6050

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>



Ian W. Whyte, P.Ag.
Director

office: 604-944-0502 ext. 1
cellular: 604-240-2139
facsimile: 604-944-0507

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2

enviowest consultants inc.

www.enviowest.ca

From: Joel Nagtegaal
Sent time: 10/23/2017 03:27:40 PM
To: Ramin Seifi
Cc: Stephen Richardson; Robert Knall
Subject: 14-05-0098 Developer Held PIM Requirement
Attachments: image001.png image002.png image003.jpg image004.jpg

Good afternoon Ramin,

We have received a Development Permit application for a property located at 4800 Block of 275 Street in Gloucester. The property is currently zoned General Industrial Zone M-2A. The applicant is proposing to vary Section 702A.5(a) of the Township of Langley Zoning Bylaw to reduce the minimum setback from a front lot line from 10.0 m (32.8 ft) to 5.0 m (16.4 ft) to facilitate the construction of a multi-tenant industrial building. The applicants rationale to support the proposed variance is that there are site constraints (i.e. a restrictive covenant requiring a 10 m landscape buffer along the south lot line as well as a restrictive covenant prohibiting access from 48 Avenue) combined with grading challenges which necessitate the proposed configuration. They also indicate that the proposed configuration brings the building closer to the street and screens parking and loading from the street. Staff note that there are existing buildings north of the subject site which are sited 5 m from 275 Street.

Developer Held Public Information Meetings Policy adopted by Council on March 7, 2016 requires applicants to hold a Public Information Meeting for Development Variance Permit applications. The Policy, however, provides an option for waiving this requirement based on the minor nature of a specific application.

Staff is asking if you might consider waiving the Public Information Meeting requirement for this application as the proposed siting is consistent with other approved development applications in the area. Additionally, staff note that surrounding neighbours will be provided an opportunity to provide feedback at the public hearing portion of the Development Permit process.

Thank you,

Joel Nagtegaal | Planner

Development Services | Community Development

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

From: Joel Nagtegaal
Sent time: 10/23/2017 03:22:20 PM
To: Robert Knall
Subject: 14-05-0098 Developer Held PIM Requirement
Attachments: image001.png image003.jpg image002.png image004.jpg

Hi Robert,

Below is a draft email to Ramin requesting the PIM be waived for the proposed siting variance for the subject development permit application in the 4800 Block of 275 Street in Gloucester.

++++++

Good afternoon Ramin,

We have received a Development Permit application for a property located at 4800 Block of 275 Street in Gloucester. The property is currently zoned General Industrial Zone M-2A. The applicant is proposing to vary Section 702A.5(a) of the Township of Langley Zoning Bylaw to reduce the minimum setback from a front lot line from 10.0 m (32.8 ft) to 5.0 m (16.4 ft) to facilitate the construction of a multi-tenant industrial building. The applicants rationale to support the proposed variance is that there are site constraints (i.e. a restrictive covenant requiring a 10 m landscape buffer along the south lot line as well as a restrictive covenant prohibiting access from 48 Avenue) combined with grading challenges which necessitate the proposed configuration. They also indicate that the proposed configuration brings the building closer to the street and screens parking and loading from the street. Staff note that there are existing buildings north of the subject site which are sited 5 m from 275 Street.

hold a Public Information Meeting for Development Variance Permit applications. The Policy, however, provides an option for waiving this requirement based on the minor nature of a specific application. ^{EQ18-051}

Staff is asking if you might consider waiving the Public Information Meeting requirement for this application as the proposed siting is consistent with other approved development applications in the area. Additionally, staff note that surrounding neighbours will be provided an opportunity to provide feedback at the public hearing portion of the Development Permit process.

Thank you,

Joel Nagtegaal | Planner

Development Services | Community Development

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

From: Ramin Seifi
Sent time: 12/08/2017 11:32:55 AM
To: jason.tonin@beediegroupp.ca; Ian Whyte <whyte@envirowest.ca>
Cc: Stephen Richardson; Robert Knall; Rod Shead
Subject: Development Permit 100890
Attachments: image001.jpg

Further to recent communications, relating to the subject, I understand the following questions may be raised by Council on Monday Dec. 11, if the matter is approved for re-consideration:

1. Does West Creek water flow from south of Highway 1 and through the ROW/pipe in question.
2. Are there Salmonid present on the south side of Highway 1, ultimately travelling through this ROW.
3. Are these Salmonid going to be able to traverse the relocated and extended ROW/Pipe?
4. Is the proposed ROW relocation going to have any negative impact to the Red Coded West Creek on the North side?
5. Given that the TOL hold grantee status on the ROW is there any reason to NOT request that the DFO and MOE are formally made aware by the TOL of the ROW relocation?
6. Given the stated overall value of West Creek by all parties(LEPS, West Creek Awareness, TOL documents, Beedie Development, Envirowest,etc) why would all efforts not be made to ensure its value/health moving forward?

Any comments you may wish to provide would be appreciated.

Thanks

Ramin Seifi, P. Eng., MCIP, RPP, R.I.

General Manager | Engineering and Community Development

Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

Direct Line: 604.533.6050

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

From: Joel Nagtegaal
Sent time: 11/14/2017 03:53:41 PM
To: Ramin Seifi
Cc: Stephen Richardson; Robert Knall; Rod Shead
Subject: DP100890 | Project No. 14-05-0098 - 4825 - 275 Street Watercourse Information
Attachments: Gloucester Watercourses (14-05-0098).pdf image001.jpg image002.png image004.jpg image006.jpg image007.png image008.jpg

Good afternoon Ramin,

Further to our brief conversation this morning, please see the following information regarding the previously existing watercourse at 4825 275 Street (Project No. 14-05-0098, DP100890) in Gloucester.

As indicated in the map and satellite image below, a watercourse previously traversed the site. As part of the Department of Fisheries and Oceans Authorization for the Gloucester area issued in 2000, the watercourse was to be eliminated. Satellite imagery indicates that the elimination of the watercourse was complete between 2005 and 2008. The existing wetland / pond was to remain. A non-disturbance restrictive covenant was registered on the property in 2008 to protect the pond. The subject development permit (DP100890) complies with the terms and conditions of the non-disturbance restrictive covenant (BB184655).

As part of a previous subdivision of the subject site (SA100506), Statutory Right of Way BB184653 (Plan BCP 34343) was registered to facilitate construction and subsequent maintenance of a storm sewer. As part of the subject development permit, Beedie Development Group is relocating the Statutory Right of Way. The relocation of the Statutory Right of Way complies with the terms and conditions of previous Department of Fisheries and Oceans authorization and the non-disturbance restrictive covenant registered to protect the pond.

Please let me know if you require any additional information.

Thank you,


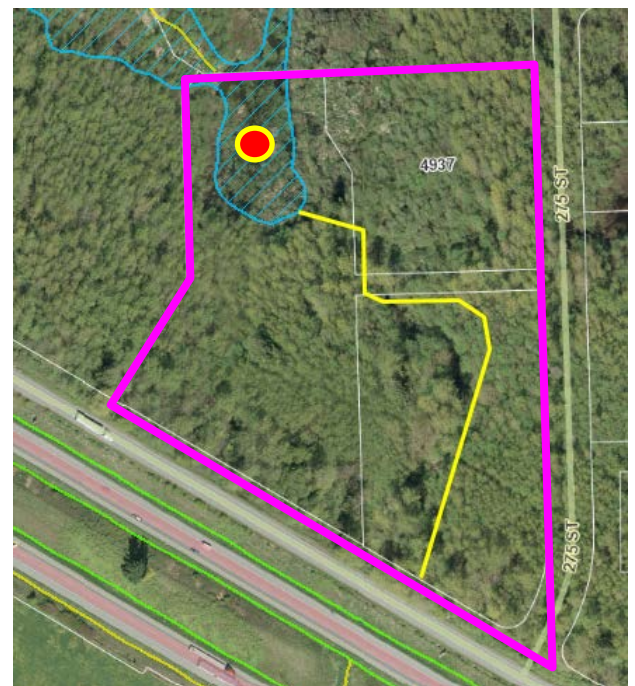
Joel Nagtegaal | Planner

Development Services | Community Development

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

PRE Watercourse elimination	
Map (with mark up) submitted with application to DFO	2005 Geosource air photo (markup)
 <p>Segment of watercourse in green identified for elimination as part of DFO Authorization issued in 2000. Wetland area (red dot) to be retained</p>	 <p>Approximate watercourse locations prior to elimination</p>

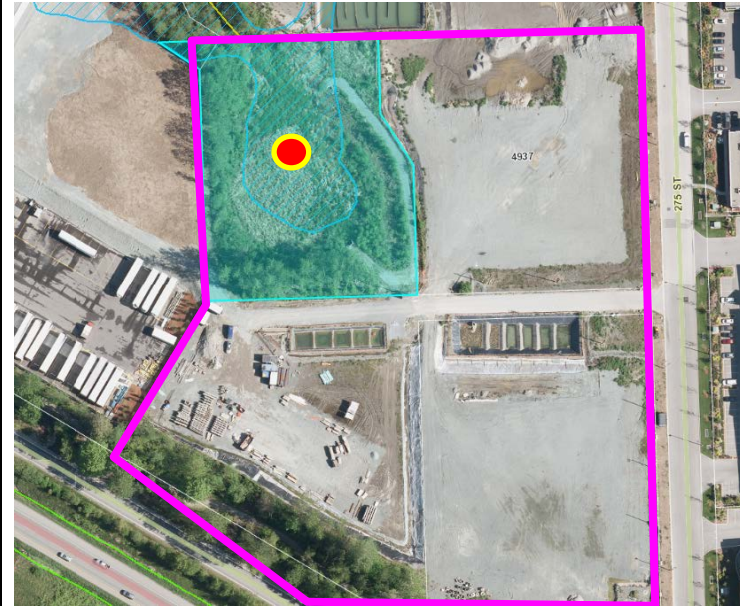
POST Watercourse elimination

Map (with mark up) submitted with application to DFO

2010 Geosource air photo



DFO Authorization post development map showing eliminated drainage with wetland retained.



Watercourse eliminated and protected in restrictive covenant (RC). Blue shaded area is RC boundary. Survey plan indicates RC established in 2008.

PRE Watercourse elimination

Map (with mark up) submitted with application to DFO

2005 Geosource air photo (markup)



Segment of watercourse in green identified for elimination as part of DFO Authorization issued in 2000. Wetland area (red dot) to be retained



Approximate watercourse locations prior to elimination

POST Watercourse elimination

Map (with mark up) submitted with application to DFO

2010 Geosource air photo



DFO Authorization post development map showing eliminated drainage with wetland retained.



Watercourse eliminated and protected in restrictive covenant (RC). Blue shaded area is RC boundary. Survey plan indicates RC established in 2008.

image006.jpg

From: Ian Whyte <whyte@envirowest.ca>
Sent time: 12/11/2017 10:34:48 AM
To: Ramin Seifi
Cc: Stephen Richardson; Rod Shead; Robert Knall; Jason Tonin <Jason.Tonin@beedie.ca>; Andrew Peterson <Andrew.Peterson@beedie.ca>
Subject: FW: Development Permit 100890
Attachments: image001.jpg image002.png

Hi Ramin,

Please consider the responses I have provided below.

Ian

From: Ramin Seifi [<mailto:rseifi@tol.ca>]
Sent: Friday, December 08, 2017 11:33 AM
To: Ian Whyte; jason.tonin@beediegroupp.ca <<mailto:jason.tonin@beediegroupp.ca>>
Cc: Stephen Richardson; Robert Knall; Rod Shead
Subject: Development Permit 100890

Further to recent communications, relating to the subject, I understand the following questions may be raised by Council on Monday Dec. 11, if the matter is approved for re-consideration:

1. Does West Creek water flow from south of Highway 1 and through the ROW/pipe in question. The catchment area for West Creek includes land on the south side of Highway 1. Runoff from lands south of the highway is predominantly agricultural field drainage and also includes runoff from road and highway ditches. These areas, as

2. Are there Salmonid present on the south side of Highway 1, ultimately travelling through this ROW. Envirowest has never conducted fish sampling south of the highway. We have, however, conducted sampling north (downstream) of the subject site and have not captured salmonids in proximity of the site. As a point of clarification, and as previously reported, Envirowest did capture salmonids as far south as the Highway in the enhanced section of West Creek located west of 272 Street.

3. Are these Salmonid going to be able to traverse the relocated and extended ROW/Pipe? The realigned pipe has no effect on salmonid access (since they do not presently access the south side of the highway).

4. Is the proposed ROW relocation going to have any negative impact to the Red Coded West Creek on the North side? Realignment of pipe will have no effect on the downstream (northern) section of Class A stream.

5. Given that the TOL hold grantee status on the ROW is there any reason to NOT request that the DFO and MOE are formally made aware by the TOL of the ROW relocation? The storm sewer is technically not fish habitat and is not a stream. A Request for Review submitted to DFO would elicit a standard form-letter response in which they would indicate that the proposed works are determined to cause no serious harm to fish. A Notification submitted to the Province in accordance with the Water Sustainability Act would receive no response apart from an acknowledgement that a Notification was submitted.

6. Given the stated overall value of West Creek by all parties(LEPS, West Creek Awareness, TOL documents, Beedie Development, Envirowest,etc) why would all efforts not be made to ensure its value/health moving forward? The realignment of the storm sewer has no effect on the functions and values of downstream fish and their habitats.

Thanks

Ramin Seifi, P. Eng., MCIP, RPP, R.I.

General Manager | Engineering and Community Development

Township of Langley

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Direct Line: 604.533.6050

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Ian W. Whyte, P.Ag.
Director

office: 604-944-0502 ext. 1
cellular: 604-240-2139
facsimile: 604-944-0507

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2

envirowest consultants inc.

www.envirowest.ca

From: Stephen Richardson
Sent time: 12/03/2017 06:26:09 PM
To: Robert Knall; Joel Nagtegaal; Rod Shead
Subject: FW: Letter to LEPS - 14-05-0098 / 4825 - 275 Street
Attachments: image001.png image002.jpg image005.jpg

FYI

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Stephen Richardson
Sent: Sunday, December 03, 2017 6:25 PM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Cathy Porter <cporter@tol.ca>
Subject: Letter to LEPS - 14-05-0098 / 4825 - 275 Street

Good afternoon Ramin:

Please find requested letter to LEPS pertaining to ToL Project # 14-05-009 (DP 100890) by Beedie Development Group at 4825 275 Street for your review at:

[F:\data\cdgen\Correspondence for Review\Development Planning\LEPS Nov 24 17 Letter Response.docx <file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/LEPS%20Nov%2024%2017%20Letter%20Response.docx>](file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/LEPS%20Nov%2024%2017%20Letter%20Response.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\Civil Plan.docx <file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Civil%20Plan.docx>](file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Civil%20Plan.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\SROW Relocation Plan.docx <file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/SROW%20Relocation%20Plan.docx>](file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/SROW%20Relocation%20Plan.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\Restrictive Covenant non-disturbance area.pdf <file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Restrictive%20Covenant%20non-disturbance%20area.pdf>](file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Restrictive%20Covenant%20non-disturbance%20area.pdf)

[F:\data\cdgen\Correspondence for Review\Development Planning\DFO Authorization \(comment added\).pdf <file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/DFO%20Authorization%20\(comment%20added\).pdf>](file:///na-civic-b:/tofiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/DFO%20Authorization%20(comment%20added).pdf)

Please let me know if staff can provide additional assistance.

Best regards Stephen

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca <<http://www.tol.ca>>

From: Stephen Richardson
Sent time: 12/01/2017 10:25:48 AM
To: Robert Knall
Cc: Rod Shead; Joel Nagtegaal
Subject: FW: Memo to Council: Beedie - 14-05-0098 / 4825 - 275 Street
Attachments: image001.png image002.jpg image005.jpg

FYI

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Stephen Richardson
Sent: Friday, December 01, 2017 10:25 AM
To: Ramin Seifi <rseifi@tol.ca>
Cc: Cathy Porter <cporter@tol.ca>
Subject: Memo to Council: Beedie - 14-05-0098 / 4825 - 275 Street

Good morning Ramin:

Please find requested Memo to Council pertaining to ToL Project # 14-05-009 (DP 100890) by Beedie Development Group at 4825 275 Street for your review at:

[F:\data\cdgen\Correspondence for Review\Development Planning\2017 11 30 Beedie 14-05-0098.docx <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/2017%2011%2030%20Beedie%2014-05-0098.docx>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/2017%2011%2030%20Beedie%2014-05-0098.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment A - Aerial Site Photo.docx <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20A%20-%20Aerial%20Site%20Photo.docx>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20A%20-%20Aerial%20Site%20Photo.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment B - Site Plan.docx <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20B%20-%20Site%20Plan.docx>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20B%20-%20Site%20Plan.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment C - Civil Plan.docx <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20C%20-%20Civil%20Plan.docx>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20C%20-%20Civil%20Plan.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment D - SROW Relocation Plan.docx <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20D%20-%20SROW%20Relocation%20Plan.docx>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20D%20-%20SROW%20Relocation%20Plan.docx)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment E - Restrictive Covenant non-disturbance area.pdf <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20E%20-%20Restrictive%20Covenant%20non-disturbance%20area.pdf>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20E%20-%20Restrictive%20Covenant%20non-disturbance%20area.pdf)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment F - Nov 24 17 LEPS Letter.pdf <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20F%20-%20Nov%2024%202017%20LEPS%20Letter.pdf>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20F%20-%20Nov%2024%202017%20LEPS%20Letter.pdf)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment G - DFO Authorization \(comment added\).pdf <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20G%20-%20DFO%20Authorization%20\(comment%20added\).pdf>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20G%20-%20DFO%20Authorization%20(comment%20added).pdf)

[F:\data\cdgen\Correspondence for Review\Development Planning\Attachment H - Envirowest Nov 30 17 Letter.pdf <file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20H%20-%20Envirowest%20Nov%2030%202017%20Letter.pdf>](file:///na-civic-b/tolfiles/data/cdgen/Correspondence%20for%20Review/Development%20Planning/Attachment%20H%20-%20Envirowest%20Nov%2030%202017%20Letter.pdf)

Please let me know if staff can provide additional assistance.

Best regards Stephen

Stephen Richardson | Director - Development Services | Township of Langley

From: Ramin Seifi
Sent time: 12/07/2017 04:15:16 PM
To: jason.tonin@beediegroupp.ca
Cc: Ian Whyte <whyte@envirowest.ca>; Stephen Richardson; Robert Knall; Joel Nagtegaal
Subject: Notice of Motion for Monday Dec. 11, 2017
Attachments: image001.jpg

Please be advised of the following Notice of Motion put forward for Councils consideration at the Regular Evening Meeting of December 11, 2017, starting at 7:00 pm.:

Whereas Development Permit 100890 to permit construction of a building at 4825 - 275th Street in Gloucester Industrial Park with a variety of conditions attached was granted on November 6, 2017 to Beedie Corporation, and

Whereas the accompanying staff report contained information regarding the re-location of the existing Statutory Right of Way (SRW) within the overall development plan, which condition elicited a number of inquiries from Council with respect to West Creek and associated stormwater management for the site; and

Whereas Council subsequently requested further information based on the SRW re-location arising from correspondence from Langley Environmental Partners (LEPS) further to West Creek and its tributaries, and referred the matter to Staff with respect to a report which has now been forwarded for Council review; and

Whereas the information provided in the report is not dispositive regarding why the DFO should not be engaged in the application and associated processes given that Beedies VP of Land Development referenced the presence of fish in and around the area of Highway 1 and the subject property at the November 6, 2017 DP Hearing, and

Whereas the original DFO Authorization #99-HPAC-A2 000 000217 MELP File# A 20004880 cited in the staff report states:

The valid authorization period for the harmful alteration associated with various land development activities is from 10 May, 2000 through 15 September, 2005.. and ...If any phase of the project is not completed by that date, such that fish habitat may be affected, a new Authorization pursuant to Section 35(2) of the Fisheries Act may be required.; and

Whereas the subject development proposal will now potentially adversely affect new fish populations which have resulted from the enhancement works undertaken in and around the subject property, thereby triggering the involvement of the DFO in the proposed SRW relocation in order to ensure that the original conditions of Authorization are still applicable;

Therefore, be it resolved that a reconsideration of the matter on the grounds of new information proceed and that the following conditions be added to the original DP:

- 1) Beedie Corporation and/or its Qualified Professional confirms that the location and general design of the works are consistent with the information originally provided to the DFO and that any substantive deviations be forwarded to them for review prior to current Authorization; and
- 2) That the DFO conduct a site review in order to determine the number and species of fish potentially affected by the re-location of the SRW; and
- 3) That the DP conditions be subject to the current jurisdiction of the DFO with respect any harmful alteration of fish habitat and that all current applicable DFO and Township of Langley standards and policies be therefore applied; and
- 4) That the Ministry Environment be consulted further to the application in order to ascertain compliance with all related provincial policies further to fish and riparian guidelines and legislation; and

5)The issuance of a building permit for 4825 275th Street will not be completed until the preceding requirements^{FOL18-051} have all substantively been met.

Best regards,

Ramin Seifi, P. Eng., MCIP, RPP, R.I.

General Manager | Engineering and Community Development

Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

Direct Line: 604.533.6050

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From: Ramin Seifi
Sent time: 10/23/2017 03:30:26 PM
To: Joel Nagtegaal
Cc: Stephen Richardson; Robert Knall
Subject: Re: 14-05-0098 Developer Held PIM Requirement
Attachments: image002.png image004.jpg

Approved to waive PIM.

Thanks.

On Oct 23, 2017, at 3:27 PM, Joel Nagtegaal <jnagtegaal@tol.ca <<mailto:jnagtegaal@tol.ca>>> wrote:

Good afternoon Ramin,

We have received a Development Permit application for a property located at 4800 Block of 275 Street in Gloucester. The property is currently zoned General Industrial Zone M-2A. The applicant is proposing to vary Section 702A.5(a) of the Township of Langley Zoning Bylaw to reduce the minimum setback from a front lot line from 10.0 m (32.8 ft) to 5.0 m (16.4 ft) to facilitate the construction of a multi-tenant industrial building. The applicants rationale to support the proposed variance is that there are site constraints (i.e. a restrictive covenant requiring a 10 m landscape buffer along the south lot line as well as a restrictive covenant prohibiting access from 48 Avenue) combined with grading challenges which necessitate the proposed configuration. They also indicate that the proposed configuration brings the building closer to the street and screens parking and loading from the street. Staff note that there are existing buildings north of the subject site which are sited 5 m from 275 Street.

Developer Held Public Information Meetings Policy adopted by Council on March 7, 2016 requires applicants to hold a Public Information Meeting for Development Variance Permit applications. The Policy, however, provides an option for waiving this requirement based on the minor nature of a specific application.

Staff is asking if you might consider waiving the Public Information Meeting requirement for this application as the proposed siting is consistent with other approved development applications in the area. Additionally, staff note that surrounding neighbours will be provided an opportunity to provide feedback at the public hearing portion of the Development Permit process.

Thank you,

<image002.png>

Joel Nagtegaal | Planner

Development Services | Community Development

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

<image004.jpg>

From: Robert Knall
Sent time: 10/23/2017 03:26:01 PM
To: Joel Nagtegaal
Subject: RE: 14-05-0098 Developer Held PIM Requirement
Attachments: image001.png image005.png image006.jpg image007.jpg

Joel: Wording looks good. Please finalize and send email to Ramin (please cc Stephen and myself). Thanks.

Robert Knall | Manager, Development Planning

Community Development Division

Telephone: 604.533.6060

From: Joel Nagtegaal
Sent: Monday, October 23, 2017 3:22 PM
To: Robert Knall <rknall@tol.ca>
Subject: 14-05-0098 Developer Held PIM Requirement

Hi Robert,

Below is a draft email to Ramin requesting the PIM be waived for the proposed siting variance for the subject development permit application in the 4800 Block of 275 Street in Gloucester.

+++++++

Good afternoon Ramin,

We have received a Development Permit application for a property located at 4800 Block of 275 Street in Gloucester. The property is currently zoned General Industrial Zone M-2A. The applicant is proposing to vary Section 702A.5(a) of the Township of Langley Zoning Bylaw to reduce the minimum setback from a front lot line from 10.0 m (32.8 ft) to 5.0 m (16.4 ft) to facilitate the construction of a multi-tenant industrial building. The applicants rationale to support the proposed variance is that there are site constraints (i.e. a restrictive covenant requiring a 10 m landscape buffer along the south lot line as well as a restrictive covenant prohibiting access from 48 Avenue) combined with grading challenges which necessitate the proposed configuration. They also indicate that the proposed configuration brings the building closer to the street and screens parking and loading from the street. Staff note that there are existing buildings north of the subject site which are sited 5 m from 275 Street.

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Staff is asking if you might consider waiving the Public Information Meeting requirement for this application as the proposed siting is consistent with other approved development applications in the area. Additionally, staff note that surrounding neighbours will be provided an opportunity to provide feedback at the public hearing portion of the Development Permit process.

Thank you,

Joel Nagtegaal | Planner

Development Services | Community Development

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

From: Daniel Graham
Sent time: 12/04/2017 11:45:47 AM
To: Ramin Seifi
Cc: Joel Nagtegaal; Stephen Richardson; Robert Knall; Cathy Porter
Subject: RE: Beedie DP - slides for today
Attachments: image001.png image003.jpg Beedie Item.pptx image002.png image004.jpg

Good Morning Ramin,

As requested, find slides attached for your consideration. Please let me know if staff can provide additional assistance.

Best Regards,

Daniel Graham | Planning Technician

Development Planning | Community Development

20338 65 Avenue, Langley, BC V2Y 3J1

Direct line: 604.533.6090x2239

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

From: Joel Nagtegaal
Sent: Monday, December 04, 2017 11:34 AM
To: Daniel Graham <dxgraham@tol.ca>
Subject: FW: Beedie DP - slides for today

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Ramin Seifi
Sent: Monday, December 04, 2017 11:29 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca <<mailto:jnagtegaal@tol.ca>>>
Cc: Stephen Richardson <srichardson@tol.ca <<mailto:srichardson@tol.ca>>>; Cathy Porter <cporter@tol.ca <<mailto:cporter@tol.ca>>>
Subject: Beedie DP - slides for today

Can you please arrange for a couple of slides to be available for today's council meeting reflecting what we have told council as part of a memo on today's distribution list with respect to the water course that was eliminated in 05-08 and replaced with a storm sewer pipe and SRS?

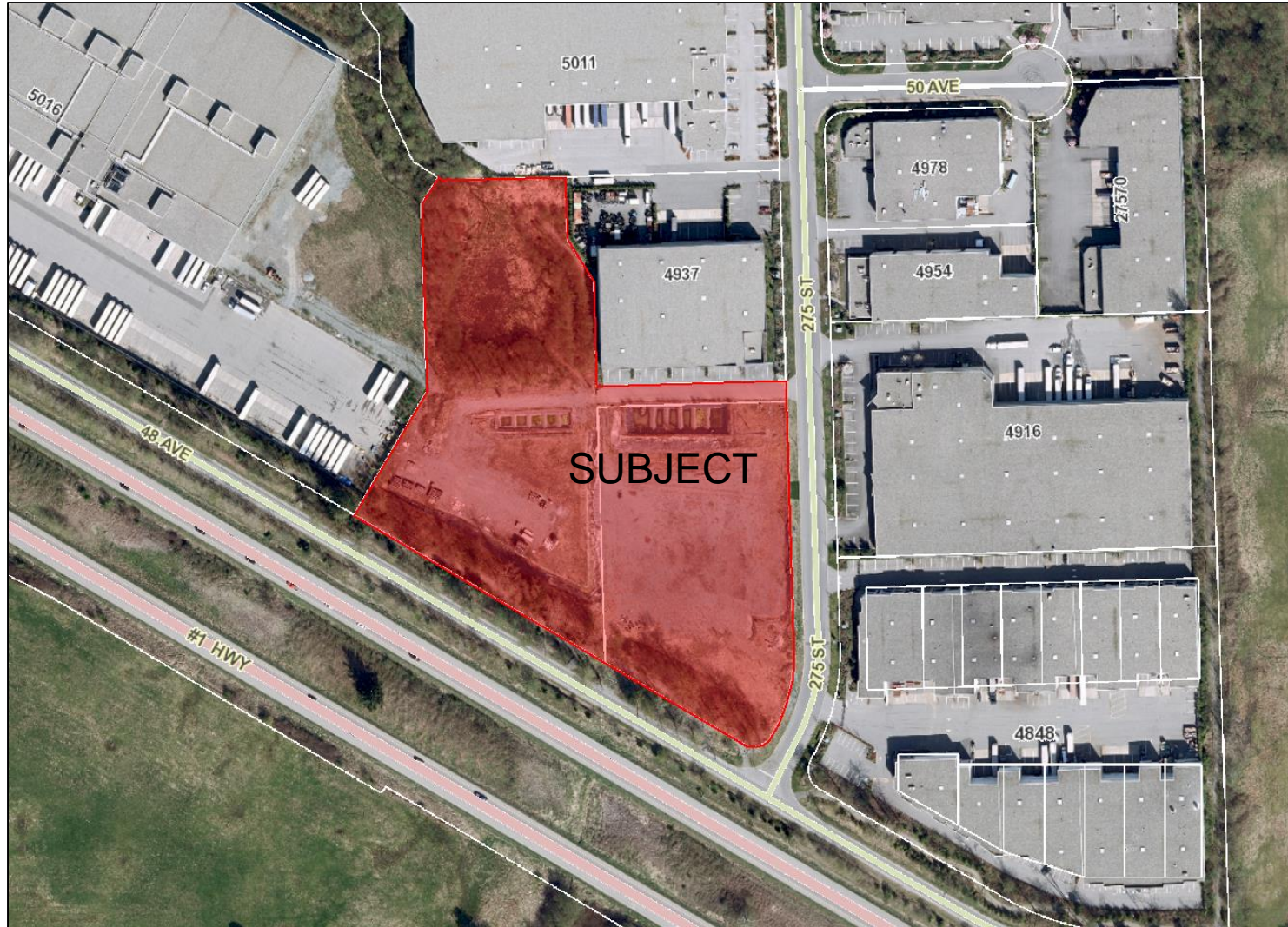
Thank you.

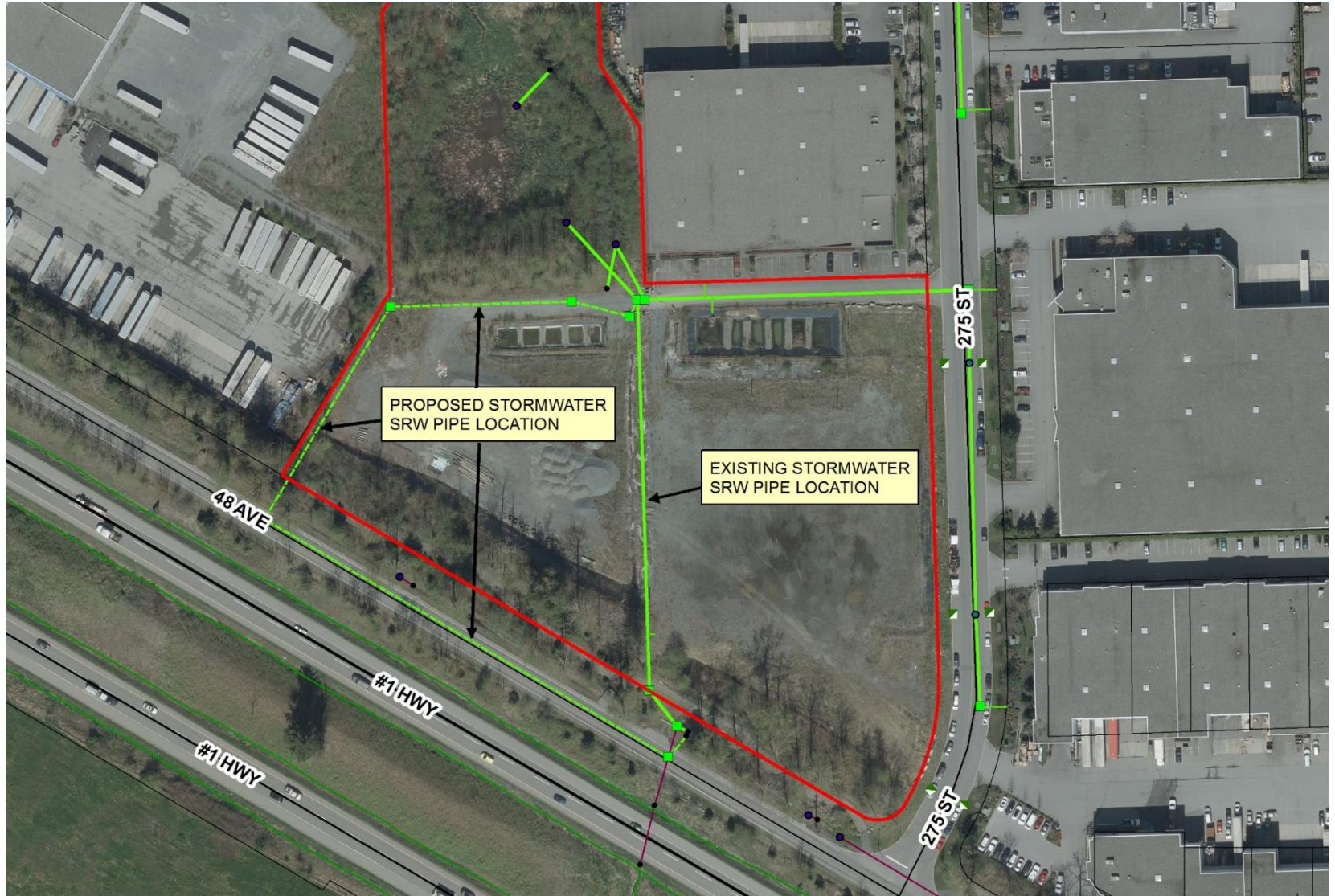
Township of
Langley



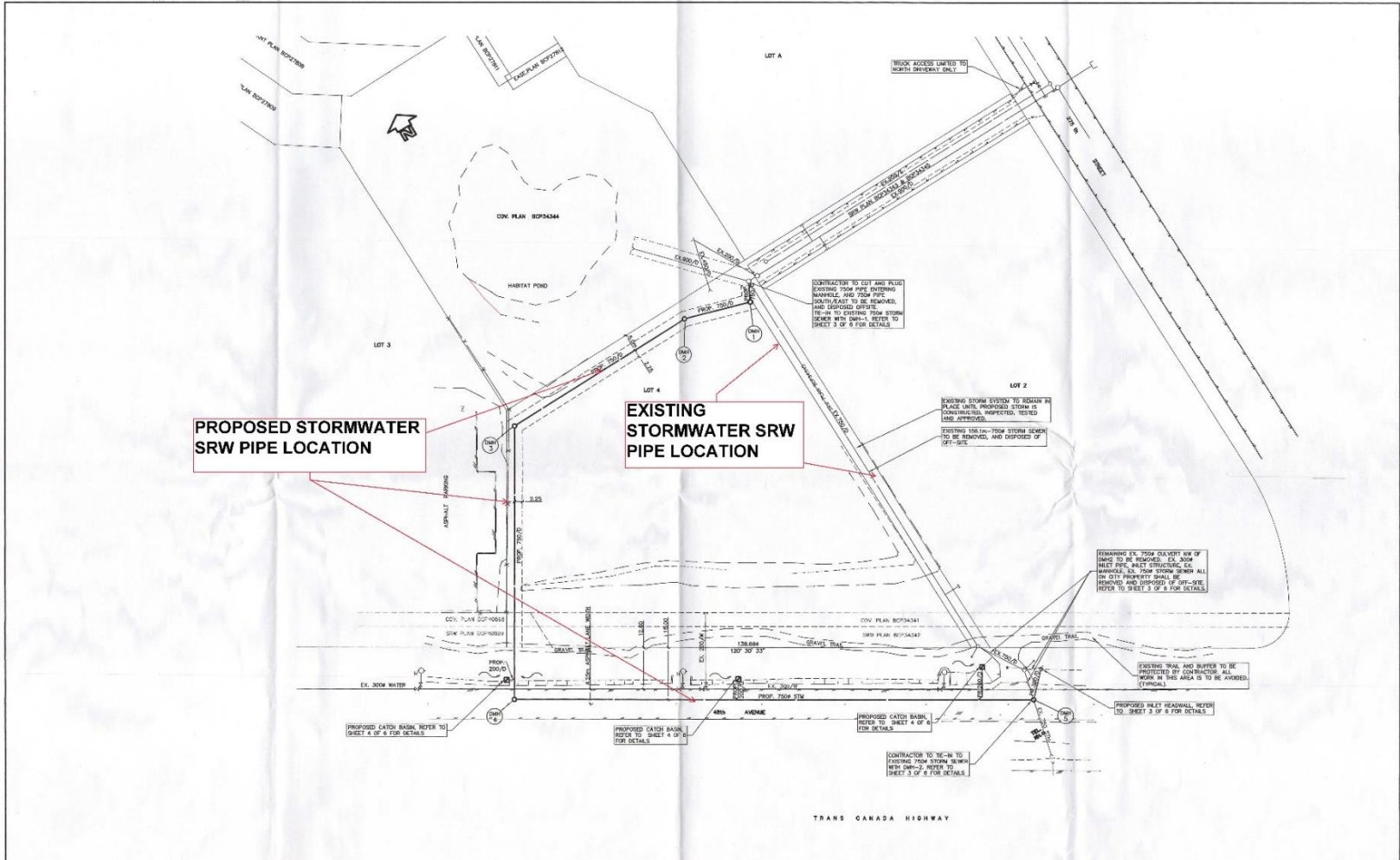
Est. 1873

**DEVELOPMENT PERMIT APPLICATION NO. 100890
(161884 CANADA INC. / BEEDIE DEVELOPMENT
GROUP / 4825 – 275 STREET)**



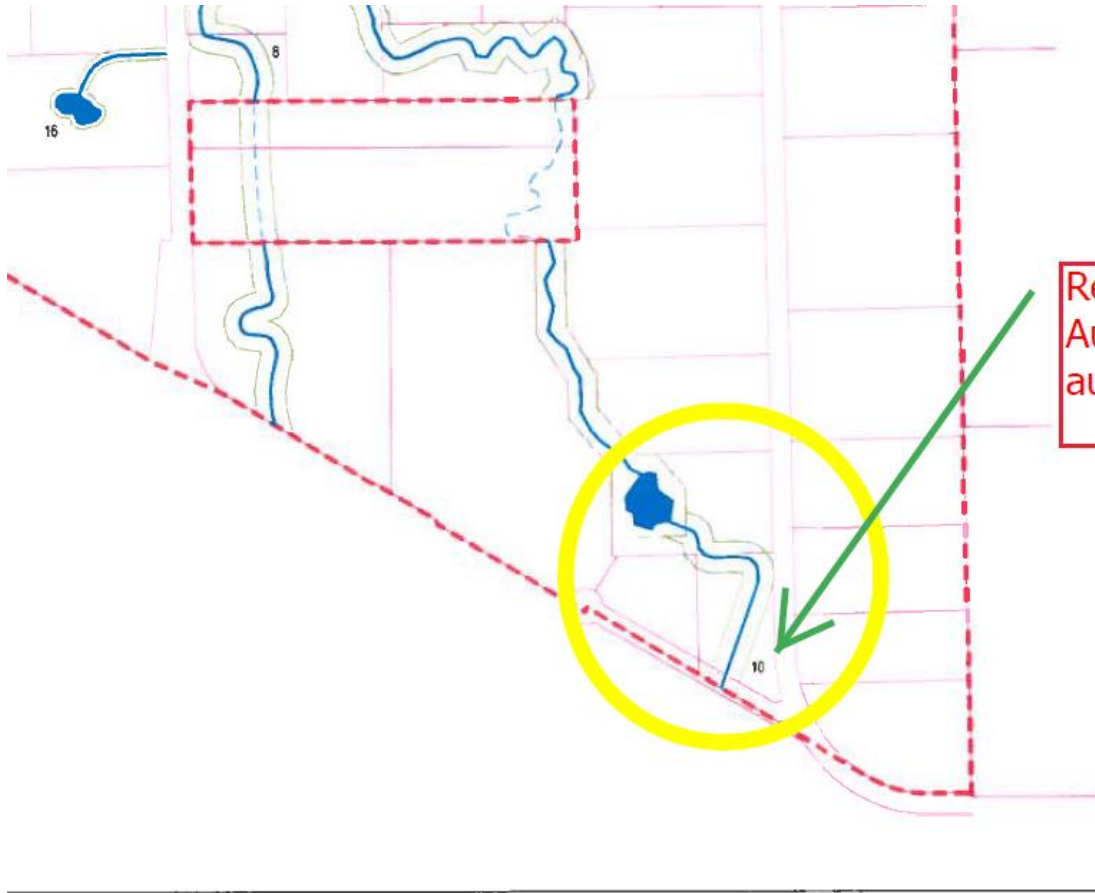


SRW RELOCATION PLAN



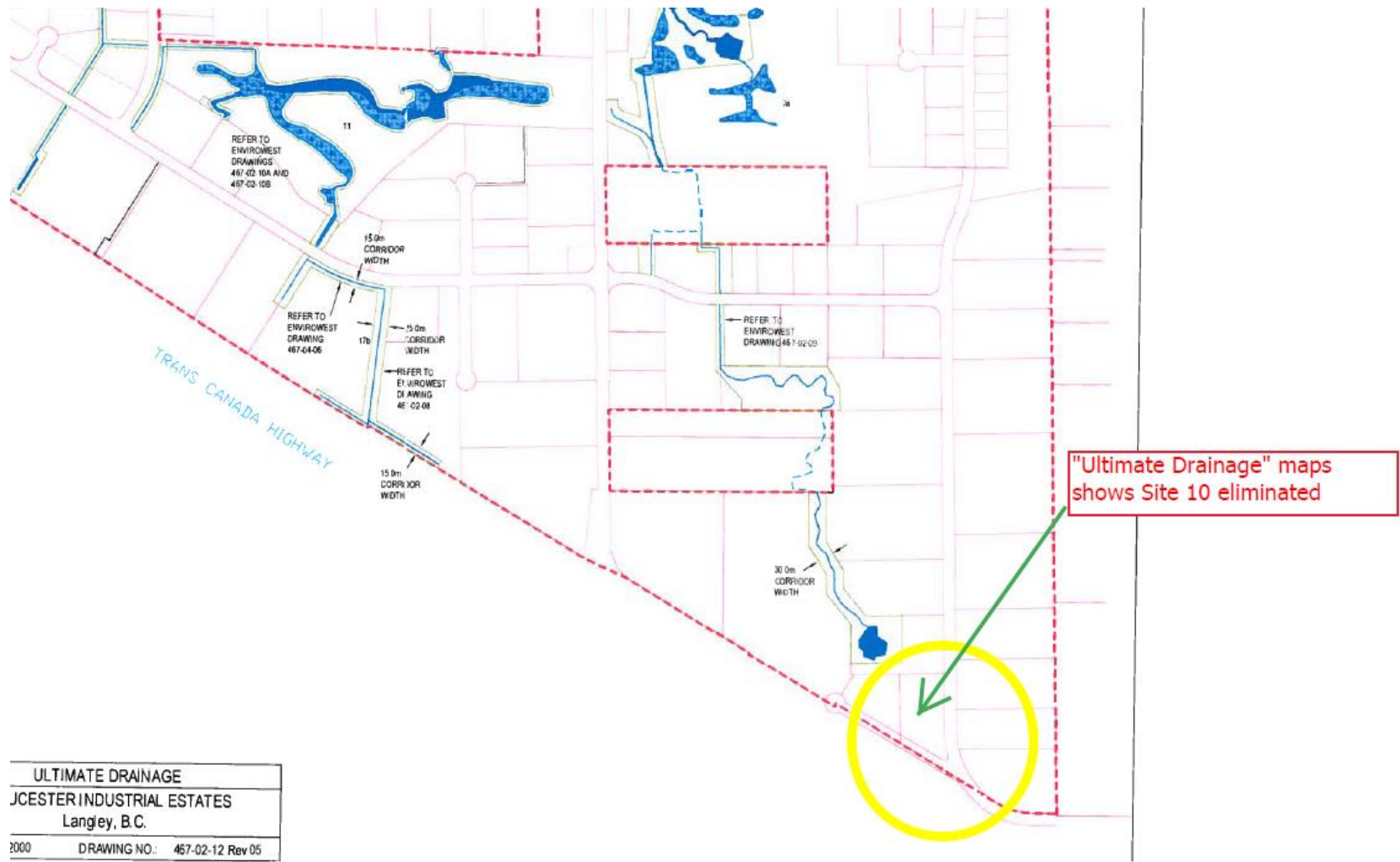
NOTES: CONTRACTOR TO CONTACT TOWN OF LANGLEY ENGINEERING AND DESIGN TO OBTAIN PERMITS AND BE SURE TO CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPROPRIATE REGULATORY ADJUSTMENT.		MONUMENT C.O.M. 807387 SECTION 8, 50' BY 100' NE 1/4 OF 22 STREET AND 48 AVENUE INTERSECTION, LANGLEY		OWNER KERY VENTURES LP 3030 GILMORE DIVISION, BURNABY, BC		ENGINEER DNA David McKinnon - Associates Ltd.		SEAL LARRISSA EMMETT PROFESSIONAL ENGINEER, IN GOOD STANDING IN AND FOR THE PROVINCE OF BRITISH COLUMBIA. HEREBY CERTIFY THAT THE WORKS AS SHOWN ON THE ATTACHED DRAWINGS HAVE BEEN DESIGNED TO GOOD ENGINEERING PRACTICES AND IN COMPLIANCE WITH THE TOWNSHIP OF LANGLEY SUBDIVISION AND DEVELOPMENT CONTROL BYLAWS, EXCEPT AS NOTED BELOW.		REVISIONS <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>REVISIONS</th> </tr> <tr> <td>1</td> <td>10/06/17</td> <td>REVISED PER TOWNSHIP COMMENTS</td> </tr> <tr> <td>4</td> <td>03/01/17</td> <td>REVISED PER TOWNSHIP COMMENTS</td> </tr> <tr> <td>3</td> <td>12/06/16</td> <td>STORM SEWER REVISED</td> </tr> <tr> <td>2</td> <td>6/27/14</td> <td>ISSUED FOR TOWNSHIP REVIEW</td> </tr> <tr> <td>1</td> <td>3/17/14</td> <td>ISSUED FOR CLIENT REVIEW</td> </tr> </table>		No.	Date	REVISIONS	1	10/06/17	REVISED PER TOWNSHIP COMMENTS	4	03/01/17	REVISED PER TOWNSHIP COMMENTS	3	12/06/16	STORM SEWER REVISED	2	6/27/14	ISSUED FOR TOWNSHIP REVIEW	1	3/17/14	ISSUED FOR CLIENT REVIEW	MUNICIPAL PROJECT No. 14-05-0098 The Corporation of the Township of Langley OVERALL STORM SEWER RELOCATION PLAN	
No.	Date	REVISIONS																													
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4	03/01/17	REVISED PER TOWNSHIP COMMENTS																													
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2	6/27/14	ISSUED FOR TOWNSHIP REVIEW																													
1	3/17/14	ISSUED FOR CLIENT REVIEW																													
PLAN DATE: MAR 2014 SCALE: 1:750 WERT: N/A		SHEET NO. 1 of 5		DRAWING FILE NO. 5240 PLAN NO. 13-0000-0 SHEET NO. 1 of 5																											

CIVIL PLAN



Referring to Page 2 of DFO Authorization this is "Site 10" authorized for elimination

DFO AUTHORIZATION



DFO AUTHORIZATION

From: Ian Whyte <whyte@envirowest.ca>
Sent time: 12/08/2017 12:16:44 PM
To: jason.tonin@beediigroup.ca; Ramin Seifi
Cc: Stephen Richardson; Robert Knall; Rod Shead
Subject: RE: Development Permit 100890
Attachments: image002.png image003.jpg

Hi Ramin,

I will provide you with responses no later than 10 AM on Monday.

Ian

From: Ramin Seifi [mailto:rseifi@tol.ca]
Sent: Friday, December 08, 2017 11:33 AM
To: Ian Whyte; jason.tonin@beediigroup.ca
Cc: Stephen Richardson; Robert Knall; Rod Shead
Subject: Development Permit 100890

Further to recent communications, relating to the subject, I understand the following questions may be raised by Council on Monday Dec. 11, if the matter is approved for re-consideration:

1. Does West Creek water flow from south of Highway 1 and through the ROW/pipe in question.

2. Are there Salmonid present on the south side of Highway 1, ultimately travelling through this ROW.

3. Are these Salmonid going to be able to traverse the relocated and extended ROW/Pipe?

4. Is the proposed ROW relocation going to have any negative impact to the Red Coded West Creek on the North side?

5. Given that the TOL hold grantee status on the ROW is there any reason to NOT request that the DFO and MOE are formally made aware by the TOL of the ROW relocation?

6. Given the stated overall value of West Creek by all parties(LEPS, West Creek Awareness, TOL documents, Beedie Development, Envirowest,etc) why would all efforts not be made to ensure its value/health moving forward?

Any comments you may wish to provide would be appreciated.

Thanks

Ramin Seifi, P. Eng., MCIP, RPP, R.I.

General Manager | Engineering and Community Development

Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

Direct Line: 604.533.6050

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<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>



Ian W. Whyte, P.Ag.
Director

office: 604-944-0502 ext. 1
cellular: 604-240-2139
facsimile: 604-944-0507

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2

enviowest consultants inc.

www.enviowest.ca

From: Rod Shead
Sent time: 12/18/2017 10:15:05 AM
To: bev.funk@dfo-mpo.gc.ca
Subject: Gloucester (Township of Langley) Information
Attachments: 2017 12 04 Council Memo re Beedie incl Attachments.pdf

Bev,

As discussed, information regarding works at the Beedie property (275 Street & 48 Avenue) in the Gloucester area of the Township is attached. This was a memo that staff prepared for Mayor and Council in response to works at the site.

Call if you or other DFO staff require additional information.

Thanks.

Rod Shead, RPBio, PAg

Development Planning

Environmental Coordinator II

Township of Langley 20338-65 Avenue, Langley, BC V2Y 3J1

From: Rod Shead
Sent time: 11/14/2017 11:39:03 AM
To: Joel Nagtegaal
Subject: Gloucester Project No. 14-05-0098 - Watercourse Background Information
Attachments: Gloucester Watercourses (14-05-0098).pdf

Joel,

Regarding Project 14-05-0098, a watercourse had traversed lands encompassing the project site. As part of a DFO Authorization issued in 2000, the watercourse was eliminated and air photos indicate the elimination was completed between 2005 and 2008. The existing wetland was to be protected. The attached shows DFO maps and air photos of pre- and post- watercourse elimination.

Note the eliminated watercourse was placed in a pipe and directed toward the wetlands and that pipe traversed the middle of the project site. As part of recent development of the site, I understand that piped flows are being relocated to the perimeter of the site to accommodate the intended land use.

Hope this helps.

Rod Shead, RPBio, PAg

Development Planning

Environmental Coordinator II

Township of Langley 20338-65 Avenue, Langley, BC V2Y 3J1

604.533.6090 ext. 3436 | rshhead@tol.ca | www.tol.ca

From: Joel Nagtegaal
Sent time: 04/27/2017 01:14:10 PM
To: Rod Shead
Subject: Project No. 14-05-0098 | 275 Street / 48 Ave | Gloucester
Attachments: 275th & 48th.pdf image001.jpg

Hi Rod,

Further to our conversation, see attached site plan for a proposed industrial development at 275 Street and 48 Avenue in Gloucester.

As part of the development, the applicant is proposing to consolidate two lots.

It appears that there is a waterbody on the north portion of one of the western parcel. The application mentions this area was perhaps protected by an RC with a previous rezoning process (?).

Could you confirm what streamside requirements ToL would have for this development?

Thanks,

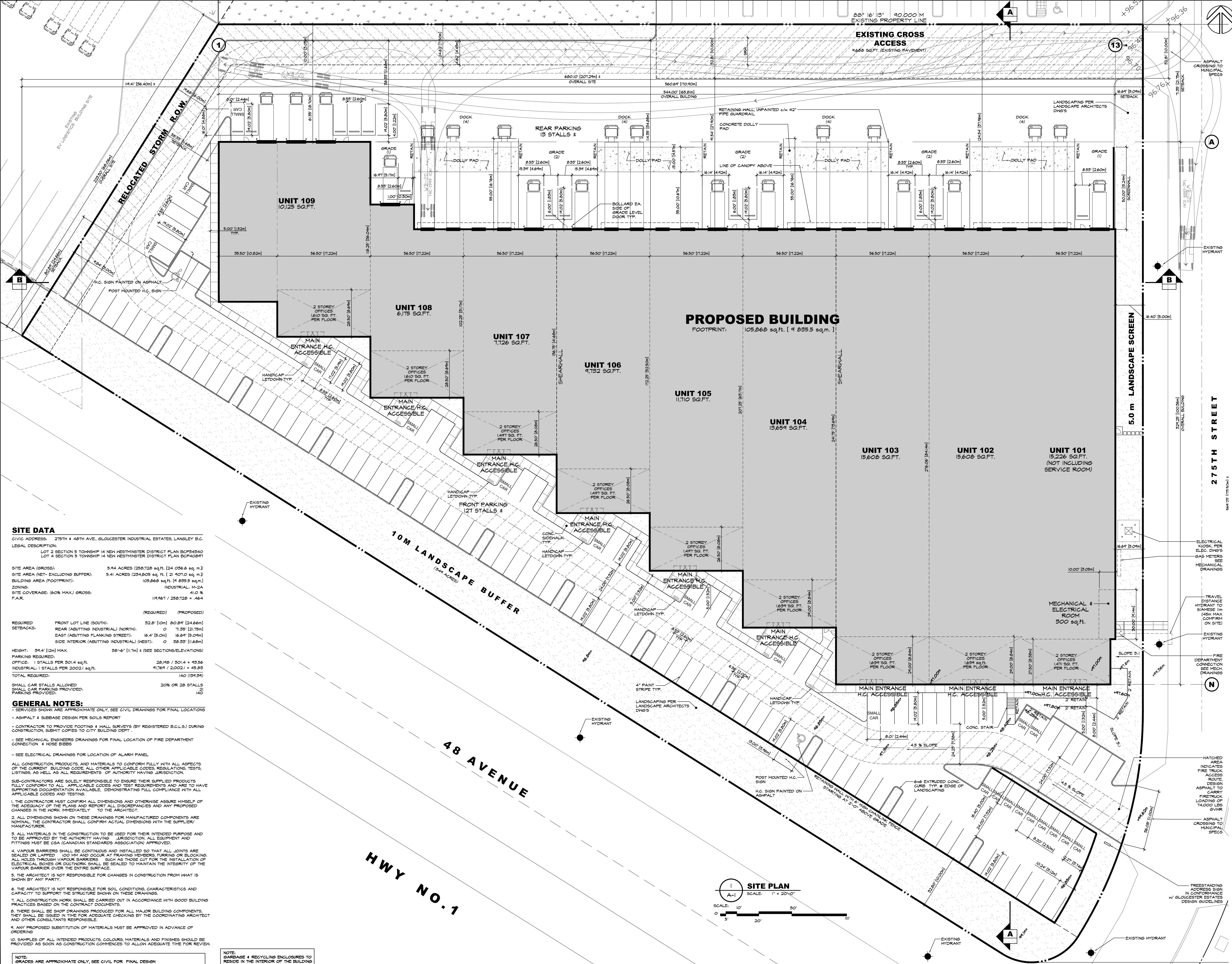
Joel Nagtegaal | Planner

Community Development | Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

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SITE DATA

CIVIC ADDRESS: 275TH & 48TH AVE., GLOUCESTER INDUSTRIAL ESTATES, LANGLEY B.C.
 LEGAL DESCRIPTION: LOT 2 SECTION 5 TOWNSHIP 14 NEA WESTMINSTER DISTRICT PLAN BC634340
 LOT 4 SECTION 5 TOWNSHIP 14 NEA WESTMINSTER DISTRICT PLAN BC640847

SITE AREA (GROSS): 5.44 ACRES (234,828 sq. ft. [24,056.8 sq. m])
 SITE AREA (NET EXCLUDING BUFFER): 5.41 ACRES (234,808 sq. ft. [24,040.4 sq. m])
 BUILDING AREA (FOOTPRINT): 105,868 sq. ft. (1,895.5 sq. m)
 ZONING: INDUSTRIAL M-2A
 SITE COVERAGE (60% MAX) GROSS: 41.0 %
 F.A.R.: 119.467 / 289,728 = .464

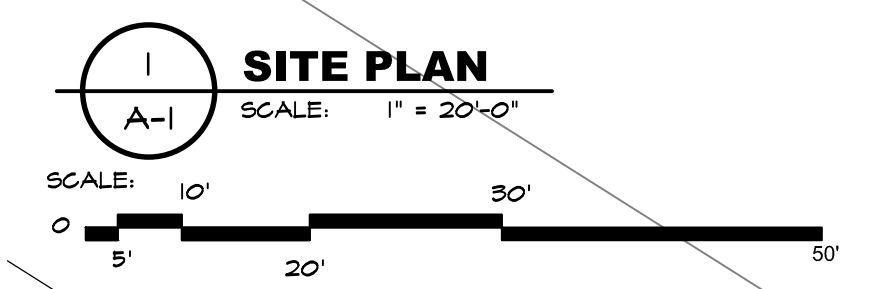
	(REQUIRED)	(PROPOSED)
FRONT LOT LINE (SOUTH)	32.8' (10m)	80.84' (24.66m)
REAR (ABUTTING INDUSTRIAL) (NORTH)	0	71.95' (21.75m)
EAST (ABUTTING FLANKING STREET)	16.4' (5.0m)	16.64' (5.09m)
SIDE INTERIOR (ABUTTING INDUSTRIAL) (WEST)	0	59.53' (18.05m)

HEIGHT: 35'-4" (10.8m) MAX. 35'-6" (11.1m) ± (SEE SECTIONS/ELEVATIONS)

PARKING REQUIRED:
 OFFICE: 1 STALLS PER 501.4 sq. ft. 20,148 / 501.4 = 40.18
 INDUSTRIAL: 1 STALLS PER 2002.1 sq. ft. 41,764 / 2,002.1 = 20.85
 TOTAL REQUIRED: 140 (134.94)

SMALL CAR STALLS ALLOWED: 20% OR 28 STALLS
 SMALL CAR PARKING PROVIDED: 28

- GENERAL NOTES:**
- SERVICES SHOWN ARE APPROXIMATE ONLY, SEE CIVIL DRAWINGS FOR FINAL LOCATIONS
 - ASPHALT & SUBBASE DESIGN PER SOILS REPORT
 - CONTRACTOR TO PROVIDE FOOTING & WALL SURVEYS (BY REGISTERED B.C.L.S.) DURING CONSTRUCTION. SUBMIT COPIES TO CITY BUILDING DEPT.
 - SEE MECHANICAL ENGINEERS DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & HOSE BIBBS
 - SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL
 - ALL CONSTRUCTION PRODUCTS AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE CURRENT BUILDING CODE, ALL OTHER APPLICABLE CODES, REGULATIONS, TESTS, LISTINGS, AS WELL AS ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
 - SUB-CONTRACTORS ARE SOLELY RESPONSIBLE TO ENSURE THEIR SUPPLIED PRODUCTS FULLY CONFORM TO ALL APPLICABLE CODES AND TEST REQUIREMENTS AND ARE TO HAVE SUPPORTING DOCUMENTATION AVAILABLE, DEMONSTRATING FULL COMPLIANCE WITH ALL APPLICABLE CODES AND TESTING.
 - THE CONTRACTOR MUST CONFIRM ALL DIMENSIONS AND OTHERWISE ASSURE HIMSELF OF THE ACCURACY OF THE PLANS AND REPORT ALL DISCREPANCIES AND ANY PROPOSED CHANGES IN THE WORK IMMEDIATELY TO THE ARCHITECT.
 - ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL. THE CONTRACTOR SHALL CONFIRM ACTUAL DIMENSIONS WITH THE SUPPLIER/MANUFACTURER.
 - ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. ALL EQUIPMENT AND FITTINGS MUST BE CSA (CANADIAN STANDARDS ASSOCIATION) APPROVED.
 - VAPOUR BARRIERS SHALL BE CONTINUOUS AND INSTALLED SO THAT ALL JOINTS ARE SEALED OR LAPPED 100 MM AND OCCUR AT FRAMING MEMBERS, PURLING OR BLOCKING. ALL HOLES THROUGH VAPOUR BARRIERS SUCH AS THOSE CUT FOR THE INSTALLATION OF ELECTRICAL BOXES OR DUCTWORK SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VAPOUR BARRIER OVER THE ENTIRE SURFACE.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.
 - ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
 - THERE SHALL BE SHOP DRAWINGS PROVIDED FOR ALL MAJOR BUILDING COMPONENTS. THEY SHALL BE ISSUED IN TIME FOR ADEQUATE CHECKING BY THE COORDINATING ARCHITECT AND OTHER CONSULTANTS RESPONSIBLE.
 - ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF ORDERING.
 - SAMPLES OF ALL INTENDED PRODUCTS, COLOURS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES TO ALLOW ADEQUATE TIME FOR REVIEW.
- NOTE: GRADES ARE APPROXIMATE ONLY, SEE CIVIL FOR FINAL DESIGN
- NOTE: GARBAGE & RECYCLING ENCLOSURES TO RESIDE IN THE INTERIOR OF THE BUILDING



Beedie | Development Group
 3030 GILMORE DR. S.W. RICHMOND, B.C. V6V 3B4
 TEL: (604) 435-3321 FAX: (604) 432-7549

CHIP BARRETT ARCHITECT
 1169-2-2228 - 602-551-5URRETT@C.A. V3Z 6P4
 IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
 TEL: (604) 607-5655 EMAIL: DARC@DFORCE.CA

The drawing is an instrument of service in the property of Chip Barrett Architect and may not be reproduced without written permission and unless the reproduction carries the name of the architect and other information shown on the drawing and not be used on other projects for the project by others without written permission of Chip Barrett Architect.

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4	MAR.03.17	ISSUED FOR DEVELOPMENT PERMIT
3	FEB.24.17	CLIENT USE
2	FEB.17.17	CLIENT REVIEW
1	NOV.17.16	CLIENT REVIEW

PROJECT: PROPOSED BUILDING: **275TH MULTI**

ADDRESS: GLOUCESTER ESTATES, LANGLEY, BC

DRAWING: **SITE PLAN**

SEAL	JOB NO.	DRAWN
	16-056	D.F.
	DESIGNED	
	CHECKED	
	PLOT DATE	MAR.21.17

PROJECT - DRAWING NUMBER: **A-1** REV. **5**

From: Stephen Richardson
Sent time: 12/18/2017 09:51:54 AM
To: Rod Shead
Subject: RE: Memo for DFO Gloucester follow up
Attachments: 2017 12 04 Council Memo re Beedie incl Attachments.pdf image001.png image003.jpg

Good morning Rod:

Requested memo attached.

Best regards - Stephen

Stephen Richardson | Director - Development Services | Township of Langley

T 604.533.6042 | F 604.533.6110 | 20338 - 65 Avenue Langley, BC V2Y 3J1 | www.tol.ca

From: Rod Shead
Sent: Monday, December 18, 2017 9:29 AM
To: Stephen Richardson <srichardson@tol.ca>
Subject: Memo for DFO Gloucester follow up

I have a phone message from a DFO Fishery Office asking for some background information regarding the Beedie project at 275 St & 48 Avenue where the storm pipe is being relocated. The memo you prepared for Council provides all of the relevant information and I would like to send that to DFO. If you are OK with me sending it to DFO can you send me a copy of that memo. Thanks.

Rod Shead, RPBio, PAg

Development Planning

Environmental Coordinator II

Township of Langley 20338-65 Avenue, Langley, BC V2Y 3J1

604.533.6090 ext. 3436 | rshhead@tol.ca | www.tol.ca



MEMORANDUM

TO: MAYOR AND COUNCIL **DATE:** DECEMBER 4, 2017
FROM: COMMUNITY DEVELOPMENT DIVISION **FILE NO:** 14-05-0098
SUBJECT: **DEVELOPMENT PERMIT APPLICATION NO. 100890**
(161884 CANADA INC. / BEEDIE DEVELOPMENT / 4825 - 275 STREET)

The purpose of this memorandum is to provide Mayor and Council with information regarding Development Permit No. 100890 to permit the construction of a 9,835 m² (105,868 ft²) industrial building including accessory office space located at 4825 - 275 Street in Gloucester.

As noted in the November 6, 2017 report to Council: *“As part of the application, the applicant has proposed to relocate an existing Statutory Right of Way and storm sewer. The north portion of the site includes a bio filtration/detention pond constructed in 2007 as part of the overall DFO compensation for the Gloucester Industrial Park. A non-disturbance restrictive covenant was registered on the property in 2008 to protect the pond.”*

The modification to the Statutory Right of Way (SRW) pertains to relocation of a stormwater pipe, that conveys stormwater flows. A tributary of West Creek exists (classified as Class B) south of Highway No. 1 with flow from that watercourse piped until it is received in the pond at the northerly portion of the subject site. The pond and flow outlet point have been constructed in compliance with Department of Fisheries and Oceans (DFO) and Township’s Streamside Protection provisions and are respected by the subject application.

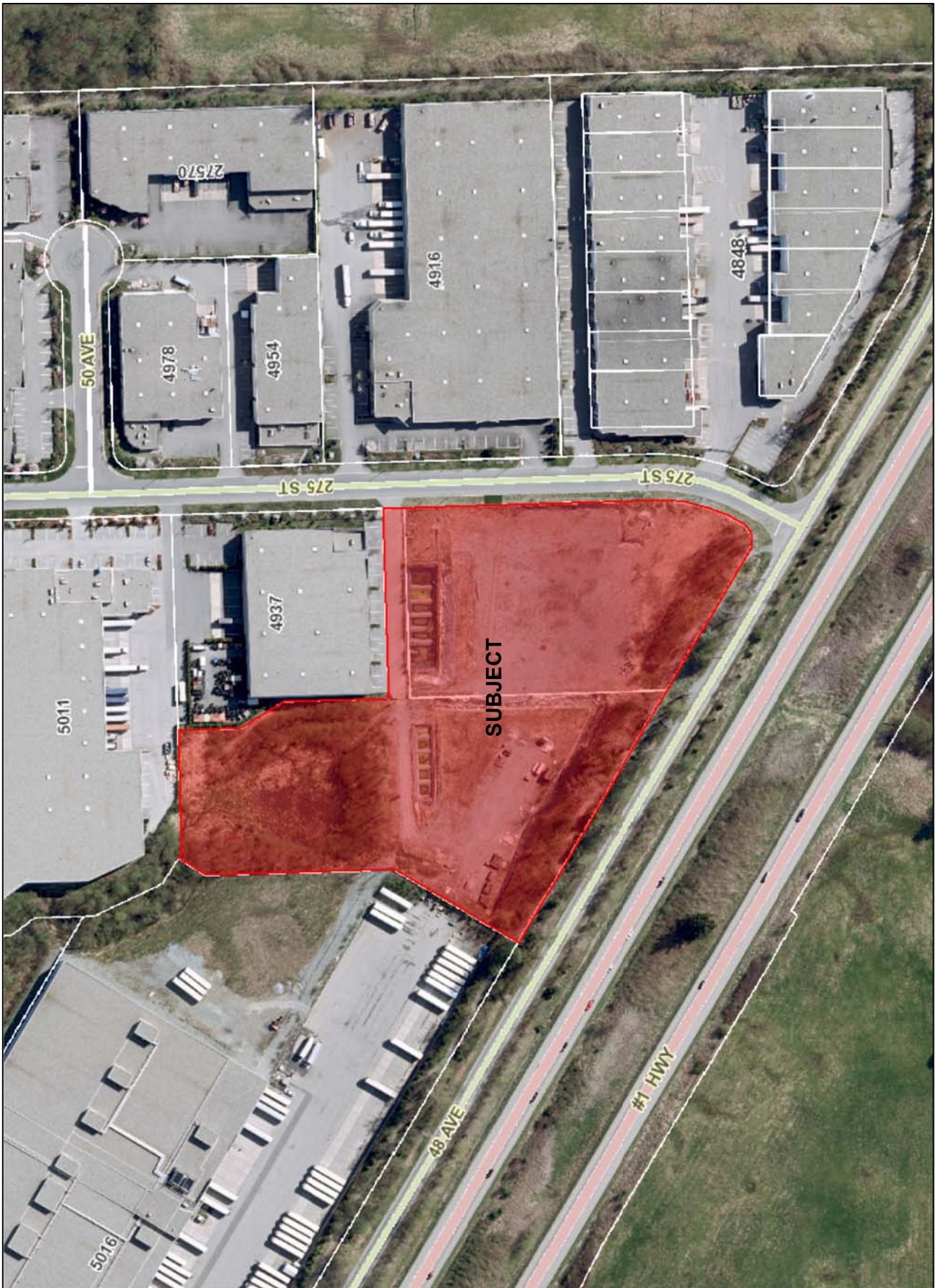
A November 24, 2017 Langley Environmental Partners Society (LEPS) letter states: *“This channelized creek is actually one of the main branches of West Creek, draining upstream agricultural lands, as well as the highway. The creek is Class B or yellow coded according to the Township of Langley’s Watercourse Classification map; yellow coded streams are significant source of food, nutrient or cool water to salmon populations downstream.”*

The watercourse identified in the LEPS letter was authorized for elimination by DFO pursuant to an August 27, 2000 DFO authorization (see attached) and eliminated between 2005 to 2008. Consistent with the authorization, the flows were piped with a SRW registered at that time. The pipe and associated SRW is proposed to be relocated as part of the subject application.

In addition, the proponents’ Qualified Environmental Professional (QEP) has provided a letter (copy attached) stating: ***“In conclusion, we confirm that there is no stream on the subject property and that the Township is entirely within their jurisdiction to allow realignment of the storm sewer through the property.”***

Attachment A	Aerial Site Photo
Attachment B	Site Plan
Attachment C	Civil Plan
Attachment D	SROW Relocation Plan
Attachment E	Restrictive Covenant non-disturbance area
Attachment F	November 24, 2017 Langley Environmental Partners Society (LEPS) letter
Attachment G	August 27, 2000 DFO authorization
Attachment H	Envirowest Consultants Inc. letter dated November 30, 2017

Attachment A



Attachment B



Beedie
3256 GILMORE PARKWAY, BURNABY V5C 2M4
TEL: (604) 427-2277 FAX: (604) 427-7249

CHIP BARETT ARCHITECT
2024 ALVING DRIVE, WEST VANCOUVER, B.C. V8S 2A5
TEL: (604) 273-8888 FAX: (604) 273-8889

D.FORGE DESIGN INC.

NO.	DATE	DESCRIPTION
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2751TH AND 48TH SPEC

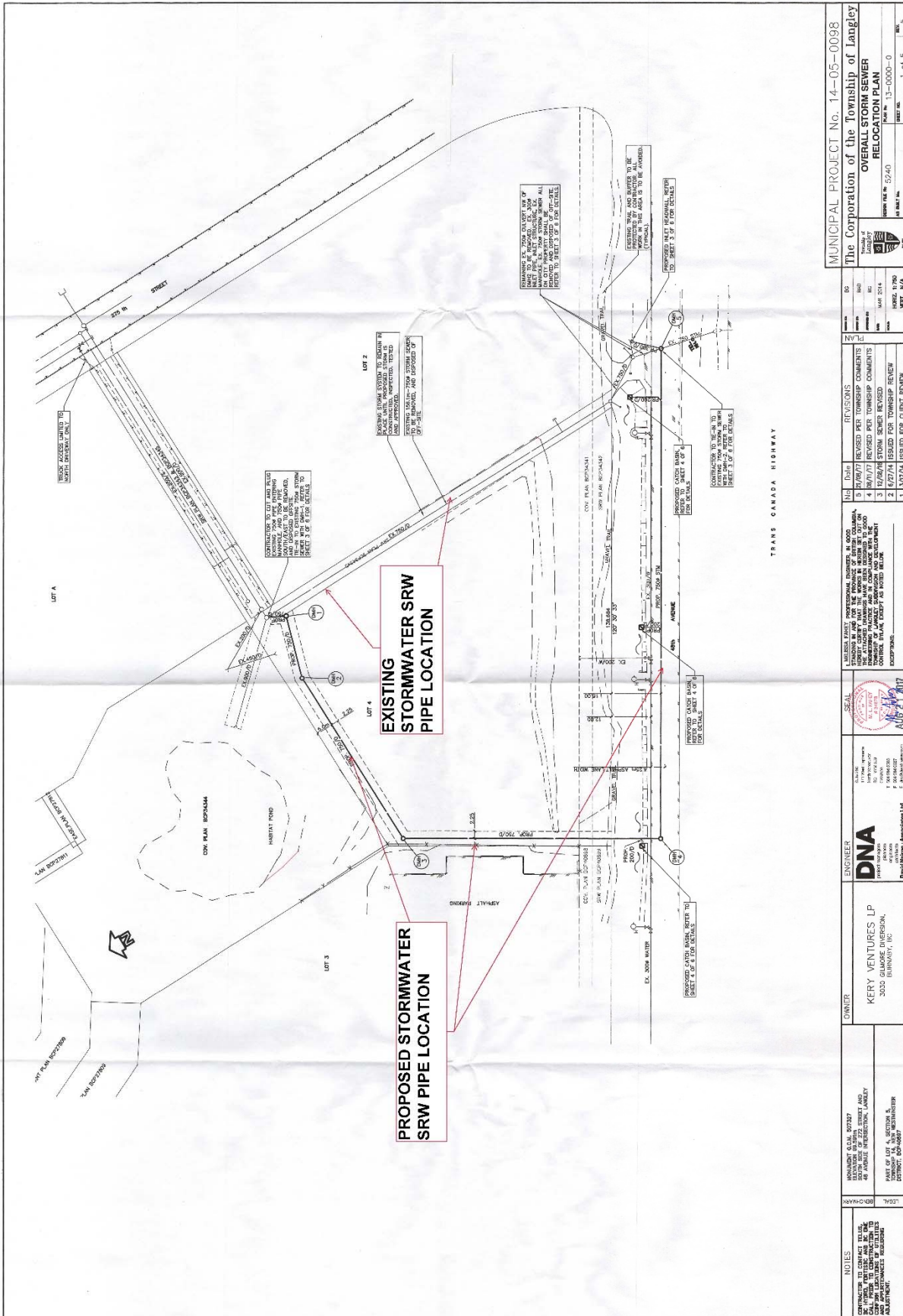
SITE PLAN

PROJECT: 2751TH AND 48TH
NO. 15
A-1

SITE DATA
LEGAL DESCRIPTION: [Detailed description of the site's location and boundaries]

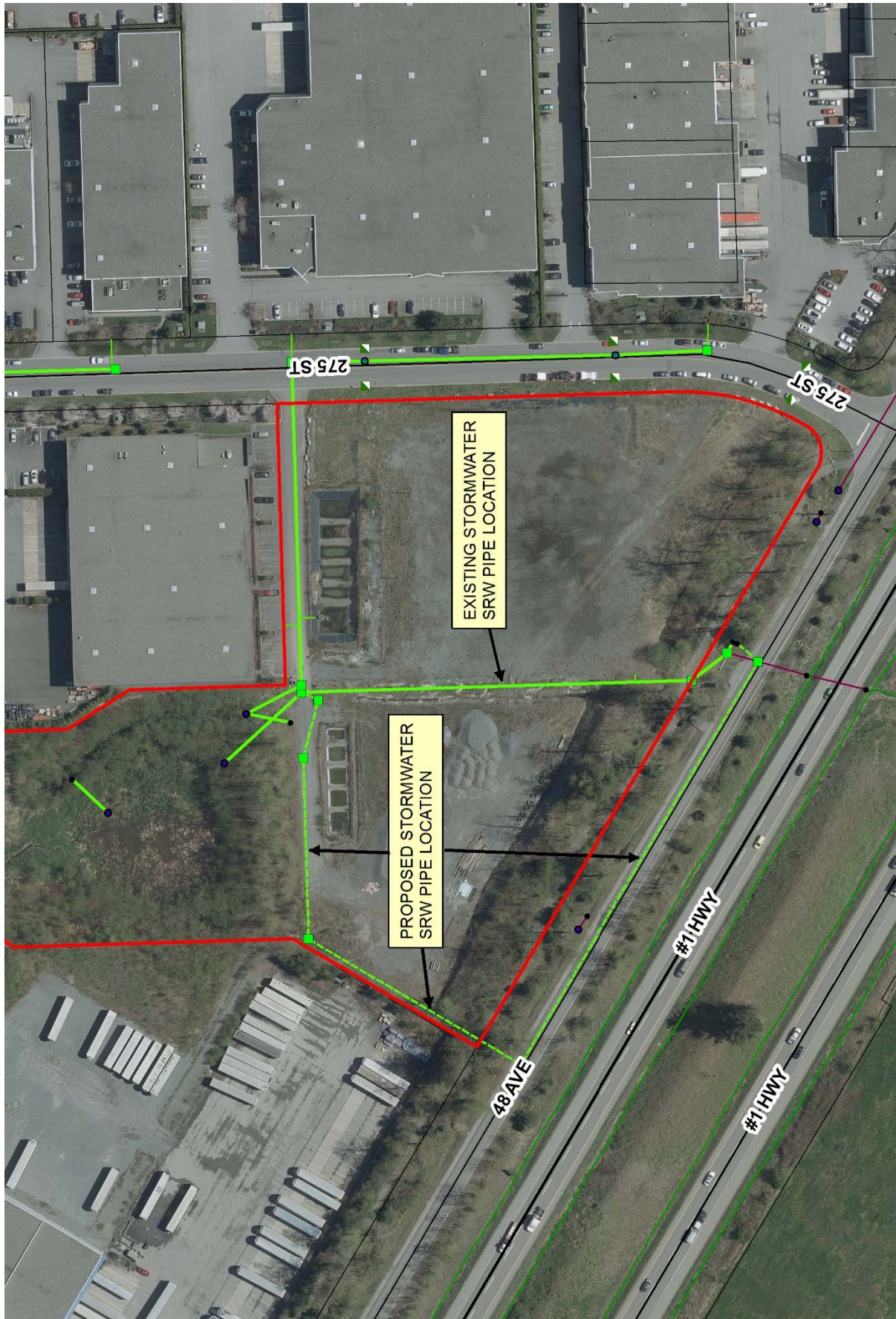
GENERAL NOTES:
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
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Attachment C



NOTES 1. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE OVERALL STORM SEWER RELOCATION PLAN. 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED. 5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PIPE UNLESS OTHERWISE SPECIFIED. 6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE SPECIFIED. 7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED. 8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED. 9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED. 10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LOT UNLESS OTHERWISE SPECIFIED.		OWNER KERY VENTURES LP 3000 BURNHAMPTON ROAD BURNHAMPTON, NS B3N 1A1		ENGINEER DNA 1000 BURNHAMPTON ROAD BURNHAMPTON, NS B3N 1A1		SCALE AS SHOWN AUG 2, 2017		REVISIONS NO. DATE REVISIONS 1 12/07/17 ISSUED FOR TOWNSHIP REVIEW 2 12/07/17 ISSUED FOR TOWNSHIP REVIEW 3 12/07/17 ISSUED FOR TOWNSHIP REVIEW 4 12/07/17 ISSUED FOR TOWNSHIP REVIEW		MUNICIPAL PROJECT No. 14-05-0098 The Corporation of the Township of Langley OVERALL STORM SEWER RELOCATION PLAN SHEET NO. 13-0000-0 SHEET NO. 1 OF 5	
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Attachment D



Attachment F**LANGLEY ENVIRONMENTAL PARTNERS SOCIETY**

#201- 4839- 221 Street, Langley, B.C. Canada V3A 2P1 (604) 532.3511

Revenue Canada Charitable Number: 14057 9962 RR 0001

www.leps.bc.ca

November 24, 2017

RE: Development Permit Application No. 100890 (161884 Canada Inc. / Beedie Development Group / 4825 275 St.)

To: Mayor and Council;

We wish to alert you to information regarding the Class B creek that has been omitted from the development permit application No. 100890 (please refer to attached map). This application came before council on November 6. The application refers to the modification of "Statutory Right of Way BB184653 (Plan BCP 34343)" (page 2, item f., under "... *the following items will need to be finalized*") but does not note the stream classification.

We are concerned that the omission of this information could have adverse impacts to West Creek and upstream habitat.

This channelized creek is actually one of the main branches of West Creek, **draining upstream agricultural lands, as well as the highway**. The creek is **Class B or yellow coded** according to the Township of Langley's Watercourse Classification map; yellow coded streams are significant source of food, nutrient or cool water to salmon populations downstream. Yellow coded streams require a 20m setback from both banks (Township of Langley's Streamside Protection Regulation):

<https://webfiles.tol.ca/CommDev/Brochures/Streamside%20Protection%20&%20Enhancement%20Brochure.pdf>).

This creek enters a Class A or red coded (salmon bearing) stream only 160m downstream of this development permit area.

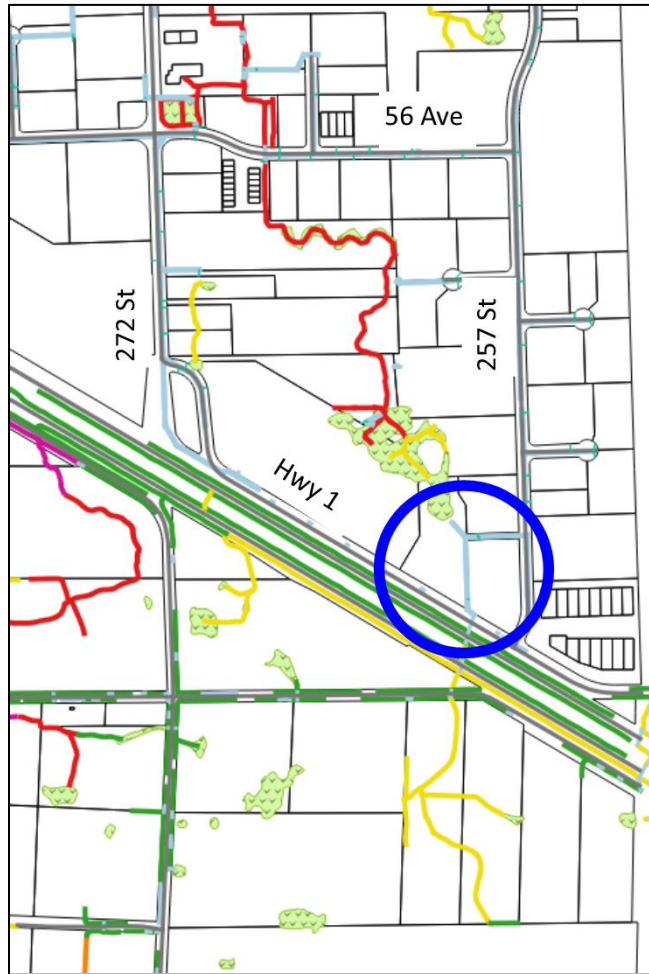
It is our hope that in sharing this information, the creek will be considered with due respect as a nutrient value stream and an important section of West Creek.

Sincerely,

Tracy Stobbe
Chair, LEPS Board of Directors

Encl. Stream details up and downstream of application property

Stream details up and downstream of application property:
(source: Township of Langley's online mapping system, Geosource)



Blue circle indicates the properties associated with this application, please note Class B stream south of Hwy 1 that flows under the highway and 48 Ave to these properties.

Attachment GPêches
et Océans**Authorization # 99-HPAC-PA2-000-000217**
MELP File #A2004880**AUTHORIZATION FOR WORKS OR UNDERTAKINGS AFFECTING FISH HABITAT**

Authorization issued to:

Name: 161884 Canada Inc.: Gloucester Industrial Estates (herein also referred to as "Gloucester")

Address: 310 - 1001 West Broadway, Vancouver, BC V6H 4B1

Contact: Mr. Dave Gormley

Telephone: (604) 856-3156

Facsimile No: (604) 856-3384

Location of Project:

Tributaries to West and Nathan creeks within the Gloucester Industrial Estates in Langley, generally encompassing lands north of the Trans-Canada Highway, west of the Langley-Abbotsford boundary, east of 264th Street and south of 60th Avenue.

Valid Authorization Period:

The valid authorization period for the harmful alteration associated with various land development activities is from 01 May, 2000 through 15 September, 2005.

As specified herein, this document only authorizes the destruction of the fish habitat and associated compensatory works until 15 September, 2005. If any phase of the project is not completed by that date, such that fish habitat may be affected, a new application pursuant to Section 35(2) of the Fisheries Act may be required. Should this Authorization expire without the works proceeding, and no alterations to the project design or DFO policy, legislation and/ or guidelines have occurred, an amendment for an extension to this authorization may be considered.

Description of Works or Undertakings:

The harmful alteration hereby authorized includes a number of undertakings which are listed below and numerically referenced to a plan of existing drainage (refer to ECL Drawing No. 467-02-11, Rev. 03, attached in Appendix A).

In the Northeast Quadrant of the development -

- Site 1. realignment and permanent elimination of riparian vegetation associated with the fisheries sensitive zone (i.e. relaxation of the setback boundary) adjacent to a watercourse;
- Site 2. elimination of a watercourse; and,
- Site 3. elimination of a ravine, elimination of a portion of a wetland, and permanent elimination of riparian vegetation associated with the fisheries sensitive zone (i.e. relaxation of the setback boundary) adjacent to a wetland.

In the Southeast Quadrant of the development -

- Site 8. elimination of a watercourse;
- Site 9. realignment of a watercourse;
- * Site 10. elimination of a watercourse; and,
- Site 23. elimination of 5 m of watercourse.

Site 10 is shown on the "Existing Drainage" map (see page 14). The "Ultimate Drainage" map (page 15) shows the watercourse no longer present.

In the Southwest Quadrant of the development -

- Site 11. elimination of a watercourse;
- Site 12. elimination of a watercourse;
- Site 13. elimination of a pond;
- Site 14. elimination of a pond;
- Site 15. elimination of a pond;
- Site 16. elimination of a pond and watercourse;
- Site 17. realignment of a watercourse;
- Site 18. elimination of a watercourse;
- Site 19. elimination of a pond and watercourse;
- Site 20. elimination of a pond;
- Site 21. elimination of riparian vegetation; and,
- Site 22. elimination of a watercourse.

These works are more specifically described in the following submissions and drawings:

Appendices:

- a). Appendix A: ECL Envirowest Consultants Limited (ECL) Drawing No. 467-02-11, Revision 03 entitled "Existing Drainage" dated May 2000, and ECL Dwg No. 467-02-12, Revision 05 entitled "Ultimate Drainage", dated May 2000;
- b). Appendix B: Habitat balance prepared by ECL;
- c). Appendix C: The application for Environmental Review submitted by ECL on behalf of

161884 Canada Inc., dated June 8, 1999;

- d). ✓ Appendix D: ECL Drawing Nos.:
- ✓ 467-06-01R (dated March 1999);
 - ✓ 467-02-09, Revision 00 (dated April 12, 1999);
 - ✓ 467-04-06, Revision 01 (dated August 27, 1998);
 - ✓ 467-02-08, Revision 01 (dated September 13, 1999);
 - ✓ 467-02-10A, Revision 01 (dated August 9, 1999);
 - ✓ 467-02-10B, Revision 01 (dated August 9, 1999);
 - ✓ 467-02-13, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-14, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-15, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-16, Revision 00 (dated May 8, 2000);
 - ✓ 467-02-17, Revision 00 (dated May 8, 2000).
- e). Appendix E: Aplin & Martin Consultants Ltd. Drawing Nos. 96025SR-1, Revision 1; 96025SR-2, Revision 2; and 96025SR-3, Revision 2, all dated May 1997;
- f). Appendix F: Hunter Laird Engineering Ltd. Job No. 4518, Sheets 9 of 14 and 10 of 14, both Revision A and dated July 29, 1999.
- g). Appendix G: Copies of Letters of Credit totalling \$100,000.00 and the Letter of Credit Reduction Schedule;
- h). Appendix H: Copies of the restrictive covenant documents, registered in favour of the BC Ministry of Environment, Lands and Parks under Section 219 of the provincial Land Titles Act;
- i). Appendix I: Gloucester Industrial Estates 1998 Stormwater Management Plan: Final Report by Stantec Consulting Ltd.

Schedules:

Schedule A: DFO/ MELP Riparian Planting Guidelines.

Conditions of Authorization:

1. Gloucester confirms that all plans and specifications relating to this Authorization have been duly prepared and reviewed by appropriate professionals working on behalf of Gloucester. Gloucester acknowledges that it is solely responsible for all design, safety and workmanship aspects of all of the works associated with this Authorization.
2. Gloucester confirms that the location and general design of the works are to be consistent with the information provided to the agencies and that any material deviations from such designs must be reviewed and approved by all agencies having jurisdiction in this matter.
3. The conditions of this Authorization notwithstanding, DFO may at any time and at their

sole discretion, direct the Gloucester and/ or their agents and/ or contractors, to suspend or alter any work or activity associated with this project, to avoid or mitigate adverse impacts to fisheries resources. Further, DFO may at any time and at their sole discretion direct the Gloucester and/ or their agents and/ or their contractors, to carry out at the Gloucester's own expense any works or activities deemed necessary by DFO to avoid or mitigate adverse impacts to fisheries resources.

4. DFO must be notified of any future modifications to the existing drawings referred to in this Authorization and upon notification, may require plans and specifications to review and/ or approve prior to any work commencing.

Conditions that relate to works in or near watercourses:

5. Instream works may only be undertaken during the period between 01 August and 15 September of any year of this development. Any extensions to the work window will be considered on a case by case basis (season and weather dependent) and must have approval for extension from DFO and/ or MELP. An environmental monitor must be present full time during all instream works, unless otherwise agreed to by DFO and/ or MELP. The environmental monitor must have the authority to alter or halt works should they feel the works are detrimental to fisheries resources. Gloucester must provide a copy of the written authority, providing the name of the environmental monitor, contact number and a brief outline of relevant experience related to the proposed works to DFO, MELP and the Township.
6. All other works within the fisheries sensitive zones (i.e. setback areas) must be monitored daily during construction and during or following any storm event which may occur during the construction phase.
7. The environmental monitor must have experience in stream construction or restoration as well as sediment and erosion control.
8. All instream work must be undertaken and completed in isolation of flowing water. Generally, this is accomplished by diverting, enclosing or pumping the water around the work site. Flow to downstream portions of the stream must not be cut off at any time during construction. In addition, the point of discharge to the creek must be located immediately downstream of the work site.
9. Prior to commencement of instream works, an environmental consultant or other qualified professional who is acceptable to DFO and/ or MELP must conduct a fish and amphibian salvage in and around areas potentially affected by siltation or de-watering. Appropriate fish collection permits must be obtained prior to any instream works commencing. The consultant/monitor must ensure that the appropriate DFO and MELP staff have been contacted and are advised of the commencement of instream works.
10. Sediment and erosion control measures must be installed to the standards outlined in the BC Environment/DFO "Land Development Guidelines for the Protection of Aquatic Habitat". All work must be conducted in a manner that will prevent the release of sediment or sediment-laden water into any watercourse.

In this regard, a sediment, erosion and runoff control plan must be prepared by a qualified, trained professional and implemented prior to any site preparation works and/ or construction. These facilities must be maintained until the occupancy permit stage, or until no longer applicable to the site conditions. These facilities must be maintained and be working adequately to control discharges from the site.

11. All disturbed areas within the leavestrips should be hydro-seeded or covered to prevent surface erosion. If work is undertaken late in the growing season, normal seeding may not be effective in preventing surface erosion. In this regard, the entire disturbed area may require stabilization through hydro-seeding with heavy mulch or by installing geotextile seed mats.
12. All constructed streambank slopes must not exceed 2:1 slopes (horizontal: vertical). All constructed slopes must be covered with a minimum 6" topsoil to ensure a reasonable plant growth medium, and an appropriate native seed mixture and biodegradable geotextile or hydro-seed (if deemed necessary by a qualified professional) to ensure stability.
13. Riparian revegetation must be completed in accordance with the specified plans, attached in Appendix D. Any other disturbed areas within the leavestrip areas, which are not included in a specified revegetation plan, must be replanted in accordance with the DFO/ MELP guidelines for riparian revegetation, attached as Schedule A.
14. Machinery is not permitted to work within the wetted perimeter of the stream. All machinery on the site must be in good repair and free of excess oil and grease. No fuels lubricants, construction wastes or other deleterious substances may enter the watercourse at any time. Emergency spill kits must be kept on site and be readily accessible at all times in case of release of a deleterious substance to the environment. Any spill of reportable quantities must be immediately reported to the Provincial Emergency Program (24 hour phone line: 1-800-663-3456).
15. All construction materials, such as fill or riprap, must consist of inert materials. Rock used as riprap must be durable and suitably graded to resist movement by stream flow. Rock and/ or riprap placement must be completed so as to ensure their stability within the creek system.
16. Topsoil, debris from construction, concrete and/ or concrete leachate, overburden, soil, grout, oil, grease or any other substance deleterious to aquatic life must be disposed of or placed in a manner that will prevent their entry into any watercourse, ravine, floodplain, or storm sewer system.

In this regard, DFO notes that if any cast in place concrete works are to be undertaken, there may exist high potential for concrete and/ or concrete leachate to enter a watercourse. Concrete leachate is alkaline and highly toxic to fish and aquatic life and DFO requires that measures be taken to prevent any incidence of concrete from entering the watercourse. In case of emergency, a concrete buffer, such as CO₂, must be kept on site to mitigate any impacts from the escape of concrete. To ensure that no concrete or concrete leachate impacts downstream fish or fish habitat, DFO advises that the downstream pH be monitored regularly until completion of the works. If a significant change in pH is noted (i.e. pH below 5.0 or above 9.0), then emergency measures must

be implemented to neutralize pH levels. In addition, any concrete that does escape must be cleaned out of the channel immediately. All concrete work must be carried out during dry weather and low water conditions.

17. Any future stream crossings must be clear span bridges, bottomless arch culverts, or oversized culverts with a minimum 300-mm depth of gravels throughout, unless otherwise approved by DFO and MELP. Approval for stream crossings will be considered on a site by site basis.
18. ***The following personnel must be contacted and advised of any instream works or works within the fisheries sensitive zone (i.e. setback areas), a minimum of five (5) days in advance of the commencement of works.*** In addition, DFO and/ or MELP must be contacted for site inspection for any relocated or constructed watercourses prior to the release of water into newly constructed habitat:
 - a) The Fishery Officer in charge of the Fraser Valley West Field Office at tel: (604) 607-4160 or fax: (604) 607-4199;
 - b) The DFO Habitat Biologist for the Langley area at tel: (604) 666-6310 or fax: (604) 666-6627 (current contact Suzanne Thorpe); and,
 - c) The MELP Fish and Wildlife Habitat Protection Officer for the Langley area at tel: (604) 582-5239 or fax: (604) 930-7119 (current contact John Summers).
19. For any 'individual' project completed within the specified time period, the environmental monitor must submit three (3) copies of a 'summary' monitoring report to MELP and one (1) to this Department within 90 days of project completion.

As described herein, Site numbers 1 through 23 represent 'individual' projects, as do each of the compensatory sites A through D; however, the sites may be listed and detailed within the same monitor's report, if undertaken within the same calendar year. The monitor's report must indicate that the project has been completed and shall include the following:

 - a) a complete list of all outstanding or incomplete works for any 'project' as defined herein;
 - b) date-stamped photos of the site(s) before, during and after construction;
 - c) date-stamped photos of the site post-planting;
 - d) confirmation of compliance with the Authorization; and,
 - e) details of any difficulties encountered and how they were handled.
20. In the event of any significant incident(s) which may occur during works associated with this project (i.e. oil/ gas spill, slope failure, sediment or erosion control problem), the environmental consultant should notify both DFO and MELP representatives as soon as possible. All emergency-reporting procedures must be followed on an immediate basis. The environmental monitor should have an emergency call out procedure in place prior to the commencement of works.
21. The environmental monitor must post a readily visible sign identifying their company name and telephone number at the entrance(s) to the site.

22. ***A copy of this Authorization must be forwarded to all contractors and/or crew supervisors and must be present on the site while work is proceeding.***
23. ***It is understood that by proceeding with the works specified herein, the applicant's agent(s) and/ or contractor(s) and their work crews, shall have indicated an understanding of and agreement to the conditions within this Authorization, and that both DFO and MELP have the authority to inspect, and if necessary, stop any works that are not in compliance with the agreed to terms and conditions or if the agencies have fisheries related concerns.***

Conditions relating to stormwater management for development:

24. Design of the stormwater system shall be consistent with final approval of the document "Gloucester Industrial Estates Stormwater Management Plan: Final Report" by Stantec Consulting Ltd. (attached as Appendix I), currently under review. Detailed engineering design of the stormwater system must be reviewed and approved by DFO, MELP and the Township of Langley prior to site development.
25. Water treatment shall be provided for all areas not zoned or developed for industrial purposes as at May 1, 2000. Treatment will occur in first-flush treatment wetlands where feasible, while other areas will be treated by on-site oil-water separators. Envirowest Drawing No. 467-02-13 indicates treatment type for all lands within Gloucester Estates. Envirowest Drawing Nos. 467-02-14, 467-02-15, 467-02-16 and 467-02-17 provide details for first-flush treatment wetlands.
26. Stormwater from most of the Gloucester Estates development will be detained in two large detention features to be located within the golf course. Properties downstream, or outside of the catchments of these two areas must provide onsite detention that meets or surpasses the specifications outlined in the "Land Development Guidelines for the Protection of Aquatic Habitats".
27. Stormwater outfalls must be set back at least three (3) metres from the streambank and at an angle of approximately 45 degrees to the direction of stream flow. The outfall channel should be armoured with clean angular rock or other type of energy dissipater and stream bank stabilization, as approved by MELP.

Conditions relating to the Restrictive Covenant/ Leavestrip Area:

28. All leavestrip areas shown on ECL Drawing No. 467-02-12 will be protected by a restrictive covenant to be registered against the title of the property(ies) affected under Section 219 of the Land Titles Act, as per the requirements of MELP. All leavestrips are to be left in a totally undisturbed, naturally vegetated state in perpetuity. The covenant boundary must be surveyed by a registered BC Land Surveyor and a permanent fence must be constructed at the covenant boundary between development areas and the covenant areas prior to the commencement of any site development, unless otherwise agreed to by MELP.
29. After the compensatory habitat is functioning as intended, Gloucester shall not carry on any work or undertaking that will adversely disturb or impact the compensatory habitat,

and it will take all reasonable steps to ensure that the compensatory habitat is not disturbed by others, so long as Gloucester is associated with Gloucester Industrial Estates.

30. Buildings must be set back a minimum of one and one-half (1.5) metres from the restrictive covenant boundary, except to the north of the railway tracks where buildings are to be setback a minimum of five (5.0) metres from the restrictive covenant boundary.

Conditions that relate to all mitigatory and compensatory habitats:

31. The compensatory habitats shall consist of a number of features which are listed below and numerically referenced to a plan of ultimate drainage (refer to ECL Drawing No. 467-02-12, Revision 03, attached in Appendix A). These works are also described in the Habitat Balance (Appendix B). Design drawings are referenced for each project on the ultimate drainage plan.

In the Northeast Quadrant of the development -

Compensatory Site A, located at or near Site 1:

- Enhancement of an existing watercourse, including partial realignment, wetland/pond creation and riparian enhancement (refer to ECL Drawing No. 467-06-01R, dated March 1999). This watercourse discharges to the existing roadside ditch at 60th Avenue, subsequently flowing in a culvert under 60th Avenue.
- Native shrubs shall include a mix of species (minimum size #2 pot) including snowberry, red elderberry, salmonberry, red-flower currant, pussy willow, red-osier dogwood and thimbleberry (no species to consist of more than 20 percent of the total). Live stakes shall be planted at a density of 5 stakes per square metre.
- Large woody debris (tree, log and rootwad) placement will be undertaken as directed by the environmental consultant. All large woody debris will be placed in such a manner so as to ensure that they are appropriately keyed into the sides of banks or are otherwise stable. Rootwads should be placed so that the gnarly portions of the root mass are below the wetted perimeter of the creek/ pond area, thus providing maximum refuge cover for juvenile salmonids. Trees and logs must have a minimum diameter of 350 mm; rootwads a minimum diameter of 2.0 metres.
- Marsh planting in the northeast quadrant of the development will be undertaken as per the specifications indicated on ECL Drawing 467-02-10A (species list). All wetland planting will meet the minimum density criteria of 4 plants per square metre. Marsh planting may be undertaken early in the spring planting season post construction, provided that appropriate sediment control measures are undertaken throughout the winter season to prevent downstream sedimentation from such areas. Marsh planting must be completed by April 30, the end of the spring planting season.

In the Southeast Quadrant of the development -

Compensatory Site B, located at or near Site 9:

- Re-alignment of a watercourse, including development of pools (each with two rootwads) at 30 metre intervals, boulder complexing (minimum 6 boulders per 30 metre interval), and riparian enhancement (refer to ECL Drawing No. 467-02-09, Revision 00, dated April 12, 1999, and Hunter Laird Engineering Ltd. Job No. 4518, Sheets 9 of 14 and 10 of 14, both Revision A and dated July 29, 1999).
- A 1 metre wide strip on each side of the channel/pools is to be live-staked with a combination of red-osier dogwood and willow at a density of 5 stakes per square metre. Densities for trees and shrubs shall be one per five square metres and one per one square metre, respectively. Trees shall be increased in number to ten percent of total plants. Salvaged plant material may be used as an alternative to nursery stock, provided that it meets the required success rate.
- Rip rap is to be deleted from the side slopes of the pools; refer to ECL Dwg. #467-02-09.
- Boulder and boulder cluster placement will be undertaken as per the direction of the environmental consultant. Boulder complexing should be undertaken to provide fish habitat, direct flow, promote flushing, prevent infilling and to ensure bank stabilization, where necessary. Boulders must be appropriately keyed into the sides of banks and placed to ensure they are stable. Boulder diameter may be varied, depending on stream cross-section and gradient, but must average 400mm.

In the Southwest Quadrant of the development -

Compensatory Site C, located at or near Site 11:

- Pond/wetland creation north of Gloucester Way within the lands designated as future golf course (refer to ECL Drawings 467-02-10A and 467-02-10B).
- Wetland plants shall be planted at a density of four plants per square metre and trees and shrubs at densities one per five square metres and one per one square metre, respectively.
- The configuration of the constructed habitat may be revised subject to advance notification to DFO and completion of a similar or greater amount of habitat.
- Large woody debris placement should provide a minimum average of 25% cover in pools/ wetland using either gnarly rootwads and/ or whole tree sections.

Compensatory Site D, located at or near Site 17:

- Re-alignment of a watercourse south of Gloucester Way (refer to Aplin & Martin Consultants Ltd. Drawing Nos. 96025SR-1, Revision 1; 96025SR-2, Revision 2; and 96025SR-3, Revision 2). The portion adjacent to Gloucester Way is to be located within a 15-metre wide corridor; habitat details for this portion are shown in ECL Drawing No. 467-04-06, Revision 01. Habitat details for the remaining portions are shown in ECL Drawing No. 467-02-08, Revision 01. The north-south portion is to be constructed with a corridor width of 25 metres. Wherever possible, existing trees and

shrubs are to be retained along the margins of the new watercourse. Where existing vegetation is disturbed it will be re-planted in accordance with the specifications on ECL Drawing No. 467-02-08, Rev 01, and as detailed further herein.

- Deflector logs, aeration logs and rootwads shall each be installed in the channel at 10 metre intervals. Boulder clusters, each comprised of a minimum of four boulders of a minimum diameter of 400mm, are to be installed at 5 metre intervals.
- A one metre wide strip on each side of the channel is to be live-staked with a combination of red-osier dogwood and willow at a density of 5 stakes per square metre. Densities for trees and shrubs shall be one per five square metres and one per one square metre, respectively. Salvaged plant material may be used as an alternative to nursery stock.
- View/ access points around the constructed wetland/ pond areas at the "golf course" will be constructed so that access into and around the watercourse is discouraged. If access is or becomes problematic (i.e. interferes with the success of any aspect of the constructed habitat), additional measures may be required to prevent human encroachment into such areas (i.e. low fencing).

Conditions that relate to the monitoring/ evaluation program:

32. For each component of the overall habitat compensation plan, Gloucester shall carry out a monitoring program (the "Monitoring Program") which will extend for five (5) years post-construction and will include the following:
- a) if a project only involves disturbance(s) to, or removal of, riparian revegetation, a brief report describing plant survivorship and including photos is required yearly to three (3) years post-planting.
 - b) an assessment of the physical stability (see details of b) below) of any newly constructed works must be conducted a minimum of two (2) times during the first winter, in November/ December and February/ March. Any non-compliance issues or other problems with any aspect of the functioning of newly constructed habitat or that may have a negative impact to fisheries resources (e.g. erosion, slope failures) must be reported to both DFO and MELP within five (5) working days post-inspection and remediation measures implemented immediately, as approved by DFO and/ or MELP;
 - c) an annual photographic (date stamped) assessment of the compensation habitat and physical stability of the works, noting any changes in the function of the habitat for five (5) years post-construction. The assessment should also include looking for any evidence of erosion, slumping, tension cracks, movement of instream structures, bed material changes, sediment or debris accumulation and sediment transport changes. If gravels have been placed instream, an estimation of gravel depth, noting any changes, should be conducted each time the site is visited;
 - d) an annual assessment of the planted riparian vegetation for three (3) years post planting. Plant survival must be at least 80% for ground cover, forbs and shrubs

and 100% for trees for the duration of the monitoring program. Should this survivorship not be achieved, additional planting is required to be undertaken immediately during the planting season of, or immediately following, the assessment;

- e) measurements of water temperature, pH, dissolved oxygen, and rough estimate of water flow should be recorded each time the site is visited for monitoring;
 - f) for relocated and/ or constructed watercourses and ponds, fish sampling must be undertaken using baited minnow traps, or an acceptable alternative sampling method, a minimum of once annually during the time of year that will maximize potential to determine fish presence;
 - g) for relocated and/ or constructed watercourses and ponds, assessment of in-stream aquatic invertebrate populations must be undertaken a minimum of once annually during the 2nd (second) and 5th (fifth) years of the five (5) year monitoring program and during the time of year that will yield maximum diversity and quantity of invertebrate species (usually during the late spring/ early summer). Sampling should be conducted in riffle-type habitats at a minimum of three (3) locations (upper, middle and lower stream reach) if the stream section is 15 meters in length or longer; at a minimum of one (1) location if the stream section is less than 15 meters in length. Invertebrates collected are to be counted and identified to the to the Family level. Data from the invertebrate assessment shall be submitted in the monitor's report.
 - h) the Monitoring Program shall be conducted by a qualified biologist, or other professional who has experience in this area, and who is acceptable to DFO;
 - i) the provision to DFO of the annual results of the Monitoring Program in a written report, including an as built plan (where applicable), and any other relevant documents and photographs, by the first of December of each year of the Monitoring Program;
 - j) the fifth years monitoring report for any project shall provide the results of the final year's monitoring and shall summarize the findings of the five years of annual monitoring. The final report will provide a functional assessment of the performance of the compensatory habitat and will include photographs of the constructed compensatory works;
 - k) should any deficiencies in the compensatory habitat be identified by Gloucester, the environmental monitor, any agents or contractors working on behalf of Gloucester, DFO and/ or MELP, the parties shall notify one another in a timely manner. Any identified deficiencies with regard to the form or functioning of the compensatory habitat must be addressed in a timely manner and communicated in writing to DFO and/ or MELP, and resolved as per their direction.
 - l) should the clauses in 33 b) or c) be enacted, an additional annual and final monitoring report will be required in the two years following its enactment.
33. The compensatory habitat will be deemed to functioning as intended if, in the opinion of

DFO,

- the habitat is physically stable;
- it functions as designed,
- riparian vegetation has achieved the targeted survivorship;
- that there is sufficient aquatic invertebrate production to function to provide, in the opinion of DFO, sufficient food and nutrients to downstream habitats; and,
- where fish accessible habitat has been constructed, the site functions to provide accessible habitat for salmonids.

Following the initial monitoring period, and any extensions thereof, DFO will assess the success of the compensatory habitat and determine whether or not it is functioning as intended, and choose the appropriate course of action as outlined below:

- a) the compensatory habitat is functioning as intended and will be self-sustaining without further major remedial work. The Monitoring Program will be terminated; or
 - b) the compensatory habitat is not functioning as intended. Gloucester shall extend the Monitoring Program, including remedial work, for a minimum of an additional two years to allow more time for the habitat to become adequately established;
 - c) the compensatory habitat is not functioning as intended and further remedial work is not likely to rectify the situation. Gloucester shall then carry out alternative compensatory works of similar habitat value within the same watershed and requiring an additional monitoring period.
34. Gloucester shall ensure that the compensatory habitat is functioning as intended for the lifetime of Gloucester Industrial Estates. If at any time Gloucester becomes aware that the compensatory habitat is not functioning as intended Gloucester shall carry out any works which are necessary to enable the compensatory habitat to function as designed. If Gloucester transfers its interest in Gloucester Industrial Estates, and the transferee assumes the obligations of this Authorization in a form satisfactory to DFO, Gloucester shall thereafter be relieved of these obligations.
35. Gloucester has delivered to DFO two Letters of Credit totalling \$100,000. These Letters of Credit are to be reduced in accordance with the Letter of Credit Reduction Schedule (refer to Appendix G).
36. If the conditions of this Authorization are not met, DFO may draw upon the letters of credit to ensure that the agreed upon terms and conditions of this Authorization are duly carried out.

The holder of this authorization is hereby authorized under the authority of section 35(2) of the Fisheries Act, R.S.C., 1985, c.F.14, to carry out the work or undertaking described herein.

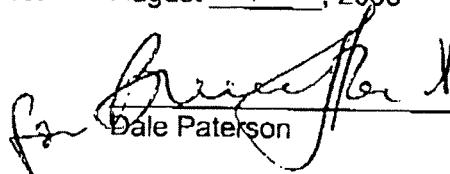
This authorization is valid only with respect to fish habitat and for no other purposes. It does not purport to release the applicant from any obligation to obtain permission form or to comply with the requirements of any other regulatory agencies.

Failure to comply with any condition of this authorization may result in charges under the Fisheries Act.

This authorization form should be held on site and work crews should be made familiar with the conditions attached.

Date of issuance: August 29, 2000

Approved by:


Dale Paterson

Title: Area Chief, Fraser River Division Habitat Unit
Habitat and Enhancement Branch

161884 Canada Inc. (Gloucester) acknowledges that Fisheries and Oceans Canada has consulted with it regarding the terms of this Authorization, and confirms that it has reviewed and understands the terms of this Authorization, and it will comply with them.

Executed by an authorized signatory of
161884 Canada Inc. on the 24th day
day of August, 2000 in the presence of:

161884 Canada Inc. (Gloucester)

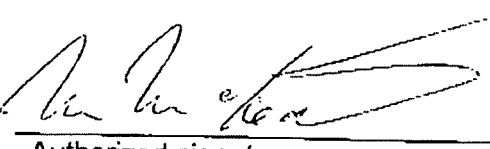
Witness (signature)


Ryan Beedie

Name (print):

Title (print):

Per:

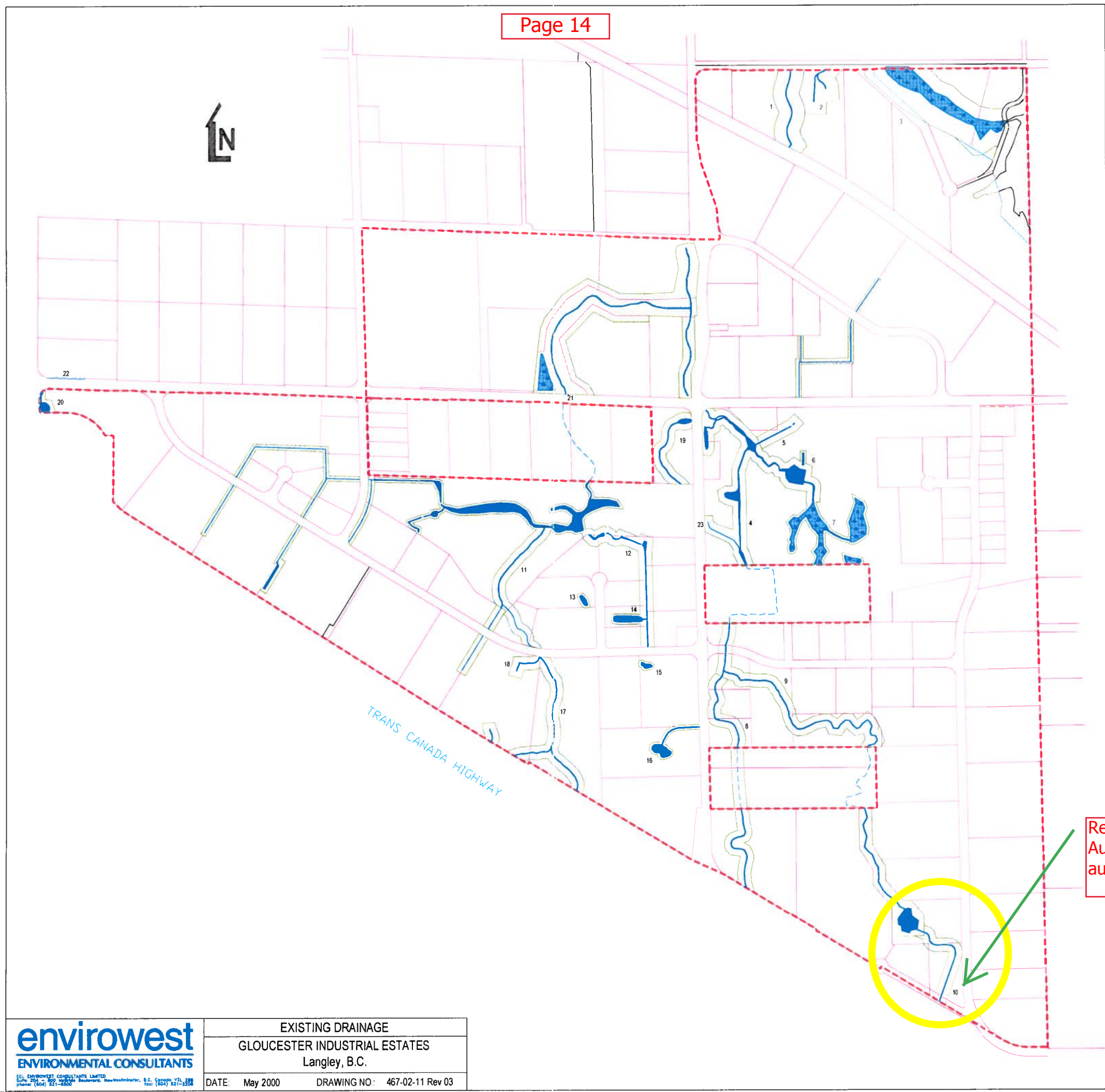

Authorized signatory

MATTHEW McKEETHNIE

Name (print)

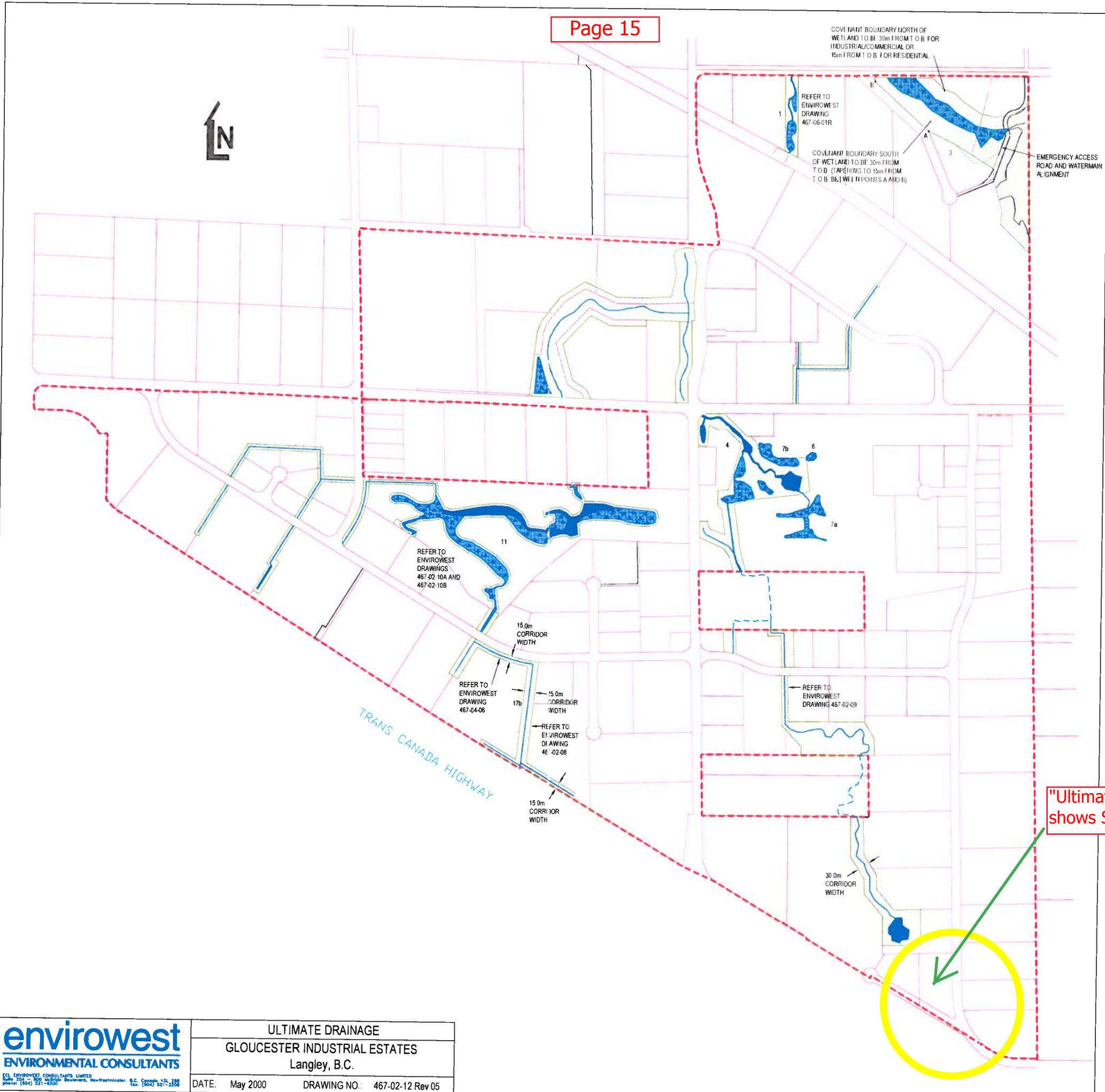
PRESIDENT

Title (print)



Referring to Page 2 of DFO Authorization this is "Site 10" authorized for elimination

 <small>envirowest ENVIRONMENTAL CONSULTANTS</small> <small>101 ENVIRONMENTAL CONSULTANTS LIMITED</small> <small>Suite 201 - 800, 101st Street, Richmond, B.C. Canada V3L 2B8</small> <small>Phone: (604) 551-2500 Fax: (604) 551-2358</small>	EXISTING DRAINAGE GLOUCESTER INDUSTRIAL ESTATES Langley, B.C.
	DATE: May 2000 DRAWING NO: 467-02-11 Rev 03



"Ultimate Drainage" maps shows Site 10 eliminated

envirowest
ENVIRONMENTAL CONSULTANTS

ULTIMATE DRAINAGE
GLOUCESTER INDUSTRIAL ESTATES
Langley, B.C.

1000
Suite 212 - 1000
Phone: (604) 251-2500

DATE: May 2000 DRAWING NO.: 467-02-12 Rev 05

Attachment H

envirowest consultants inc.

Suite 101 - 1515 Broadway Street
 Port Coquitlam, British Columbia
 Canada V3C 6M2
 604-944-0502

November 30, 2017

TOWNSHIP OF LANGLEY

20338 – 65 Avenue
 Langley, BC
 V2Y 3J1

Attention: Mr. Ramin Seifi, P.Eng., M.C.I.P.
General Manager
Engineering and Community Development

Dear Mr. Seifi,

RE: DEVELOPMENT PERMIT APPLICATION 100890
4825 – 275 STREET, LANGLEY - WATERCOURSE MAPPING CONCERN

We have reviewed the November 24, 2017 letter from the Langley Environmental Partners Society (LEPS). This letter is addressed to the Township of Langley Mayor and Council and is intended to bring to their attention an apparent omission of information regarding a watercourse on the subject property. The development permit application makes reference to the proposed modification of a statutory right-of-way (RoW) through the property. We were in attendance at the Council meeting on November 27, 2017 when this matter was raised and discussed.

The LEPS letter makes reference to a channelized stream that is a main branch of West Creek. While not explicitly stated in the letter, the assertion made by LEPS is that this stream flows through the subject property as an open channel. The letter indicates the stream is Class B habitat and that such streams require setbacks of 20 metres on each side. An attachment to the LEPS letter, citing the Township's Geosource web-map, is referenced in support of the Class B designation.

As you may be aware, Envirowest has been involved with environmental planning at Gloucester Industrial Estates since the early 1990s. We are extremely familiar with the watercourses of the area and in particular, the drainage system at the subject site. Relevant information is summarized below.

In 2000, Fisheries and Oceans Canada (DFO) issued an Authorization agreement to 161884 Canada Inc. (Gloucester) allowing the alteration of watercourses throughout the business park, subject to provision of compensatory habitats. Maps appended to the Authorization identified streams that existed when the agreement was executed (Existing Drainage) and streams that would ultimately exist at complete build-out of the industrial park (Ultimate Drainage).

Mr. Ramin Seifi
Development Permit application 100890
4825 – 275 Street, Langley - Watercourse mapping concerns
November 30, 2017

Page 2 of 3

Envirowest Drawing No. 655-55-01 (Attachment A) shows relevant portions of the two drawings. The map depicting existing drainage identified a stream flowing across the subject property. The map depicting ultimate drainage shows no stream on the subject property.

Aerial photography available on the Geosource web-map shows the subject site as generally undisturbed in 2005. The 2008 aerial image shows the property as cleared of vegetation with a roadway and storm sewer extending westward from 275 Street; the stream still exists at this point in time. The 2010 aerial image shows the property as almost completely filled and the stream completely eliminated. Storm sewers were installed to convey runoff from the south side of the property (including stormwater from Highway 1, local roads and lands south the highway) to a habitat pond at the north end of the property. The habitat pond is protected by a non-disturbance covenant registered on the title of the property. Storm sewers were installed through the property, within RoWs registered on the legal title of the property, in favour of the Township of Langley.

The Geosource map attached to the LEPS letter is consistent with the drainage condition described above. Blue lines on the map attached to the LEPS letter denote storm sewers conveying drainage across the site. This map does not show Class B stream habitat on the subject property; it correctly shows that no stream exists.

In allowing the enclosure of this stream in a storm sewer, the DFO Authorization acknowledged that fish habitat could be (and subsequently has been) eliminated from the property and that DFO would no longer have any interest in the property as habitat. The DFO Authorization ensured that replacement habitat would be (and subsequently has been) constructed elsewhere within the business park. Once the stream was diverted into the storm sewer, and a RoW was registered over the sewer corridor, all authority over this section of the drainage system transferred to the Township of Langley.

Storm sewers are not considered to be fish habitat (even in cases where fish migrate through them) and setbacks do not apply. Senior environmental agencies have no role in the modification of storm sewers within their RoWs, including realignment of sewers in modified RoWs. Approvals are required from these agencies only when proposed works affect the inlets and outlets (i.e. where they connect to open streams); such works are not proposed by the development permit application.

The proposed works involve replacement of a section of the existing storm sewer with a new storm sewer on a different alignment, accommodating a building that had not been designed when the sewer was first installed. The new sewer will connect to an existing manhole at one end, and will connect at a new manhole at the other end. No work is proposed near open stream habitat. Notwithstanding, the work has been carefully planned and will be monitored to ensure that indirect impacts to downstream habitat do not occur.

In conclusion, we confirm that there is no stream on the subject property and that the Township of Langley is entirely within their jurisdiction to allow the realignment of the storm sewer

Mr. Ramin Seifi
Development Permit application 100890
4825 – 275 Street, Langley - Watercourse mapping concerns
November 30, 2017

Page 3 of 3

through the property. The works will be closely monitored to ensure no indirect impacts to downstream habitat.

Please call me should this require clarification.

Your truly,
ENVIROWEST CONSULTANTS INC.

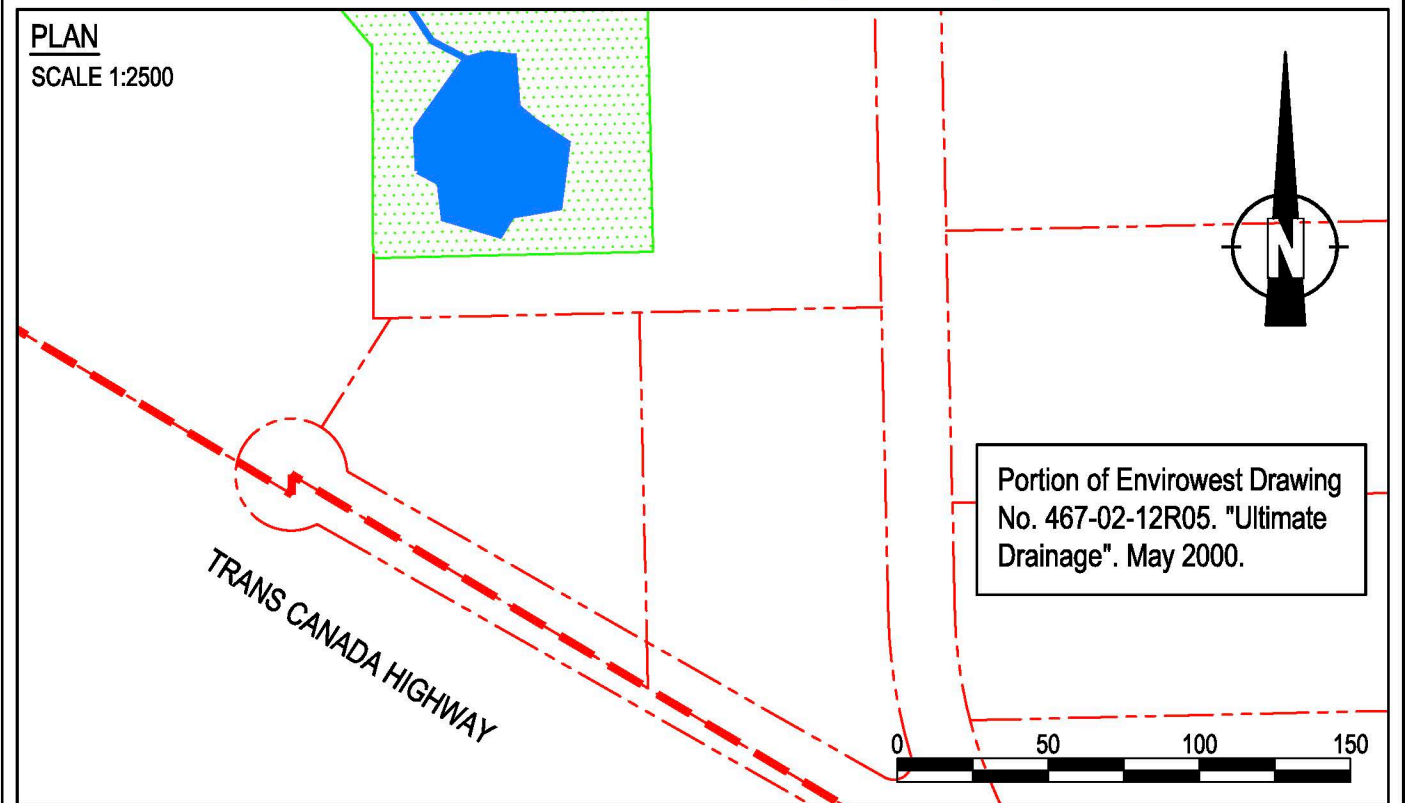
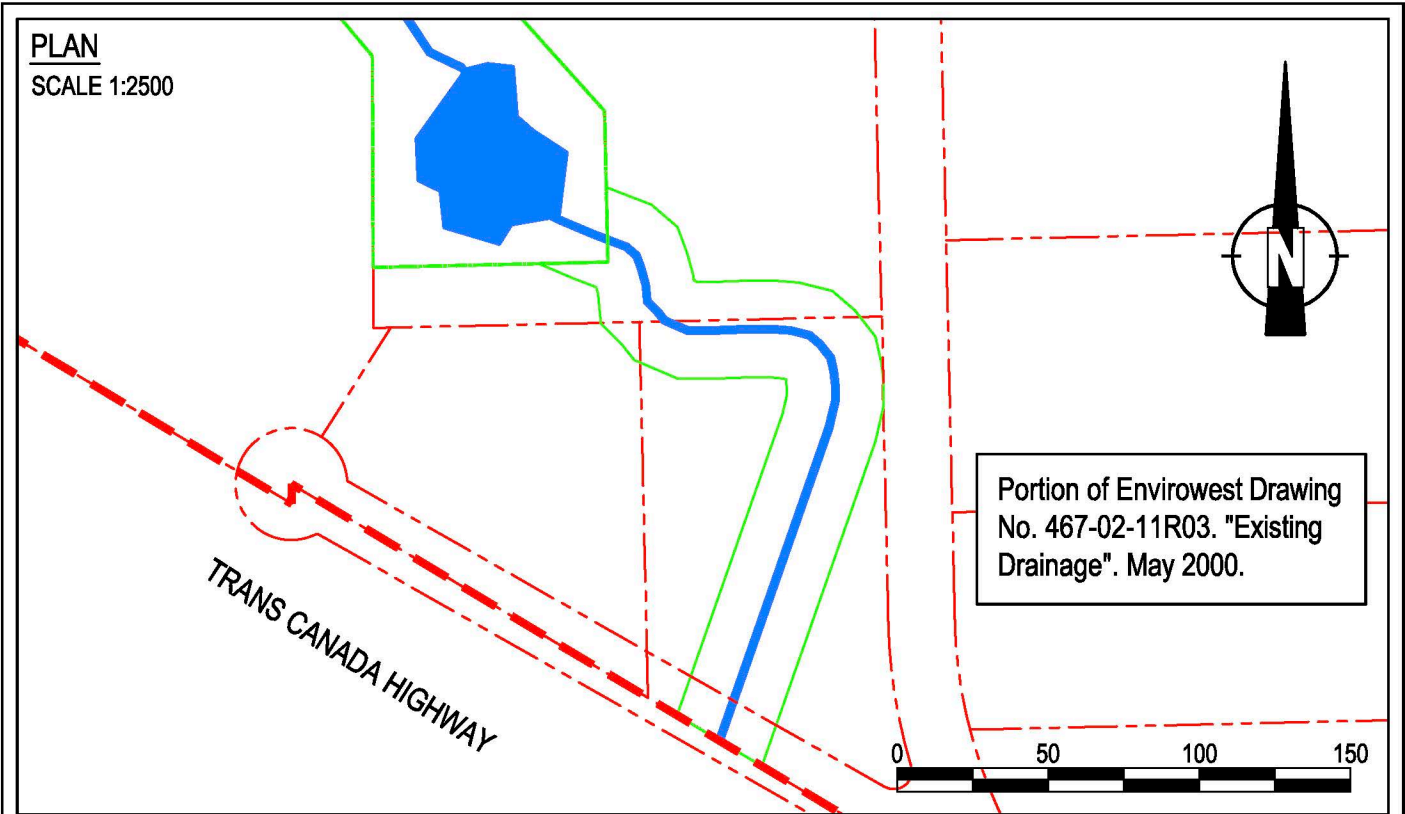
A handwritten signature in black ink that reads "I Whyte". The signature is written in a cursive style with a large initial "I" and "W".

Ian W. Whyte, P.Ag.
Senior Project Manager

IWW
attach.

ATTACHMENT A

**ENVIROWEST DRAWING No. 655-55-01
DFO APPROVED DRAINAGE PLANS**



REFERENCE DRAWINGS

1. Drawing No. 467-02-11. Rev.03. "Existing Drainage". May 2000. Envirowest Consultants Inc.
2. Drawing No. 467-02-12. Rev.05. "Ultimate Drainage". May 2000. Envirowest Consultants Inc.

BEDDIE DEVELOPMENT GROUP
Burnaby, BC

GLOUCESTER INDUSTRIAL ESTATES
Langley, BC



envirowest consultants inc.

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2
office: 604-944-0502
facsimile: 604-944-0507
www.envirowest.ca

DFO - APPROVED DRAINAGE PLANS

DESIGN: IWW	DRAWN: SCM	CHECKED: IWW	REVISION: 00	REVISION DATE:
SCALE: As Shown			DRAWING NUMBER: 655-55-01	
DATE: November 30, 2017				

From: Rod Shead
Sent time: 05/18/2017 02:22:42 PM
To: Joel Nagtegaal
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street
Attachments: image001.png image002.png image003.jpg

Thanks Joel.

From: Joel Nagtegaal
Sent: Wednesday, May 17, 2017 2:50 PM
To: Rod Shead <rshead@tol.ca>
Cc: Paul Albrecht <palbrecht@tol.ca>; Ana Velazquez <avelazquez@tol.ca>
Subject: FW: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Rod,

As per discussion, Beedie says they have consolidate the two lots which are part of the subject application.

See attached title search and subdivision plan.

Thanks,

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediegroupp.ca>]

Sent: Tuesday, May 16, 2017 2:41 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca <<mailto:jnagtegaal@tol.ca>>>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I hope all is well.

We have completed the lot consolidation for this project. I have attached an updated title search. Also included is the reference plan for your records. This completed consolidation ensures that the Development Permit Application for project #14-05-0098 (DP100890) applies only to lot PID: 030-127-289.

Please let me know if any additional documentation is required.

All the best,

Andrew Peterson
Development Manager, Industrial

andrew.peterson@beediigroup.ca

p.604.435.3321 | f.604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

www.beediigroup.ca <<http://www.beediigroup.ca/>>

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From: Joel Nagtegaal [<<mailto:jnagtegaal@tol.ca>>]
Sent: Tuesday, May 09, 2017 11:57 AM
To: Andrew Peterson <Andrew.Peterson@beediigroup.ca <<mailto:Andrew.Peterson@beediigroup.ca>>>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

Staffs review of the DP application is progressing. Once we have received comments from external agencies and internal departments, we will incorporate their comments with comments from Planning and compile them in a file review letter.

Staff will be in touch if we require any clarification or have questions.

Thank you,

Joel Nagtegaal | Planner

Community Development | Township of Langley

604.533.6044

From: Andrew Peterson [<mailto:Andrew.Peterson@beediigroup.ca>]
Sent: Tuesday, May 09, 2017 11:00 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca <mailto:jnagtegaal@tol.ca>>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Hi Joel,

I just wanted to check in to see how the review is going. If you have any questions please do not hesitate to reach out.

All the best,

Andrew

Andrew Peterson
Development Manager, Industrial

andrew.peterson@beediigroup.ca

p.604.435.3321 | f.604.432.7349

d. 604.909.8714 | c.778.939.7754

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

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From: Andrew Peterson
Sent: Monday, May 01, 2017 9:18 AM
To: 'Joel Nagtegaal' <jnagtegaal@tol.ca <<mailto:jnagtegaal@tol.ca>>>
Subject: RE: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Thank you Joel. Great to hear it. Please find the plans attached.

Andrew Peterson
Development Manager, Industrial

andrew.peterson@beediigroup.ca

p.604.435.3321 | f.604.432.7349

3030 Gilmore Diversion, Burnaby, BC V5G 3B4

www.beediegroupp.ca <<http://www.beediegroupp.ca/>>

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From: Joel Nagtegaal [<<mailto:jnagtegaal@tol.ca>>]

Sent: Monday, May 01, 2017 9:14 AM

To: Andrew Peterson <Andrew.Peterson@beediegroupp.ca <<mailto:Andrew.Peterson@beediegroupp.ca>>>

Subject: TOL Project No. 14-05-0098 | 4800 block of 275 Street

Good morning Andrew,

I am the Planner who has been assigned to the subject development application.

Could you please send me digital drawings (PDF) of the site plan and elevations?

Thank you,

Community Development | Township of Langley

20338 65 Avenue, Langley, BC V2Y 3J1

604.533.6044

Web <<http://www.tol.ca/>> | Facebook <<http://www.facebook.com/LangleyTownship>> | Twitter
<<http://www.twitter.com/LangleyTownship>> | YouTube <<http://www.youtube.com/langleytownship>>

image001.png





envirowest consultants inc.

Suite 101 - 1515 Broadway Street
 Port Coquitlam, British Columbia
 Canada V3C 6M2
 604-944-0502

November 30, 2017

TOWNSHIP OF LANGLEY

20338 – 65 Avenue
 Langley, BC
 V2Y 3J1

Attention: Mr. Ramin Seifi, P.Eng., M.C.I.P.
General Manager
Engineering and Community Development

Dear Mr. Seifi,

RE: DEVELOPMENT PERMIT APPLICATION 100890
4825 – 275 STREET, LANGLEY - WATERCOURSE MAPPING CONCERN

We have reviewed the November 24, 2017 letter from the Langley Environmental Partners Society (LEPS). This letter is addressed to the Township of Langley Mayor and Council and is intended to bring to their attention an apparent omission of information regarding a watercourse on the subject property. The development permit application makes reference to the proposed modification of a statutory right-of-way (RoW) through the property. We were in attendance at the Council meeting on November 27, 2017 when this matter was raised and discussed.

The LEPS letter makes reference to a channelized stream that is a main branch of West Creek. While not explicitly stated in the letter, the assertion made by LEPS is that this stream flows through the subject property as an open channel. The letter indicates the stream is Class B habitat and that such streams require setbacks of 20 metres on each side. An attachment to the LEPS letter, citing the Township's Geosource web-map, is referenced in support of the Class B designation.

As you may be aware, Envirowest has been involved with environmental planning at Gloucester Industrial Estates since the early 1990s. We are extremely familiar with the watercourses of the area and in particular, the drainage system at the subject site. Relevant information is summarized below.

In 2000, Fisheries and Oceans Canada (DFO) issued an Authorization agreement to 161884 Canada Inc. (Gloucester) allowing the alteration of watercourses throughout the business park, subject to provision of compensatory habitats. Maps appended to the Authorization identified streams that existed when the agreement was executed (Existing Drainage) and streams that would ultimately exist at complete build-out of the industrial park (Ultimate Drainage).

Mr. Ramin Seifi
Development Permit application 100890
4825 – 275 Street, Langley - Watercourse mapping concerns
November 30, 2017

Page 2 of 3

Envirowest Drawing No. 655-55-01 (Attachment A) shows relevant portions of the two drawings. The map depicting existing drainage identified a stream flowing across the subject property. The map depicting ultimate drainage shows no stream on the subject property.

Aerial photography available on the Geosource web-map shows the subject site as generally undisturbed in 2005. The 2008 aerial image shows the property as cleared of vegetation with a roadway and storm sewer extending westward from 275 Street; the stream still exists at this point in time. The 2010 aerial image shows the property as almost completely filled and the stream completely eliminated. Storm sewers were installed to convey runoff from the south side of the property (including stormwater from Highway 1, local roads and lands south the highway) to a habitat pond at the north end of the property. The habitat pond is protected by a non-disturbance covenant registered on the title of the property. Storm sewers were installed through the property, within RoWs registered on the legal title of the property, in favour of the Township of Langley.

The Geosource map attached to the LEPS letter is consistent with the drainage condition described above. Blue lines on the map attached to the LEPS letter denote storm sewers conveying drainage across the site. This map does not show Class B stream habitat on the subject property; it correctly shows that no stream exists.

In allowing the enclosure of this stream in a storm sewer, the DFO Authorization acknowledged that fish habitat could be (and subsequently has been) eliminated from the property and that DFO would no longer have any interest in the property as habitat. The DFO Authorization ensured that replacement habitat would be (and subsequently has been) constructed elsewhere within the business park. Once the stream was diverted into the storm sewer, and a RoW was registered over the sewer corridor, all authority over this section of the drainage system transferred to the Township of Langley.

Storm sewers are not considered to be fish habitat (even in cases where fish migrate through them) and setbacks do not apply. Senior environmental agencies have no role in the modification of storm sewers within their RoWs, including realignment of sewers in modified RoWs. Approvals are required from these agencies only when proposed works affect the inlets and outlets (i.e. where they connect to open streams); such works are not proposed by the development permit application.

The proposed works involve replacement of a section of the existing storm sewer with a new storm sewer on a different alignment, accommodating a building that had not been designed when the sewer was first installed. The new sewer will connect to an existing manhole at one end, and will connect at a new manhole at the other end. No work is proposed near open stream habitat. Notwithstanding, the work has been carefully planned and will be monitored to ensure that indirect impacts to downstream habitat do not occur.

In conclusion, we confirm that there is no stream on the subject property and that the Township of Langley is entirely within their jurisdiction to allow the realignment of the storm sewer

Mr. Ramin Seifi
Development Permit application 100890
4825 – 275 Street, Langley - Watercourse mapping concerns
November 30, 2017

Page 3 of 3

through the property. The works will be closely monitored to ensure no indirect impacts to downstream habitat.

Please call me should this require clarification.

Your truly,
ENVIROWEST CONSULTANTS INC.

A handwritten signature in black ink that reads "I Whyte". The signature is written in a cursive style with a large, prominent "I" and "W".

Ian W. Whyte, P.Ag.
Senior Project Manager

IWW
attach.

Ritchie Lai

From: Rod Shead
Sent: Tuesday, August 07, 2018 9:03 AM
To: Patty Jadis
Cc: Joel Nagtegaal
Subject: RE: DP100890
Attachments: Envirowest Letter re DP100890 (30-11-2017).pdf

Hi Patty,

Staff may correspond with senior government agencies where a proponent applies for a senior government permit/approval and, as part of that process, a senior government agency may send a referral to the Township (e.g. provincial *Water Sustainability Act*) or seek further information from staff. A Nov 30/17 letter from the applicant's Environmental Consultant (attached) advised that senior government permits/approvals were not required, as such, there was no applications submitted to senior government agencies so correspondence with senior government agencies with respect to DP1009809 did not occur.

Rod Shead, RPBio, PAg
 Development Planning
 Environmental Coordinator II
 Township of Langley 20338-65 Avenue, Langley, BC V2Y 3J1
 604.533.6090 ext. 3436 | rshead@tol.ca | www.tol.ca

From: Patty Jadis
Sent: Tuesday, August 07, 2018 8:42 AM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Rod Shead <rshead@tol.ca>
Subject: DP100890

Good morning,

Wendy Bauer has requested a review of the above noted DP regarding any correspondence between the Province (Likely the Ministry of the Environment and the Township / Applicant) prior to May 10, 2018.

I don't see anything like that in the list of attachments. When you have a moment can you check to see if you have anything?

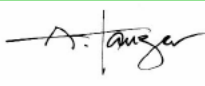
Thanks so much!
Patty

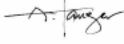


Patty Jadis | Administrative Assistant
 Development Services | Community Development
 20338 65 Avenue, Langley, BC V2Y 3J1
 Direct line: 604.533.6090 ext. 3484
[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



REPLACEMENT TREES						
Security bond required for Servicing Agreement			Green fields to be completed by Landscape Architect			
Date: MARCH 14, 2017		Municipal Project #:				
Project Name: 275 MULTI		Project Address: 275 Street & 48 Avenue				
ITEM	Description	Size	Unit	Quantity	Unit Cost*	Bonding
TREES						
Replacement Trees	All replacement trees (On and Off-Site) as per TLP 26					
Coniferous	List species: (50% to be Coniferous)	3m	each	82	350 00	\$28,700.00
Other Replacement Trees	List species:	6cm cal.	each	81	350 00	\$28,350.00
	list species:	6cm cal.	each			
					10% maintenance bond	\$5,705.00
Tree Protection	Include on and off-site protection measures					
Retained Significant Trees	List Tree #'s	exist.	each		1,750 00	\$0.00
Retained Heritage Trees	List Tree #'s	exist.	each		5,000 00	\$0.00
Protection Fencing	As per TLP 29		lm		25 00	\$0.00
						Trees Sub-Total \$62,755.00
STREET TREES (Off-Site Landscape) Include all support and protection measures						
Street Trees:	List species:	6cm cal.	each		350 00	\$0.00
Structural Soil	If required		per tree		2,800 00	\$0.00
Silva Cells	If required as per TLP 26 or TLP 27		per tree		7,000 00	\$0.00
Growing Medium	for landscape area + min. 10 m³ per tree		volume		30 00	\$0.00
Composted Bark Mulch	for planted landscape area		volume		30 00	\$0.00
Root Barrier	as per TLP 26, 27		lm		32 00	\$0.00
					10% maintenance bond	\$0.00
						Street Trees Sub-Total \$0.00
LANDSCAPE AREAS (Sod)						
Sod	sod + 150mm growing medium		m²		18 00	\$0.00
Hydroseed	Short Grass mixture		m²		13 00	\$0.00
Automatic Irrigation	as per TLP 17 and IIABC Standards		m²		21 50	\$0.00
					10% maintenance bond	\$0.00
						Landscape Area Sub-Total \$0.00
LANDSCAPE AREA (Onsite)						
Greenway Trees	List Deciduous species:	6cm cal.	each		350 00	\$0.00
	List Coniferous species:	2.5m ht.	each		350 00	\$0.00
Shrubs:	List species:	#1 cont.	each		12 50	\$0.00
	List species:	#2 cont.	each		22 00	\$0.00
	List species:	#3 cont.	each		32 00	\$0.00
Hedge	List species:	1.2m ht.	each		45 00	\$0.00
Groundcover	List species:	#7 cont.	each		40 00	\$0.00
	List species:	#SP3	each		6 00	\$0.00
Growing Medium	for landscape area + min. 10 m³ per tree		volume		30 00	\$0.00
Composted Bark Mulch			area		30 00	\$0.00
					10% maintenance bond	\$0.00
						LandscapeArea Sub-Total \$0.00
PAVING (HARD LANDSCAPE)						
Concrete	Pedestrian area as per TLR 20		m²		80 00	\$0.00
Stamped Concrete	Pedestrian area		m²		125 00	\$0.00
Asphalt	Various Path Widths as per TLP 19		m²		37 50	\$0.00
Granular	Various Path Widths as per TLP 20		m²		30 00	\$0.00
Rigid Grass	as per TLP 21		m²		22 00	\$0.00
Other	Description		m²			\$0.00
						Paving Sub-Total \$0.00
STREET FURNITURE						
Benches						
Neighborhood Bench	Type as per community Plan		each		2,500 00	\$0.00
Parks Standard	as per TLP 1		each		400 00	\$0.00
Trash Receptacles						
	Victor Stanley: PSO-24 with DSP-24 Lid		each		2,000 00	\$0.00
	Frances Andrew: R30-1 'O' with Lid		each		1,500 00	\$0.00
	TS-125 lid, painted Black		each		1,000 00	\$0.00
	Other:		each			\$0.00
Street Furniture Continued						
Bike Racks						
3 Bikes	as per TLP 3		each		1,900 00	\$0.00
6 Bikes	as per TLP 3		each		2,000 00	\$0.00
8 Bikes	as per TLP 3		each		2,100 00	\$0.00
	Other:					
Drinking Fountains	as per TLP 5		each		3,000 00	\$0.00
						Street Furniture Sub-Total \$0.00
FENCING						
Hedge	@ fence, list species:	1.5 m ht.	lm		55 00	\$0.00
Chain Link	as per TLP 7	1.0m ht.	lm		75 00	\$0.00
Chain Link	as per TLP 7	1.2m ht.	lm		80 00	\$0.00
Chain Link	as per TLP 7	1.5m ht.	lm		85 00	\$0.00
Chain Link	as per TLP 7	1.8m ht.	lm		100 00	\$0.00
Greenway Picket	as per TLP 8		lm		60 00	\$0.00

Single Rail Paige Wire	as per TLP 9		lm		70 00	\$0.00
Low Flow Channel	as per TLP 10		lm		80 00	\$0.00
Rear Yard Wood Fence	as per TLP 11		lm		100 00	\$0.00
Streamside	as per TLP 12		lm		80 00	\$0.00
Fencing Sub-Total						\$0.00
BARRIERS						
Access Barrier	as per TLP 13		each		125 00	\$0.00
Bicycle Stop Baffle	as per TLP 15		each		500 00	\$0.00
Vehicle Swing Gate	as per TLP 16		each		800 00	\$0.00
Barriers Sub-Total						\$0.00
SIGNAGE						
Greenway Bollards	as per TLP 4		each		1,000 00	\$0.00
Rain Garden Bollard	as per TLP 38		each		1,000 00	\$0.00
Removable Restriction Post	as per TLR 19		each		400 00	\$0.00
Trail Sign	As per TLP 39		each		350 00	\$0.00
Sensitive Fish Sign			each		100 00	\$0.00
Notice Board Kiosk Sign	as per Parks Department Detail		each		3,000 00	\$0.00
Signage Sub-Total						\$0.00
ENVIRONMENTAL WORKS (Env. Area Soft landscape)						
Coniferous Trees	List species:	2.5m ht.	each		350 00	\$0.00
Deciduous Trees	List species:	6cm cal.	each		350 00	\$0.00
Shrubs:	List species:	#1 cont.	each		12 50	\$0.00
	List species:	#2 cont.	each		22 00	\$0.00
	List species:	#3 cont.	each		32 00	\$0.00
	List species:	#5 cont.	each		50 00	\$0.00
Hedge	List species:	1.5m ht.	each		45 00	\$0.00
Groundcover	List species:	#1 cont.	each		12 50	\$0.00
	List species:	#SP3	each		6 00	\$0.00
Sod	sod + 150mm growing medium	area	m ²		18 00	\$0.00
Hydroseed	Short Grass mixture	area	m ²		13 00	\$0.00
Growing Medium	from approved supplier	volume	m ³		30 00	\$0.00
Composted Bark Mulch	for planted landscape area	volume	m ³		30 00	\$0.00
Boulders	0.8 to 1.2m Diameter		each		150 00	\$0.00
Woody Debris	as required by DFO		lump			\$0.00
Monitoring Period	as required by DFO 1 to 5 years		lump			\$0.00
Rain Garden						
River Rock/Gravel	50-100mm Dia. 450mm depth		m ²	0	100 00	\$0.00
Boulders	0.8-1.2m diameter		each	0	150 00	\$0.00
10% maintenance bond						\$0.00
Environmental Works Sub-Total						\$0.00
CASH IN LIEU						
	Description:					\$0.00
	Description:					\$0.00
	Description:					\$0.00
Cash In-Lieu Sub-Total						\$0.00
CHILDREN'S PLAY AREA (OFF-SITE ONLY)						
Equipment	List Equipment to include		each			\$0.00
	List Equipment to include		each			\$0.00
	List Equipment to include		each			\$0.00
	List Equipment to include		each			\$0.00
Play Area Safety Surfacing	Specify Type		m ²			\$0.00
Structures Sub-total						\$0.00
STRUCTURES						
Retaining Walls	as per TLP 23	face ft	m ²		360 00	\$0.00
Pedestrian Bridges						
Decks						
Other	Description:					
Structures Sub-total						\$0.00
Total Bond						\$62,755.00
<i>(Bonding taken prior to Service Agreement Issuance)</i>						
Date	MARCH 14, 2017					
Land. Architect Print Name	AL TANZER					
						

ON-SITE LANDSCAPE						
Security bond required for Building Permit		<i>Green fields to be completed by Landscape Architect Submit additional worksheets for each phase if applicable</i>				
Date	Nov. 29, 2017	Municipal Project #	14-05-0098			
Project Name	275 MULTI	Project Address	275 Street & 48 Avenue			
(Include Phase # if applicable)						
Item	Details (Installed costs including delivery, labour and all applicable taxes)	Size	Unit	Qty	Unit Cost	Bonding
SOFT LANDSCAPE						
Do not include Replacement trees or Street Trees on TOL property						
Trees:		Size	Unit	Qty	Unit Cost	Bonding
Coniferous trees	See Replacement Tree Cost Estimate	3 0m ht.	ea		\$350.00	\$0.00
Deciduous trees	See Replacement Tree Cost Estimate	6cm cal.	ea		\$350.00	\$0.00
Shrubs:	List Species	#2 cont.	ea	1179	\$22.00	\$25,938.00
	List Species	#3 cont.	ea	11	\$32.00	\$352.00
Hedging	List Species	1 5m ht.	ea	122	\$45.00	\$5,490.00
Groundcover	List Species	#1 cont.	ea	931	\$12.50	\$11,637.50
	List Species	#SP3	ea	422	\$6.00	\$2,532.00
Sod	sod + 150mm growing medium	Area	m ²	233	\$18.00	\$4,194.00
Growing Medium	for landscape area + min. 10 m3 per tree	Volume	m ³	1000	\$30.00	\$30,000.00
Composted Bark Mulch	for planted landscape area	Area	m ²	166	\$30.00	\$4,980.00
Sub-Total						\$85,123.50
HARD LANDSCAPE						
Paving	Stamped Concrete	Area	m ²		\$125.00	\$0.00
	Concrete	Area	m ²		\$80.00	\$0.00
	Asphalt	Area	m ²		\$35.00	\$0.00
	Granular	Area	m ²		\$30.00	\$0.00
	Other:	Area	m ²			\$0.00
Sub-Total						\$0.00
SITE FURNISHINGS						
Art	Description	Size	Unit	Qty	Unit Cost	Bonding
	Benches		Lump			\$0.00
	Bike Racks	Quan.	ea			\$0.00
	Litter Receptacle	Quan.	ea			\$0.00
	Retaining Walls	Face feet	m ²			\$0.00
	Fencing	Length	lm			\$0.00
		Length	lm			\$0.00
		Length	lm			\$0.00
	Structures	Quan.	ls			\$0.00
	List Features (Trellis, Arbor, Pergola, water feature, etc)					\$0.00
Sub-Total						\$0.00
CHILDREN'S PLAY AREA						
Equipment	List Equipment to include	Size	Unit	Qty	Unit Cost	Bonding
	List Equipment to include	Quan.	Each			\$0.00
	List Equipment to include	Quan.	Each			\$0.00
	List Equipment to include	Quan.	Each			\$0.00
	List Equipment to include	Quan.	Each			\$0.00
Play Area Safety Surfacing	Specify Type	Area	m ²			\$0.00
CHILDREN'S PLAY AREA (OFF-SITE)						Sub-Total
Sub-Total						\$0.00
Total On-Site Bond						\$85,123.50
<i>(Bonding taken prior to Building Permit Issuance)</i>						
Date	Nov 29, 2017					
Landscape Architect - Name	AL TANZER					
Landscape Architect - Signature						



WORKING TO MAKE A DIFFERENCE

Assessment Department

Mailing Address

PO Box 5350
Station Terminal
Vancouver BC V6B 5L5

Location

6951 Westminster Highway
Richmond BC
V7C 1C6
www.worksafebc.com

Clearance Section

Telephone 604 244 6380
Toll Free within Canada
1 888 922 2768
Fax 604 244 6390

David Nairne + Associates Ltd.
250 171 W Esplanade
NORTH VANCOUVER, BC V7M 3J9

September 27, 2017

Person/Business : TYBO CONTRACTING LTD
711209 AQ(016)

This letter provides clearance information for the purposes of Section 51 of the *Workers Compensation Act*.



Employer Service Centre
Assessment Department

Clearance Reference # : C129796959
CLRAAA

For more information about Section 51 and clearance letters visit WorkSafeBC.com

Please refer to your account number in your correspondence or when contacting the Assessment Department.

To alter this document constitutes fraud.

Certificate of Insurance Number: 59

Certificate Holder: **The Corporation of the Township of Langley**
20338 65 Avenue, Langley, BC V2Y 3J1

Description: **EVIDENCE OF LIABILITY INSURANCE FOR PROJECT: #17-581-48th Sewer Relocate**

Name of Insured: **TYBO CONTRACTING LTD.** Unit #1 – 20010 100A Avenue, Langley, BC, V1M 3G4

This is to certify that the policies of insurance listed below have been issued to the insured named above for the policy period indicated, notwithstanding any requirement, item or condition of any contract or other document with respect to which this certificate may be issued or may pertain. The insurance afforded by the policies described herein is subject to all terms, exclusions and conditions of such policies. Limits shown may have been or may be reduced by paid claims/expenses.

Additional Insured: The Corporation of the Township of Langley, but only with respect to liability arising directly out of the operations of the Named Insured, and only with respect to the above noted project.

Terms and Conditions

This certificate is issued for convenience only. All of the terms and conditions of the Policies referred to are contained in the original document, which are not modified or amended by this certificate. With respect to Liability Insurance Coverage's, where an Aggregate limit applies, the Certificate Holder is advised that the limit shown may apply to products/completed operations or projects other than shown in this certificate and the limit may reduce by Claims/Expenses Paid.

The statements have been made in good faith and area summary of the insurance cover in force (which is subject to the full terms and conditions of the policy). We accept no responsibility whatsoever for any inadvertent or negligent act, error or omission on our part in preparing these statements or for any loss, damage or expense thereby occasioned to any recipient of this certificate.

Date: September 21st, 2017

Nexus Insurance Brokers Ltd.



Nathan Cheng, CAIB

E.&O.E

THIS POLICY CONTAINS A CLAUSE WHICH MAY LIMIT THE AMOUNT PAYABLE

insurelinenexus.com

From: [Eric Fong](#)
To: [Angelika Koessler](#); [Ana Velazquez](#)
Subject: RE: TOL project 14-05-0098
Date: Wednesday, May 10, 2017 4:16:52 PM
Attachments: [image002.png](#)

Fully agree with Angie. No jacquemont birch-bronze birch borer issues and drought.

Eric Fong | Superintendent, Trees, Trails, Horticulture and Natural Areas

Engineering Division | Township of Langley
 4700 – 224 Street, Langley, BC V2Z 1N4
 Direct Line: 604.533-6090 ext. 3489
[Web](#) | [facebook](#) | [twitter](#) | [YouTube](#)



From: Angelika Koessler
Sent: Wednesday, May 10, 2017 4:10 PM
To: Ana Velazquez <avelazquez@tol.ca>; Eric Fong <efong@tol.ca>
Subject: RE: TOL project 14-05-0098

A huge big NOOOOOOO on the jaquemontii. They are all slowly dying from Birch Borer. If you want to stick with Birch, I've been subbing with Betulus Nigra. They seem to be resistant to the borer.

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Sent: Wednesday, May 10, 2017 11:43 AM
To: Eric Fong <efong@tol.ca>; Angelika Koessler <akoessler@tol.ca>; Austin Peterson <apeterson@tol.ca>
Subject: TOL project 14-05-0098

Thanks Eric.

On the same note. I just got a new DP in Gloucester on the North West corner of 275 street and 48 ave

Existing Street trees north of the site along 275 are Betula jaquemontii. Would you like the have the same species for this new development frontage?

Thanks

Ana Velazquez Martin | Landscape Design Technician

Green Infrastructure Services | Township of Langley

20338 – 65 Avenue, Langley, BC V2Y 3J1
Telephone: 604-533-6090 ext. 3471

[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: Eric Fong
Sent: Monday, May 08, 2017 4:29 PM
To: Angelika Koessler <akoessler@tol.ca>; Ana Velazquez <avelazquez@tol.ca>; Austin Peterson <apeterson@tol.ca>
Subject: RE: TOL project 10-25-0044

I have no issues with the Fraxinus.

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From: Angelika Koessler
Sent: Tuesday, May 02, 2017 10:19 AM
To: Ana Velazquez <avelazquez@tol.ca>; Eric Fong <efong@tol.ca>; Austin Peterson <apeterson@tol.ca>
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From: [Ana Velazquez](#)
To: [Eric Fong](#); [Angelika Koessler](#)
Subject: RE: TOL project 14-05-0098
Date: Wednesday, May 10, 2017 4:30:00 PM
Attachments: [image002.png](#)

Ok, thanks for the info that is good to know.

The Landscape architect is proposing Acer rubrum 'Scarlet Sentry' Would you guys be ok with that?

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From: Eric Fong
Sent: Wednesday, May 10, 2017 4:17 PM
To: Angelika Koessler <akoessler@tol.ca>; Ana Velazquez <avelazquez@tol.ca>
Subject: RE: TOL project 14-05-0098

Fully agree with Angie. No jacquemont birch-bronze birch borer issues and drought.

Eric Fong | Superintendent, Trees, Trails, Horticulture and Natural Areas

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[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)



From: [Angelika Koessler](#)
To: [Ana Velazquez](#)
Subject: Re: TOL project 14-05-0098
Date: Thursday, May 11, 2017 9:53:53 AM
Attachments: [image002.png](#)

sure, fine by me

Sent from my iPhone

On May 10, 2017, at 16:30, Ana Velazquez <avelazquez@tol.ca> wrote:

Ok, thanks for the info that is good to know.

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<image002.png>

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[Web](#) | [facebook](#) | [twitter](#) | [YouTube](#)

<image003.jpg>

From: Angelika Koessler

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To: Ana Velazquez <avelazquez@tol.ca>; Eric Fong <efong@tol.ca>

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[Web](#) | [Facebook](#) | [Twitter](#) | [YouTube](#)

<image002.png>

From: [Angelika Koessler](#)
To: [Ana Velazquez](#); [Eric Fong](#)
Subject: RE: TOL project 14-05-0098
Date: Wednesday, May 10, 2017 4:10:21 PM
Attachments: [image002.png](#)

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Subcontractors to be used Offsite by Tybo Contracting

Winvan Paving – Asphalt Restoration

Citi West – Construction Layout and As-Builts

From: [Ana Velazquez](#)
To: [Eric Fong](#); [Angelika Koessler](#); [Austin Peterson](#)
Subject: TOL project 14-05-0098
Date: Wednesday, May 10, 2017 11:42:00 AM
Attachments: [image002.png](#)

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Subject: RE: TOL project 10-25-0044

I have no issues with the *Fraxinus*.

Eric Fong | Superintendent, Trees, Trails, Horticulture and Natural Areas

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From: Andrew Peterson
To: [Joel Nagtegaal](#); [Ana Velazquez](#)
Cc: [Jennifer Clow](#)
Subject: 275th and 48th: 14-05-0098
Date: Thursday, October 19, 2017 11:10:16 PM
Attachments: [image004.png](#)

Hello Joel and Ana,

We will be delivering our hard copy re-submission tomorrow for your review. I apologize but will be unable to personally drop this package off as I am undergoing ^{s. 22(1)} tomorrow morning. As we have discussed, timing is critical on this project and we greatly appreciate your diligent review of this package. We believe the resubmission addresses all previous comments and represents a well resolved design that will fit beautifully on this corner site in Gloucester.

As timing is critical, I wanted to introduce you to Jennifer Clow in our office. Jennifer will be delivering the package and able to assist with any requests you may have in my absence. Jennifer is copied on this email and can be reached at 604 309 8431.

Best regards,

Andrew Peterson
Development Manager

Beedie/

P604.435.3321 F604.432.7349
D604.909.8714 C778.939.7754
3030 Gilmore Diversion, Burnaby, BC V5G 3B4
andrew.peterson@beedie.ca
www.beedie.ca



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From: Jennifer Clow
To: [Joel Nagtegaal](#); [Ana Velazquez](#)
Cc: [Andrew Peterson](#)
Subject: RE: 275th and 48th: 14-05-0098
Date: Friday, October 20, 2017 12:36:47 PM
Attachments: [image001.png](#)
[DP Architectural Drawing Submission - 20171020.pdf](#)
[Landscape Plan-275th & 48th Ave - 20171020.pdf](#)

Good afternoon Joel, Ana,

Please find attached a copy of our resubmission. I will be by shortly to deliver the package.

Should you have any questions, please feel free to call me at 604-309-8431.

Thank you,
Jennifer

From: Andrew Peterson
Sent: October 19, 2017 11:11 PM
To: Joel Nagtegaal <jnagtegaal@tol.ca>; Ana Velazquez <avelazquez@tol.ca>
Cc: Jennifer Clow <Jennifer.Clow@beedie.ca>
Subject: 275th and 48th: 14-05-0098

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From: Ramin Seifi
Sent time: 07/24/2018 03:38:25 PM
To: Ian Whyte <whyte@envirowest.ca>
Cc: Jason Tonin <Jason.Tonin@beedie.ca>; Rod Shead; Stephen Richardson
Subject: FW: Relocation of a stream in Gloucester Industrial Park - A2004880
Attachments: 2017 12 04 Council Memo re Beedie incl Attachments.pdf

Would appreciate your comments/advice on the below communication in relation with past and future developments.

Thanks.

From: Jensen, Sandra L.S. FLNR:EX <Sandra.Jensen@gov.bc.ca <mailto:Sandra.Jensen@gov.bc.ca>>
Sent: Monday, July 23, 2018 5:00 PM
To: 'estahl@wcel.org' <estahl@wcel.org <mailto:estahl@wcel.org>>; 'Andrew_Gage@wcel.org' <Andrew_Gage@wcel.org <mailto:Andrew_Gage@wcel.org>>; 'Ian Whyte' <whyte@envirowest.ca <mailto:whyte@envirowest.ca>>; Rod Shead <rshead@tol.ca <mailto:rshead@tol.ca>>
Cc: Robinson, Bryan FLNR:EX <Bryan.Robinson@gov.bc.ca <mailto:Bryan.Robinson@gov.bc.ca>>; Davies, James W FLNR:EX <James.Davies@gov.bc.ca <mailto:James.Davies@gov.bc.ca>>; Smith, Malissa FLNR:EX <Malissa.Smith@gov.bc.ca <mailto:Malissa.Smith@gov.bc.ca>>
Subject: Relocation of a stream in Gloucester Industrial Park - A2004880

Hi Andrew and Ian,

On behalf of Bryan, I have been requested to respond to your inquiries. I have reviewed the old *Water Act* Section 9 Approval on file A2004880 issued September 21, 2000 to Gloucester Industrial Estates Ltd. in relation to West Creek along with the following documents:

1. Section 9 *Water Act* Approval under File A2004880, issued September 21, 2000 (includes June 8, 1999 Envirowest letter and drawings 467-02-11 and 467-02-12)

2. Letter dated November 24, 2017 from Langley Environmental Partners Society to Township of Langley Mayor and Council
3. DFO Authorization # 99-HPAC-PA2-000-000217
4. Memorandum from Community Development Division to Township of Langley Mayor and Council, dated December 4, 2017
5. Letter dated November 30, 2017 from Envirowest Consultants Inc. to Township of Langley
6. Email dated December 21, 2017 from West Coast Environmental Law to FLNRORD
7. Email dated March 14, 2018 from West Coast Environmental Law to FLNRORD
8. Mapping resources from Township of Langley and FLNRORD
9. SRW BB184653 (Plan BCP34343), SRWCA6557782 (Plan76011), Covenant BCP27809, Covenant BB129084

My comments are as follows:

1. The phrase eliminate seems to have been an old reference when this Approval 2004880 was authorized. We commonly see the term infill with our applications.
2. An infill of a stream is generally associated with either relocating it or culverting it.
3. The Ministry frequently authorizes daylighting of culverted streams.

4. In reviewing a Change Approval application, the Ministry refers to the Provincial Environmental Mitigation Policy^{FOI 18,051} to avoid, minimize, restore on-site and offset appropriately. All efforts are to ensure ecological equivalency of both aquatic and riparian loss and gain to obtain a no net loss of environmental values.

5. With regards to the Section 9 *Water Act* Approval under file A2004880, while the application report proposed the elimination of a watercourse (Number 10 in the Southeast Quadrant), this was subsequently replaced with a culvert under a Statutory Right of Way (BB184653 under Plan BCP34343).

6. This section of the stream appears to be a tributary to West Creek, which is a designated Sensitive Stream under Schedule B of the Water Sustainability Regulation. This tributary to West Creek appears on our Water Rights map originating from south of Highway 99 and connecting up to West Creek.

7. We are not in agreement with ^{s. 22(1)} interpretation that this section of the culverted watercourse, under Number 10 in the SE Quadrant, has been eliminated. Nor would this infer that any of these watercourses have been eliminated. This stream that has been infilled and culverted still connects flows upstream and downstream and contributes food and nutrients downstream. This would also apply to any other stream that was authorized to be culverted under the former *Water Act* and new *Water Sustainability Act*.

8. ^{s. 22(1)} statements that once this stream was culverted, the Township of Langley would have all authority is unfortunately incorrect. While the Statutory Right of Ways are between Township of Langley and the developer as part of the development permit, this would not exclude the stream from the *Water Sustainability Act* and any potential permitting requirements.

In terms of past and future development:

1. Any changes to the stream under the Statutory Right of Way, BB184653, should have been authorized through our Ministry. I understand that a portion of the culverting held under BB184653 has been changed and has now been relocated around the newly subdivided lots and is now protected under Statutory Right of Way, CA6557782 on Plan EPP76011.

2. While it appears that there has likely been no change in flows as a result of the change, the Ministry was not offered any opportunity to review the application prior to the changes.

3. I do not think it was the intent of the agencies that once a statutory right of way was placed for the tributary to West Creek, that it would be modified in the future.

Please ensure that all future changes in and about a stream are submitted for approval to the Ministry.

If you have any questions, do not hesitate to contact me.

Sincerely,

Sandra Jensen
Authorizations Specialist, Water Authorization
Ministry of Forests, Lands and Natural Resource Operations

South Coast Natural Resource Region

2nd Floor, 10428 153rd Street, Surrey, BC V3R 1E1
Ph: 604-586-5628 Fax: 604-586-4444
Website: <http://www.env.gov.bc.ca/wsd/>
Email: sandra.jensen@gov.bc.ca <<mailto:sandra.jensen@gov.bc.ca>>

From: Stephen Richardson
Sent time: 12/18/2017 09:13:44 AM
To: Rod Shead
Cc: Teresa Hanson; Robert Knall
Subject: Draft - Beedie Watercourse Communications
Attachments: image001.png image003.jpg

Good morning Rod:

DRAFT Beedie watercourse related communications for you consideration and discussion at our meeting at 3:30 pm toady. Can you also please invite Mrs. Hanson to the meeting.

8.13(1)



§ 13(1)



§ 13(1)



b.13(D)



From: Rod Shead
Sent time: 07/24/2018 08:11:44 AM
To: Teresa Hanson; Robert Knall; Stephen Richardson
Subject: FW: Relocation of a stream in Gloucester Industrial Park - A2004880

See email from provincial Ministry of Forest, Lands & Natural Resource Operations to West Coast Environmental Law and Envirowest regarding Gloucester Project 14-05-0098. This is one of the items for discussion at our 9am meeting.

-Rod

From: Jensen, Sandra L.S. FLNR:EX <Sandra.Jensen@gov.bc.ca>
Sent: Monday, July 23, 2018 5:00 PM
To: 'estahl@wcel.org' <estahl@wcel.org>; 'Andrew_Gage@wcel.org' <Andrew_Gage@wcel.org>; 'Ian Whyte' <whyte@envirowest.ca>; Rod Shead <rshead@tol.ca>
Cc: Robinson, Bryan FLNR:EX <Bryan.Robinson@gov.bc.ca>; Davies, James W FLNR:EX <James.Davies@gov.bc.ca>; Smith, Malissa FLNR:EX <Malissa.Smith@gov.bc.ca>
Subject: Relocation of a stream in Gloucester Industrial Park - A2004880

Hi Andrew and Ian,

On behalf of Bryan, I have been requested to respond to your inquiries. I have reviewed the old *Water Act* Section 9 Approval on file A2004880 issued September 21, 2000 to Gloucester Industrial Estates Ltd. in relation to West Creek along with the following documents:

1. Section 9 *Water Act* Approval under File A2004880, issued September 21, 2000 (includes June 8, 1999 Envirowest letter and drawings 467-02-11 and 467-02-12)

2. Letter dated November 24, 2017 from Langley Environmental Partners Society to Township of Langley Mayor and Council

3. DFO Authorization # 99-HPAC-PA2-000-000217

4. Memorandum from Community Development Division to Township of Langley Mayor and Council, dated December 4, 2017

5. Letter dated November 30, 2017 from Envirowest Consultants Inc. to Township of Langley

6. Email dated December 21, 2017 from West Coast Environmental Law to FLNRORD

7. Email dated March 14, 2018 from West Coast Environmental Law to FLNRORD

8. Mapping resources from Township of Langley and FLNRORD

9. SRW BB184653 (Plan BCP34343), SRWCA6557782 (Plan76011), Covenant BCP27809, Covenant BB129084

My comments are as follows:

1. The phrase eliminate seems to have been an old reference when this Approval 2004880 was authorized. We commonly see the term infill with our applications.

2. An infill of a stream is generally associated with either relocating it or culverting it.

3. The Ministry frequently authorizes daylighting of culverted streams.

4. In reviewing a Change Approval application, the Ministry refers to the Provincial Environmental Mitigation Policy to avoid, minimize, restore on-site and offset appropriately. All efforts are to ensure ecological equivalency of both aquatic and riparian loss and gain to obtain a no net loss of environmental values.

5. With regards to the Section 9 *Water Act* Approval under file A2004880, while the application report proposed the elimination of a watercourse (Number 10 in the Southeast Quadrant), this was subsequently replaced with a culvert under a Statutory Right of Way (BB184653 under Plan BCP34343).

6. This section of the stream appears to be a tributary to West Creek, which is a designated Sensitive Stream under Schedule B of the Water Sustainability Regulation. This tributary to West Creek appears on our Water Rights map originating from south of Highway 99 and connecting up to West Creek.

7. We are not in agreement with ^{s. 22(1)} interpretation that this section of the culverted watercourse, under Number 10 in the SE Quadrant, has been eliminated. Nor would this infer that any of these watercourses have been eliminated. This stream that has been infilled and culverted still connects flows upstream and downstream and contributes food and nutrients downstream. This would also apply to any other stream that was authorized to be culverted under the former *Water Act* and new *Water Sustainability Act*.

8. ^{s. 22(1)} statements that once this stream was culverted, the Township of Langley would have all authority is unfortunately incorrect. While the Statutory Right of Ways are between Township of Langley and the developer as part of the development permit, this would not exclude the stream from the *Water Sustainability Act* and any potential permitting requirements.

In terms of past and future development:

1. Any changes to the stream under the Statutory Right of Way, BB184653, should have been authorized through our Ministry. I understand that a portion of the culverting held under BB184653 has been changed and has now been relocated around the newly subdivided lots and is now protected under Statutory Right of Way, CA6557782 on Plan EPP76011.

2. While it appears that there has likely been no change in flows as a result of the change, the Ministry was not offered any opportunity to review the application prior to the changes.

3. I do not think it was the intent of the agencies that once a statutory right of way was placed for the tributary to West Creek, that it would be modified in the future.

Please ensure that all future changes in and about a stream are submitted for approval to the Ministry.

If you have any questions, do not hesitate to contact me.

Sincerely,

Sandra Jensen
Authorizations Specialist, Water Authorization
Ministry of Forests, Lands and Natural Resource Operations

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